

Service Provider Letter

This form and the attached conditions will serve as your Service Provider Letter in accordance with Clean Water Services Design and Construction Standards (R&O 19-5, as amended by R&O 19-22).

Jurisdiction:	<u>City of Sherwood</u>	Review Type:	<u>Tier 2 Analysis</u>
Site Address	<u>15665 SW Willamette St</u>	SPL Issue Date:	<u>September 23, 2025</u>
/ Location:	<u>Sherwood, OR 97140</u>	SPL Expiration Date:	<u>September 23, 2027</u>

Applicant Information:

Name MATTHEW RUSNAC

Company ATTUNE ARCHITECTURE LLC
7888 SE JEFFERSON ST

Address MILWAUKIE, OR 97267

Phone/Fax (503) 740-9608

E-mail: matthew@attunearch.com

Owner Information:

Name ADRIAN OLTEAN

Company ROCK POINT CONSTRUCTION LLC
8101 SW NYBERG ST, SUITE 202

Address TUALATIN, OR 97062

Phone/Fax (503) 969-2518

E-mail: adrian@teamrockpoint.com

Tax lot ID

2S132BD00400

Development Activity

Sherwood Old Town Apartments

Pre-Development Site Conditions:

Sensitive Area Present: ☒ On-Site ☒ Off-Site

Vegetated Corridor Width: 50

Vegetated Corridor Condition: Marginal

Post Development Site Conditions:

Sensitive Area Present: ☐ On-Site ☒ Off-Site

Vegetated Corridor Width: _____

Enhancement of Remaining Vegetated Corridor Required:

☐

Square Footage to be enhanced:

Encroachments into Pre-Development Vegetated Corridor:

Type and location of Encroachment:	Square Footage:
<u>Apartments, parking, stormwater treatment (Permanent Encroachment; Mitigation Required)</u>	<u>21,040</u>

Mitigation Requirements:

Type/Location	Sq. Ft./Ratio/Cost
<u>Per R&O 13-12 Mitigation for Vegetated Corridor Impacts Associated with Wetland Mitigation Bank Credits is Waived</u>	<u>21,040</u>

☒ Conditions Attached ☒ Development Figures Attached (1) ☐ Planting Plan Attached ☐ Geotech Report Required

This Service Provider Letter does NOT eliminate the need to evaluate and protect water quality sensitive areas if they are subsequently discovered on your property.

In order to comply with Clean Water Services water quality protection requirements the project must comply with the following conditions:

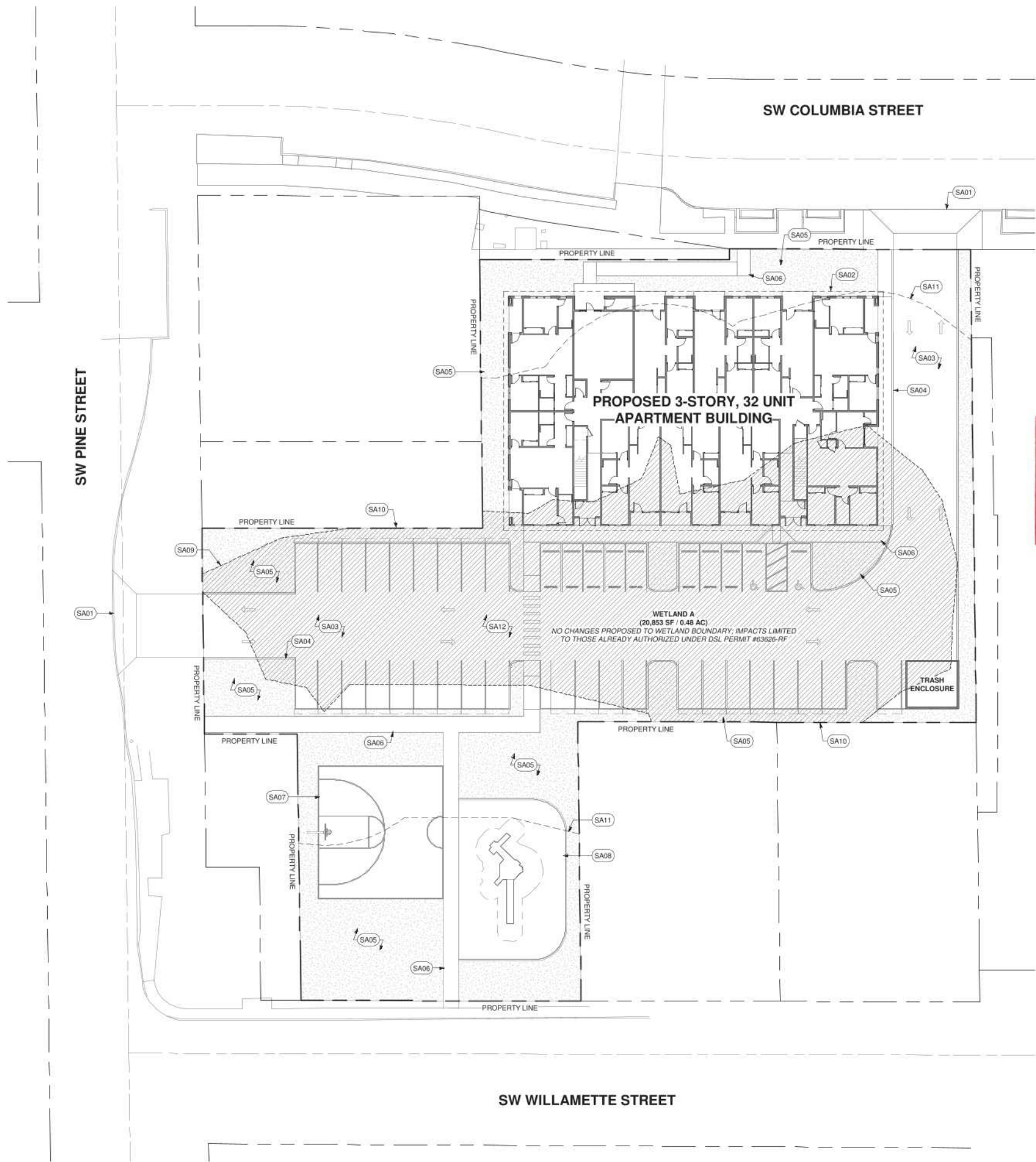
- 1. Prior to any activity within the sensitive area, the applicant shall gain authorization for the project from the Oregon Department of State Lands (DSL) and US Army Corps of Engineers (USACE). The applicant shall provide Clean Water Services or its designee (appropriate city) with copies of all DSL and USACE project authorization permits.**
- 2. Prior to any ground disturbing activities, an erosion control permit is required. Appropriate Best Management Practices (BMP's) for Erosion Control, in accordance with Clean Water Services' Erosion Prevention and Sediment Control Planning and Design Manual, shall be used prior to, during, and following earth disturbing activities.**
- 3. Prior to construction, a Stormwater Connection Permit from Clean Water Services or its designee is required pursuant to Ordinance 27, Section 4.B.**
- 4. The water quality swale and detention pond shall be planted with Clean Water Services approved native species, and designed to blend into the natural surroundings.**
- 5. Should final development plans differ significantly from those submitted for review by Clean Water Services, the applicant shall provide updated drawings, and if necessary, obtain a revised Service Provider Letter.**

This Service Provider Letter is not valid unless CWS-approved site plan is attached.



**Stacy Benjamin
Environmental Plan Review**

Attachments (1)



GENERAL NOTES

- A. WETLAND BOUNDARY SHOWN PER OREGON DSL DELINEATION APPROVAL WD #2021-0424 (VALID THROUGH 2026).
- B. WETLAND IMPACT (0.48 ACRE) AUTHORIZED UNDER DSL REMOVAL-FILL PERMIT #63626-RF; COMPENSATORY MITIGATION COMPLETED THROUGH BUTLER WETLAND MITIGATION BANK.
- C. THIS PLAN ILLUSTRATES THE CURRENT PROPOSED DEVELOPMENT (32-UNIT APARTMENT BUILDING, CENTRAL PARKING, AND RECREATION AMENITIES) IN RELATION TO THE DELINEATED WETLAND AND VEGETATED CORRIDOR.
- D. REFER TO CIVIL SHEETS C2.1-C2.3 FOR DETAILED STORMWATER, GRADING, AND UTILITY DESIGN.
- E. WETLAND BOUNDARY AND VEGETATED CORRIDOR LOCATIONS ARE BASED ON DSL APPROVALS AND CONSULTANT MAPPING; SHOWN HERE FOR REFERENCE ONLY AND NOT INTENDED AS A NEW DELINEATION.

LEGEND

- WETLAND A
- VEGETATED CORRIDOR BOUNDARY
- PROPERTY LINE

21,040 SF Vegetated Corridor impact mitigated through wetland mitigation bank credit purchase

CWS FILE NO. 25-002127
Approved
Clean Water Services
FOR ENVIRONMENTAL REVIEW
By SNB Date 9/23/2025
SPL ATTACHMENT 1 OF 1

KEYNOTES

- SENSITIVE AREAS (SA)**
- SA01 CURB CUT / DRIVEWAY ACCESS (SEE CIVIL SHEETS FOR DETAIL)
 - SA02 ROOF OVERHANG ABOVE
 - SA03 ASPHALT DRIVEWAY (SEE CIVIL SHEETS)
 - SA04 CURB
 - SA05 LANDSCAPE AREA
 - SA06 CONCRETE SIDEWALK
 - SA07 SPORTS COURT
 - SA08 PLAYGROUND
 - SA09 WETLAND A BOUNDARY (20,853 SF / 0.48 AC, PER DSL WD #2021-0424)
 - SA10 WETLAND CONTINUES BEYOND SITE BOUNDARY
 - SA11 VEGETATED CORRIDOR BOUNDARY (PER DSL WD #2021-0424 AND CWS STANDARDS)
 - SA12 PARKING AREA (LOCATED IN CENTER OF SITE; SEE CIVIL SHEETS FOR DETAIL)

Attune Architecture LLC
7888 SE Jefferson St.
Milwaukie, OR 97267

PRELIMINARY - NOT
FOR CONSTRUCTION
OR PERMITTING

Project Name
**SHERWOOD
OLD TOWN
APARTMENTS**
Project Address
15665 SW WILLAMETTE
SHERWOOD, OR 97140

revision:

set issue date:
9/9/2025

sheet name:

**SENSITIVE
AREAS SITE
PLAN**

sheet number:

SA01

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