



SHERWOOD OLD TOWN APARTMENTS

LAND USE REVIEW SET

8/22/25

15665 SW WILLAMETTE
SHERWOOD, OR 97140



Attune Architecture LLC
7888 SE Jefferson St.
Milwaukie, OR 97267

PRELIMINARY - NOT
FOR CONSTRUCTION
OR PERMITTING

Project Name

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Project Address

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SHERWOOD, OR 97140

DRAWINGS FOR LAND USE REVIEW ONLY

THIS ARCHITECTURAL DRAWING SET HAS BEEN PREPARED SOLELY FOR THE PURPOSE OF LAND USE APPLICATION REVIEW BY THE CITY OF SHERWOOD. THE DRAWINGS ARE INTENDED TO DEMONSTRATE GENERAL DESIGN INTENT AND CONFORMANCE WITH APPLICABLE ZONING, SITE PLANNING, AND OLD TOWN OVERLAY STANDARDS. THEY ARE NOT INTENDED FOR PERMIT, CONSTRUCTION, OR BIDDING PURPOSES.

PROJECT SUMMARY

PROJECT NAME:	SHERWOOD OLD TOWN APARTMENTS
ADDRESS:	15665 SW WILLAMETTE, SHERWOOD, OR 97140
BUILDING CODE:	2022 OSSC
ZONING:	SHERWOOD MUNICIPAL CODE, TITLE 16
DESCRIPTION:	NEW 32-UNIT APARTMENT BUILDING ON EXISTING UNDEVELOPED LOT.

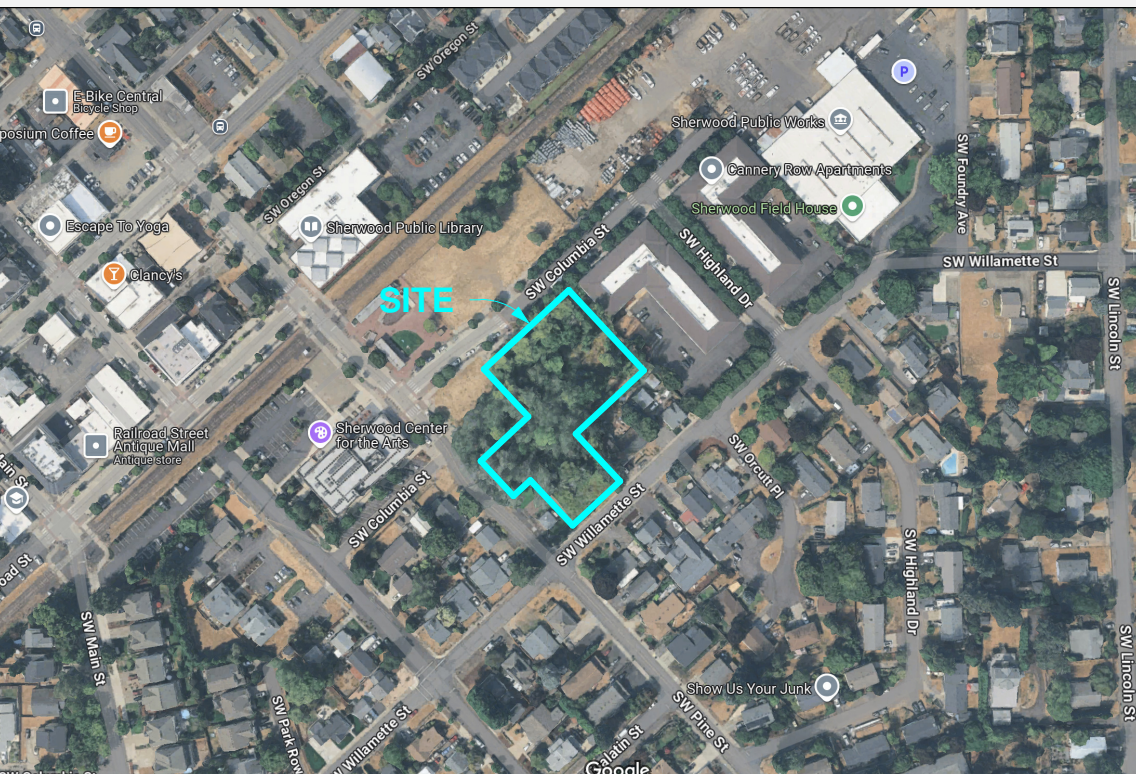
PROJECT DIRECTORY

OWNER	PLANNING CONSULTANT
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VICINITY MAP



set issue date:

8/22/25

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GENERAL INFORMATION

sheet number:

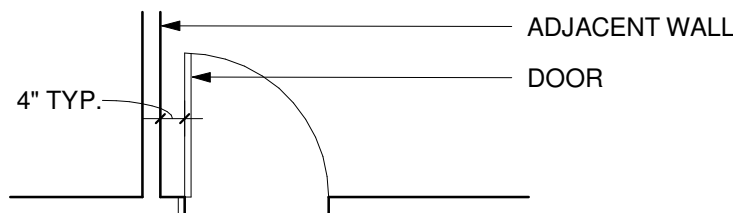
G001

LEGEND

ROOM NAME AND NUMBER	STRUCTURAL GRID
 ROOM NAME ROOM AREA APPX. ROOM DIMENSIONS 150 SF 12' - 6" x 6' - 0"	 1
DOOR NUMBER	EXTERIOR ELEVATION
 DOOR NUMBER ROOM NUMBER	 DRAWING NUMBER SHEET NUMBER
ASSEMBLY TYPE	INTERIOR ELEVATION
 ASSEMBLY (W, F, R) ASSEMBLY #	 DRAWING NUMBER SHEET NUMBER
DOOR TYPE	BUILDING / WALL SECTION
 DOOR NUMBER OR TYPE	 DRAWING NUMBER SHEET NUMBER
WINDOW TYPE	DETAIL CALLOUT
 WINDOW TYPE MARK	 DRAWING NUMBER SHEET NUMBER
FINISH TYPE	CEILING HEIGHT
 FINISH ELEMENT FINISH TYPE	 CEILING HEIGHT ABOVE LEVEL
NORTH ARROW	VERTICAL DATUM
 NORTH PROJECT NORTH	 LEVEL 2 12'-0"
REVISION DELTA	SPOT ELEVATION
 REVISION NUMBER REVISION DESCRIPTION	 00.00'

DIMENSIONS

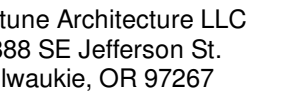
- DIMENSIONS ARE INDICATED IN THE DOCUMENTS. THE DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONS.
- IN MANY INSTANCES, THE ACTUAL DIMENSIONS MAY BE LESS IMPORTANT THAN IF ELEMENTS ARE TO BE EQUAL. IN THESE CASES, THE NOTATION "EO" IS USED IN LIEU OF THE ACTUAL DIMENSION.
- DETAILS WILL GOVERN ALL DIMENSIONS NOT SHOWN ON PLANS. REFERENCE DETAIL DIMENSION POINTS.
- EXTERIOR GRID LINES CORRESPOND TO EXTERIOR FACE OF FRAMING
- CONCRETE AND MASONRY WALLS ARE DIMENSIONED TO FACE OF BRICK VENEER OR FACE OF CONCRETE UNLESS NOTED OTHERWISE.
- INTERIOR WALLS ARE DIMENSIONED TO FACE OF FRAMING UNLESS NOTED OTHERWISE.
- INTERIOR WALLS WHICH ARE EQUALLY SPACED ARE DIMENSIONED TO CENTERLINE.
- DOORS ARE LOCATED BY ONE OF THE FOLLOWING:
 - 4" FROM FACE OF ADJACENT WALL TO DOOR SIDE FACE OF JAMB.



B. AS DIMENSIONED.

ABBREVIATIONS

AB ABV AC A/C AD ADD ADJ AF AFF AFP AFG AGG AHU ALT ALUM AMT APPROX ARCH AUTO BC BD BFF BLDG BLK BLKG BM BO BOD BOR BOT BRG BRK BSMT CAB CB CEM CEN PT CG CH CHK CIP CL CLG CLR CMU COL CONC CONT CORR COV PL CPT CPTT CR CRT CTR DBL DET DF DIA DIFF DIM DL DN DR DRN DS DWG E EA EB EC EJ ELEC ELEV EMER ENCL ENGR EP EPNT EQ EQUIP EXH (E) EXP EXT FA FAA FACP FAP FAV FB FD FDN FE FEC FF FG FIN FLR FLUOR FO FOC FOF FOM FOS FPIRF FRAP FRP FSD FT FTG FV GA GALV GB GC GL GND GSM GWB HB HD HDR HDW	ANCHOR BOLT ABOVE ACOUSTICAL CEILING TILE ARCHITECTURAL CONCRETE ASPHALTIC CONCRETE AREA DRAIN ADDENDUM ADJACENT ACCESS FLOOR ABOVE FINISH FLOOR ACOUSTICAL FIBERGLASS PANEL ABOVE FINISH GRADE AGGREGATE AIR HANDLING UNIT ALTERNATE ALUMINUM AMOUNT APPROXIMATE ARCHITECT(URAL) AUTOMATIC BOTTOM OF CURB BOARD BELOW FINISH FLOOR BUILDING BLOCK BLOCKING BEAM BOTTOM OF BOTTOM OF DECK BOTTOM OF REVEAL BOTTOM BEARING BRICK BASEMENT CABINETRY CATCH BASIN CEMENT CENTER POINT CORNER GUARD BABY CARE CENTER CLOTHES HOOK CAST-IN-PLACE CENTER LINE CEILING CLEAR CONCRETE MASONRY UNIT MECH CONCRETE CONTINUOUS CORRIDOR COVER PLATE CARPET CARPET TILE CURTAIN ROD CRITICAL CENTER DOUBLE DETAIL DRINKING FOUNTAIN DIAMETER DIFFUSER DIMENSION DEAD LOAD DOWN DOOR DRAIN DOWNSPOUT DRAWING EAST ELEVATOR ANNUNCIATOR EXPANSION BOLT ELEVATOR CALL STATION EXPANSION JOINT ELECTRICAL ELEVATION EMERGENCY ENCLOSURE ENGINEER ELECTRICAL PANEL EPOXY PAINT EQUAL EQUIPMENT EXHAUST EXISTING EXPANSION EXTERIOR FIRE ALARM FIRE ALARM VISUAL DEVICE AND ANNUNCIATOR FIRE ALARM CONTROL PANEL FIRE ALARM PULL STATION FIRE ALARM VISUAL DEVICE FLAT BAR FLOOR DRAIN FOUNDATION FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FINISH FLOOR FINISH GRADE FINISH(ED) FLOOR FLUORESCENT FACE OF FACE OF CONCRETE FACE OF FINISH FACE OF MASONRY FACE OF STUDS FIREPROOFING FIRE RESISTIVE FIBERGLASS REINFORCED PANEL FEMININE SUPPLIES DISPENSER FOOT OR FEET FOOTING FIELD VERIFY GAUGE GALVANIZED GRAB BAR GENERAL CONTRACTOR GLASS GROUND GALVANIZED SHEET METAL GYPSUM WALL BOARD HOSE BIBB HAND DRYER HEADER HARDWARE	HDWD HGT HM HNDRL HORIZ HP HR HSTL HT HTG HTR HV HVAC ID IN INCL INFO INSUL INT INV JB JST JT KO KP L LAM LAV LB LF LH LIN LL LT LVR M MACH MAS MATL MAX MB MDF MDO MECH MEMB MFR MH MH MIN MI MISC MO MIRROR MRG MTD MTL (N) N NA NIC NOOR NOM NTS OA OC OD OFCI OFOI OPNG OPP OPP HD OPT ORIG OVHD PAV PC PCF PD PD/WR PERF P/L PL PLAM PLAS PLUMB PLYWD PNL P-# PRELIM PS PSI PT PTD QT QTR (R) R-# RA RAD RB RD REC REF REFR REINF REQD REV RF REFL RM RND RO RSR RV R/W	HARDWOOD HEIGHT HOLLOW METAL HANDRAIL HORIZONTAL HIGH PERFORMANCE HOUR HOLLOW STEEL HEIGHT HEATING HEATER HOSE VALVE HEATING, VENTILATING & AIR CONDITIONING INSIDE DIAMETER/DIMENSION INCH INCLUDE(D) INFORMATION INSULATION INTERIOR INVERT JUNCTION BOX JOIST JOINT KNOCKOUT KICK PLATE LENGTH LAMINATE LAVATORY POUND OR LAG BOLT LINEAR FOOT OR FEET LEFT HAND LIVABLE LIVE LOAD LIGHT LOUVER METRIC MACHINE MASONRY MATERIAL MAXIMUM MARKER BOARD MEDIUM DENSITY FIBERBOARD MEDIUM DENSITY OVERLAY MECHANICAL MEMBRANE MANUFACTURER MANHOLE MOP HOOK MINIMUM MIRROR MISCELLANEOUS MASONRY OPENING MOISTURE RESISTANT GYP. BOARD MOUNTED METAL NEW NORTH NOT APPLICABLE NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE OUTSIDE AIR ON CENTER OUTSIDE DIAMETER/DIMENSION OWNER FURNISHED-CONTRACTOR INSTALLED OWNER FURNISHED-OWNER INSTALLED OPENING OPPOSITE OPPOSITE HAND OPTIONAL ORIGINAL OVERHEAD PAVING OR PAVERS PRECAST CONCRETE POUNDS PER CUBIC FOOT PAPER TOWEL DISPENSER PAPER TOWEL DISPENSER/ WASTE RECEPTACLE PERFORATED PROPERTY LINE PLATE PLASTIC LAMINATE PLASTER PLUMBING PLYWOOD PANEL PAINT PRELIMINARY PROJECTION SCREEN POUNDS PER CUBIC INCH PRESSURE TREATED PAINTED QUARRY TILE QUARTER REMAIN THERMAL RESISTANCE (R-VALUE) RETURN AIR RADIUS RUBBER BASE ROOF DRAIN RECESSED REFERENCE REFRIGERATOR REINFORCE (D) (ING) (MENT) REQUIRED REVISION RESILIENT FLOORING REFLECTED ROOM ROUND ROUGH OPENING RISER ROOF-VENT RIGHT OF WAY	S SC SC SD SCHED SECT SE SH SHTHG SHT SIM SLR SOG SPEC SND SNV SQ SS ST STC STD STL STN STAG STOR STR STUC SURF SUSP SWS SYM SYS TB TEMP TEMP GL T&B T&G THK THRS THRU T.I. TO TOC TOP TOP OF TOP OF CONCRETE OR CURB TOP OF PLATE TOS TOT TOW TPD TRD TSD TYP UNFIN UNO UR V VB VENT VERT VEST VFY VIF VNR W W/ WD WD ACT WDW WLD WOC WOM WGL W/O WP WR WSCT WSTL WT WTR WW WWF XFR XFRMR YD	SOUTH SOLID CORE SHOWER CURTAIN SOAP DISPENSER SCHEDULE SECTION SQUARE FOOT (FEET) SHOWER HEAD SHEATHING SHEET SIMILAR SEALER SLAB ON GRADE SPECIFICATION SANITARY NAPKIN DISPOSAL SANITARY NAPKIN VENDOR SQUARE STAINLESS STEEL STREET STUCCO STANDARD STEEL STAIN (ED) STAGGERED STORAGE STRUCTURAL STUCCO SURFACE SUSPENDED SEE WALL SECTIONS SYMMETRICAL SYSTEM TACKBOARD TEMPORARY TEMPERED GLASS TOP & BOTTOM TONGUE & GROOVE THICK THRESHOLD THROUGH TENANT IMPROVEMENT TO TOP OF TOP OF CONCRETE OR CURB TOP OF PLATE TOP OF STEEL TOTAL TOP OF WALL TOILET PAPER DISPENSER TREAD TOILET SEAT COVER DISPENSER TYPICAL
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Project Name

Project Address

5665 SW WILLAMETTE
HERWOOD, OR 97140

vision:

Issue date:

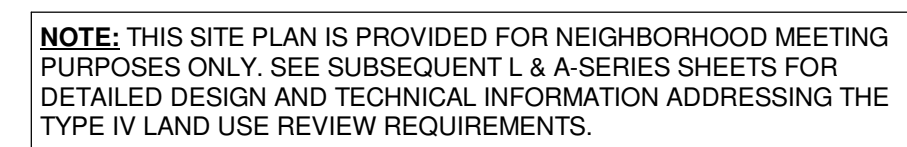
22/25

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G002

ATTUNE ARCHITECTURE LLC 2025



1 OVERVIEW SITE PLAN
G002 1" = 20'-0"



GENERAL NOTE – 3D VIEWS
THESE PERSPECTIVE IMAGES ARE PROVIDED FOR REFERENCE ONLY. THEY ARE INTENDED TO ILLUSTRATE OVERALL MASSING AND CHARACTER. FOR DESIGN DETAILS, DIMENSIONS, AND TECHNICAL INFORMATION, REFER TO THE FLOOR PLANS AND ELEVATIONS.



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4
G003 NE ELEVATION



2
G003 PARKING SIDE



3
G003 WESTERN CORNER



1
G003 STREET SIDE (FROM COLUMBIA)

revision:

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3D IMAGES

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G003

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LANDSCAPE PLAN

sheet number:

L100

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GENERAL NOTES - LANDSCAPE PLAN

- THIS PLAN IS CONCEPTUAL AND INTENDED FOR LAND USE REVIEW PURPOSES ONLY.
- IT IS NOT INTENDED FOR CONSTRUCTION, PERMITTING, OR FINAL DOCUMENTATION.
- PLANT SPECIES, SPACING, AND QUANTITIES SHOWN ARE ILLUSTRATIVE ONLY.
- FINAL PLANT SELECTION AND LAYOUT ARE TO BE CONFIRMED AND SPECIFIED BY A LICENSED LANDSCAPE ARCHITECT OR QUALIFIED LANDSCAPE DESIGNER.
- IRRIGATION DESIGN, SOIL PREPARATION, PLANTING DETAILS, AND INSTALLATION METHODS ARE NOT INCLUDED IN THIS PLAN.
- THESE ELEMENTS WILL BE DEVELOPED IN THE PERMIT AND CONSTRUCTION DOCUMENTATION PHASES.
- GRADING, DRAINAGE, AND STORMWATER MANAGEMENT ARE NOT ADDRESSED IN THIS PLAN.
- COORDINATION WITH THE CIVIL ENGINEER AND LANDSCAPE ARCHITECT IS REQUIRED FOR FINAL SITE ENGINEERING.
- ALL CODE COMPLIANCE INTERPRETATIONS ARE BASED ON PRELIMINARY UNDERSTANDING OF CURRENT ZONING REGULATIONS (CITY OF SHERWOOD CHAPTER 16.92).
- FINAL COMPLIANCE REVIEW AND CONFIRMATION ARE THE RESPONSIBILITY OF THE DESIGN TEAM DURING PERMITTING.

PLANTING SCHEDULE							
MARK	BOTANICAL NAME	COMMON NAME	QTY	SIZE	SPACING	EVERGREEN/ DECIDUOUS	
SHRUB							
CT	CEANOTHUS THYRSIFLORUS 'VICTORIA'	CALIFORNIA LILAC 'VICTORIA'	5	2 GAL	AS SHOWN	D	
MA	MAHONIA AQUIFOLIUM	TALL OREGON GRAPE	7	2 GAL	AS SHOWN	E	
MN	MAHONIA NERVOSA	DWARF OREGON GRAPE	29	2 GAL	AS SHOWN	E	
PL	PHILADELPHUS LEWISII	SWEET MOCK ORANGE	58	2 GAL	AS SHOWN	D	
SMALL TREE							
CB	CARPINUS BETULUS 'FASTIGIATA'	HORNBEAM	6	2" CAL	AS SHOWN	D	
QR	QUERCUS ROBUR 'FASTIGIATA'	COLUMNAR ENGLISH OAK	18	2" CAL	AS SHOWN	D	
ZS	ZELKOVA SERRATA 'MUSASHINO'	MUSASHINO ZELKOVA	4	2" CAL	AS SHOWN	D	

GROUNDCOVER/GRASSES			
MARK	NAME	QTY	SPACING
FS	FINE FESCUE LAWN MIX	4538 SF	N/A
AU	KINKINICK / ARCTOSTAPHYLOS UVA URSI	539 SF	2' O.C.

SETBACK LANDSCAPING

- (4) ZS
- (6) MA
- (5) CT
- (4) MN
- (8) PL
- AU
- MIXTURE OF TREES, SHRUBS, AND GROUNDCOVERS AS SHOWN TO FILL IN REST OF AREA IN 3 YEARS

PEDESTRIAN PATH

PROPOSED 32-UNIT APARTMENT BUILDING

PEDESTRIAN PATH

TRASH ENCLOSURE

5' MIN LANDSCAPE BUFFER PER
16.92.030.A.2 & 3.
• (1) QR
• (9) MN
• AU
MIXTURE OF TREES, SHRUBS,
AND GROUNDCOVERS AS SHOWN
TO FILL IN REST OF AREA IN 3
YEARS

5' MIN LANDSCAPE BUFFER PER
16.92.030.A.2 & 3.
• (10) QR
• (10) PL
• AU
MIXTURE OF TREES, SHRUBS, AND
GROUNDCOVERS AS SHOWN TO
FILL IN REST OF AREA IN 3 YEARS

(2) LANDSCAPE ISLAND PER
16.92.030.B.6.b & 16.92.030.B.6.f -
212 SF EA.
• (1) CB
• (3) PL
• AU
MIXTURE OF TREES, SHRUBS, AND
GROUNDCOVERS AS SHOWN TO
FILL IN REST OF AREA IN 3 YEARS

(4) LANDSCAPE ISLANDS PER
16.92.030.B.6.b - 212 SF EA.
• (1) CB
• (6) PL
• AU
MIXTURE OF TREES, SHRUBS, AND
GROUNDCOVERS AS SHOWN TO
FILL IN REST OF AREA IN 3 YEARS

5' MIN LANDSCAPE BUFFER PER
16.92.030.A.2 & 3.
• (3) QR
• (16) MN
• AU
MIXTURE OF TREES, SHRUBS, AND
GROUNDCOVERS AS SHOWN TO
FILL IN REST OF AREA IN 3 YEARS

PLAY STRUCTURE; FINAL SURFACING TO BE
SELECTED FROM SAFETY-RATED OPTIONS SUCH
AS ENGINEERED WOOD FIBER, POURED-IN-
PLACE RUBBER, RUBBER MULCH, OR SYNTHETIC
TURF WITH SHOCK PAD, ALL COMPLIANT WITH
FALL SAFETY AND ACCESSIBILITY STANDARDS.

EXISTING 35" FIR TREE TO
BE PRESERVED

EXISTING 10" FIR TREE
TO BE PRESERVED

BASKETBALL HALF-COURT; FINAL
SURFACING TO BE SELECTED FROM
STANDARD SPORT COURT OPTIONS SUCH
AS ASPHALT OR CONCRETE, SUITABLE
FOR OUTDOOR USE AND CONSISTENT
WITH RECREATIONAL PERFORMANCE
AND DURABILITY STANDARDS.





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sheet name:

SITE PLAN & ZONING SUMMARY

sheet number:

A001

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SUMMARY OF SCOPE OF WORK

NEW 32-UNIT APARTMENT BUILDING ON EXISTING UNDEVELOPED LOT AND ASSOCIATED SITE WORK THAT INCLUDES A 40-STALL PARKING LOT, PEDESTRIAN PATHS, OUTDOOR RECREATION AREAS AND LANDSCAPE AREAS.

ZONING SUMMARY

SITE INFO	
APPLICABLE ZONING:	SHERWOOD MUNICIPAL CODE (SMC), TITLE 16
PROPERTY ID:	2S132BD00400
LOT SIZE:	1.14 ACRES (49,659.4 SF)
LAND USE ZONING:	HDR
OVERLAY(S):	OLD TOWN OVERLAY

BASE ZONE REGULATIONS (SMC 16.12)			
DENSITY:	ALLOWED BASE DENSITY: 16.8 - 24 UNITS PER ACRE OR 27.36		
	PROPOSED DENSITY: 32 UNITS (+4 UNITS VIA MANDATORY ADJUSTMENT PROPOSED, SEE NARRATIVE)		
MAXIMUM HEIGHT:	40' OR 3 STORIES		PROPOSED HEIGHT: 31' - 1" (LOW-SLOPE ROOF)
SETBACKS (16.12.20):	DESCRIPTION	REQUIRED	PROPOSED
	FRONT	14' MIN	14' & 17'-11"
	SIDE	8' - 6 9/16" MIN*	10' @ SW & 34'-9" @ NE
	REAR	20' MIN	74'-2"
	*SIDE (PER 16.68): 8' - 6 9/16"		
CALC: 31.1' BLDG HEIGHT - 24' = 7.1'; 7.1'*.5 = 3.55'; 5'+3.55' = <u>8.55' (8' - 6 9/16")</u>			

PRELIMINARY BUILDING CODE SUMMARY

CHAPTER 1: ADMINISTRATION	
PROJECT ADDRESS:	15665 SW WILLAMETTE SHERWOOD, OR 97140
JURISDICTIONAL AUTHORITY:	CITY OF SHERWOOD
APPLICABLE CODE:	2022 OSSC
APPLICABLE ZONING:	CITY OF SHERWOOD MUNICIPAL CODE, TITLE 16
107.2.1:	SUMMARY OF AREAS BY OCCUPANCY
	GROUP R-2: SEE OCCUPANCY SCHEDULE

CHAPTER 3: USE AND OCCUPANCY CLASSIFICATION	
304.1	PROPOSED OCCUPANCIES: R-2

CHAPTER 5 GENERAL BUILDING HEIGHTS AND AREAS			
HEIGHTS AND STORIES (PER TABLE 504.3 & 504.4)			
DESCRIPTION	ALLOWABLE	PROPOSED	CODE REFERENCE / NOTES
BUILDING HEIGHT	60'-0"	31'-1"	TYPE VB WITH NFPA 13R SPRINKLER INCREASE (504.3, NOTE D)
NUMBER OF STORIES	3 STORIES	3 STORIES	TYPE VB WITH NFPA 13R SPRINKLER INCREASE (504.4, NOTE D)

ALLOWABLE AREA ANALYSIS		
DESCRIPTION	VALUE/AREA	CODE REFERENCE / NOTES
BASE ALLOWABLE AREA (TYPE VB, R-2)	7,000 SF	OSSC TABLE 506.2
TOTAL BUILDING PERIMETER	452.5'	\$506.3.2
OPEN PERIMETER ≥30'	366.5'	MEASURED PER \$506.3.2
% OPEN PERIMETER	80.9%	366.5 ÷ 452.5
FRONTAGE INCREASE FACTOR (IF)	0.75	[(F/P - 0.25) × W/30], MAX = 0.75
AREA INCREASE FROM FRONTAGE	5,250 SF	7,000 × 0.75
ALLOWABLE AREA PER STORY	12,250 SF	7,000 + 5,250
MAXIMUM TOTAL BUILDING AREA (3 STORIES)	36,750 SF	12,250 × 3

SPRINKLER INCREASE NOTES		
1. BUILDING IS FULLY SPRINKLERED PER NFPA 13R.		
2. HEIGHT AND STORY INCREASES APPLIED PER TABLE 504.3 AND 504.4, FOOTNOTE D.		
3. FRONTAGE INCREASE APPLIED PER \$506.3.2 (OPEN SPACE ≥30').		

CHAPTER 6 TYPES OF CONSTRUCTION	
CONSTRUCTION TYPE:	VB
TABLE 601	REQUIRED FIRE RESISTIVE RATINGS
	PRIMARY STRUCTURAL FRAME EXTERIOR BEARING WALLS INTERIOR BEARING WALLS EXTERIOR NON-BEARING WALLS INTERIOR NON-BEARING WALLS FLOOR CONSTRUCTION ROOF CONSTRUCTION
	0 HOUR 0 HOUR 0 HOUR SEE "FIRE RESISTANCE RATING" BELOW 0 HOUR - UNLESS OTHERWISE NOTED 0 HOUR 0 HOUR 0 HOUR
TABLE 602	FIRE-RESISTANCE RATING FOR EXTERIOR NON-BEARING WALLS
	X < 5 FT = 5 FT ≤ X < 10 FT 10 FT ≤ X < 30 FT 30 FT ≤ X
	= 1 HR = 1 HR = 0 HR = 0 HR

CHAPTER 11 ACCESSIBILITY	
1108.6.2	ACCESSIBLE DWELLING UNITS IN GROUP R-2
	TOTAL DWELLING UNITS: 32 (10 @ LEVEL 1, 11 @ LEVEL 2, 11 @ LEVEL 3)
1108.6.2.2.1	TYPE A UNITS REQUIRED: 1 (2% BUT NOT LESS THAN 1; 2% OF 32 = 0.64)
1108.6.2.2.1	TYPE B UNITS REQUIRED: 10* (ALL UNITS AT LEVEL 1 / ON ACCESSIBLE ROUTE)
	* UPPER-STORY UNITS ARE EXEMPT FROM ACCESSIBILITY REQUIREMENTS PER OSSC §1107.7.

OPEN AREA SCHEDULE

NAME	AREA
OPEN SPACE - LANDSCAPED	7410 SF
OPEN SPACE - REC. AREA	11571 SF
TOTAL	18980 SF

REQUIRED TOTAL OPEN SPACE (20% OF SITE AREA):	9932 SF
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REQUIRED TO BE RECREATION AREA (50%):	4966 SF
---------------------------------------	---------

UNIT TYPE COUNT

UNIT TYPE	AREA	COUNT
2-BED, 1-BATH	<varies>	20
2-BED, 2-BATH	1050 SF	9
3-BED, 2-BATH	1132 SF	3
TOTAL		32

BUILDING AREA SCHEDULE

NAME	UNIT TYPE	AREA
LEVEL 01-B		
CORRIDOR & STAIRS		1344 SF
LOBBY, LOUNGE, STORAGE		768 SF
UNIT 101	2-BED, 2 BATH	1050 SF
UNIT 102	2-BED, 2 BATH	1050 SF
UNIT 103	2-BED, 1-BATH	900 SF
UNIT 104	2-BED, 1-BATH	900 SF
UNIT 105	2-BED, 1-BATH	900 SF
UNIT 106	2-BED, 1-BATH	900 SF
UNIT 108	2-BED, 1-BATH	900 SF
UNIT 109	2-BED, 1-BATH	877 SF
UNIT 110	2-BED, 2 BATH	1050 SF
UNIT 111	3-BED, 2 BATH	1132 SF
SUBTOTAL		11770 SF

LEVEL 02		
CORRIDOR & STAIRS		1003 SF
UNIT 201	2-BED, 2 BATH	1050 SF
UNIT 202	2-BED, 2 BATH	1050 SF
UNIT 203	2-BED, 1-BATH	900 SF
UNIT 204	2-BED, 1-BATH	877 SF
UNIT 205	2-BED, 1-BATH	900 SF
UNIT 206	2-BED, 1-BATH	900 SF
UNIT 207	2-BED, 1-BATH	900 SF
UNIT 208	2-BED, 1-BATH	900 SF
UNIT 209	2-BED, 1-BATH	877 SF
UNIT 210	2-BED, 2 BATH	1050 SF
UNIT 211	3-BED, 2 BATH	1132 SF
SUBTOTAL		11538 SF

LEVEL 03		
CORRIDOR & STAIRS		1016 SF
UNIT 301	2-BED, 2 BATH	1050 SF
UNIT 302	2-BED, 2 BATH	1050 SF
UNIT 303	2-BED, 1-BATH	900 SF
UNIT 304	2-BED, 1-BATH	877 SF
UNIT 305	2-BED, 1-BATH	900 SF
UNIT 306	2-BED, 1-BATH	900 SF
UNIT 307	2-BED, 1-BATH	900 SF
UNIT 308	2-BED, 1-BATH	900 SF
UNIT 309	2-BED, 1-BATH	877 SF
UNIT 310	2-BED, 2 BATH	1050 SF
UNIT 311	3-BED, 2 BATH	1132 SF
SUBTOTAL		11551 SF
BUILDING TOTAL		34859 SF

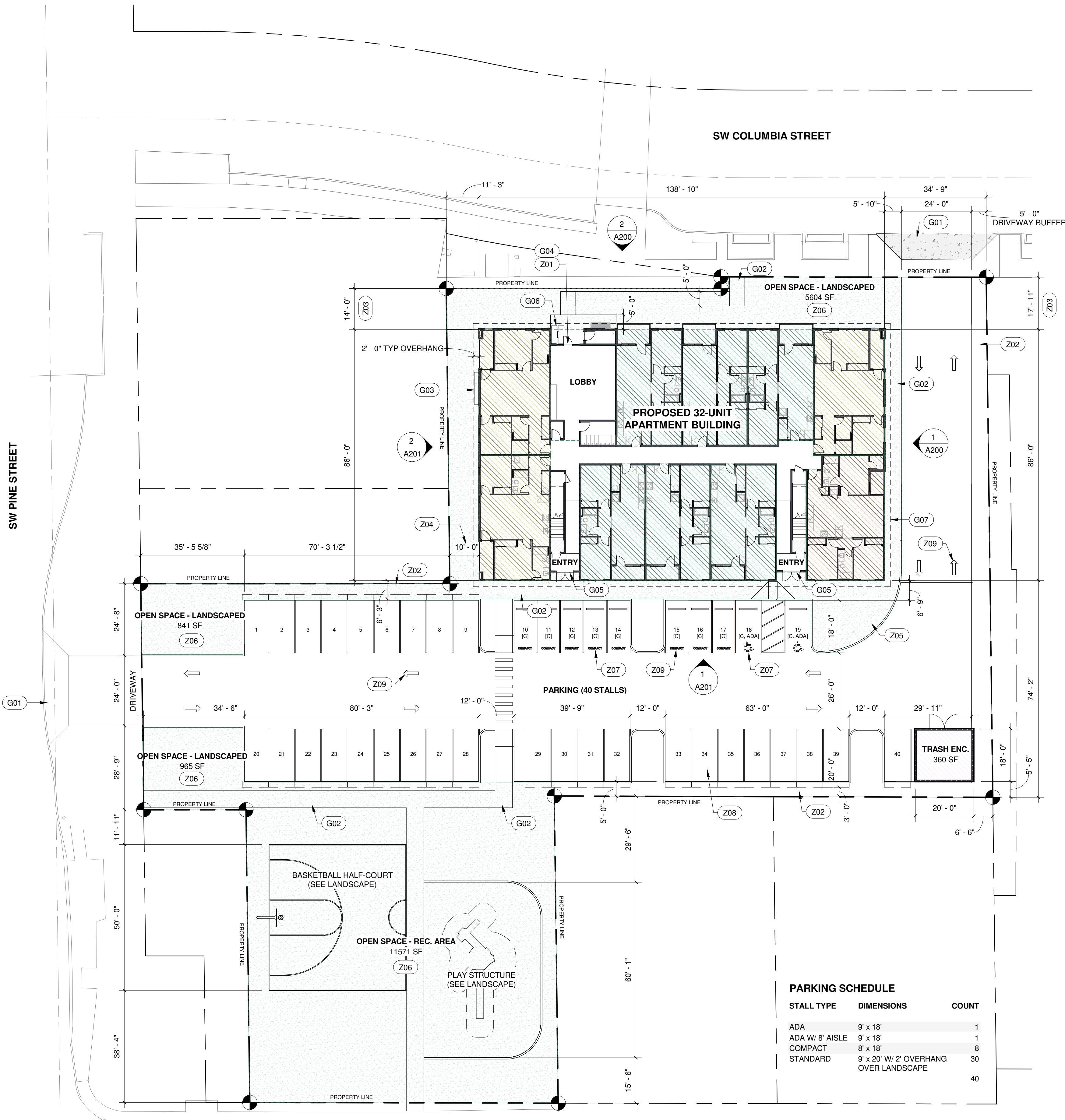
KEY NOTES

ZONING CODE RELATED

- Z01** COMPLIANCE WITH SZCDC 16.90.020.D: PROPOSED STREET-FACING LOBBY ENTRANCE DISTINGUISHED BY A METAL CANOPY, ENHANCED DOOR HEIGHT, AND WOOD-FINISH CLADDING TO EMPHASIZE PEDESTRIAN ORIENTATION AND ENTRY HIERARCHY. INCLUDES BENCH SEATING TO ENHANCE STREET FRONTAGE. SEE ELEVATIONS AND NARRATIVE FOR ADDITIONAL DETAIL.
- Z02** 5' MIN PERIMETER LANDSCAPE BUFFER PER 16.92.030.A.2 & 3. REFERENCE LANDSCAPE PLANS FOR FURTHER DETAIL.
- Z03** COMPLIANCE WITH SZCDC 16.90.020.D.7.B: BUILDING MAINTAINS A CONSISTENT FRONTAGE APPROX. 17'-11" FROM SW COLUMBIA STREET TO SUPPORT PEDESTRIAN ORIENTATION WHILE RESPECTING SITE CONSTRAINTS. THE STANDARD DOES NOT REQUIRE A FIXED BUILD-TO-LINE; DESIGN MEETS INTENT THROUGH CONTINUOUS FRONTAGE, DEFINED ENTRIES, AND STREET-FACING LOBBY. SEE NARRATIVE FOR DETAIL.
- Z04** PROPOSED SIDE SETBACK, SEE ZONING CODE SUMMARY FOR CALCULATION FOR MINIMUM REQUIRED SETBACK.
- Z05** (6) PROPOSED PARKING LANDSCAPE ISLANDS TO MEET THE REQUIREMENTS OF 16.92.030.B.6.b. SEE LANDSCAPE AND NARRATIVE FOR FURTHER DETAIL.
- Z06** OPEN SPACE, LANDSCAPED AND RECREATIONAL, AS REQUIRED BY 16.140.020. SEE OPEN AREA SCHEDULE FOR TOTAL AREAS AND REQUIRED AREAS. SEE LANDSCAPE PLAN AND NARRATIVE FOR FURTHER DETAIL.
- Z07** COMPACT & ADA STALLS: DIMENSIONS PER PARKING SCHEDULE. 4" HIGH MIN. WHEEL STOP LOCATED 3' FROM FRONT OF STALL TO PREVENT VEHICLE OVERHANG INTO PEDESTRIAN PATH, PER SZCDC 16.94.020.B.3.
- Z08** STANDARD STALLS: 18' PAVED DEPTH WITH 2' OVERHANG INTO 3' LANDSCAPE BUFFER; CURB ACTS AS WHEEL STOP IN LIEU OF FREESTANDING STOP, PER SZCDC 16.94.020.B.3.
- Z09** PARKING STRIPING & SIGNAGE: ALL STALLS, DRIVE AISLES, AND DIRECTIONAL FLOW MARKED PER SZCDC 16.94.010.F.

GENERAL

- G01** PROPOSED CURBCUT/ DRIVEWAY ACCESS. SEE CIVIL FOR FURTHER DETAIL.
- G02** PEDESTRIAN ACCESS WITH 5' MINIMUM WIDTH. SEE LANDSCAPE PLAN FOR FURTHER DETAIL.
- G03** PROPOSED LOCATION FOR ELECTRICAL METER BANK. SEE CIVIL FOR FURTHER DETAIL.
- G04** PROPOSED MAIN/LOBBY ENTRANCE.
- G05** PROPOSED SECONDARY BUILDING ENTRANCE.
- G06** 2 SHORT TERM BIKE PARKING SPOTS (1 STAPLE RACK)
- G07** LINE OF ROOF ABOVE.



PARKING SCHEDULE

STALL TYPE	DIMENSIONS	COUNT
ADA	9' x 18'	1
ADA W/ 8' AISLE	9' x 18'	1
COMPACT	8' x 18'	8
STANDARD	9' x 20' W/ 2' OVERHANG OVER LANDSCAPE	30
		40

4
A001
SITE PLAN
1" = 20'-0"





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Project Name

SHERWOOD
OLD TOWN
APARTMENTS

Project Address

15665 SW WILLAMETTE
SHERWOOD, OR 97140

revision:

set issue date:

8/22/25

sheet name:

ZONING
ELEVATION

sheet number:

A002

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GENERAL NOTES - ELEVATIONS

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- B. BUILDING HEIGHTS, MASSING, AND VERTICAL DIMENSIONS ARE APPROXIMATE AND SUBJECT TO REFINEMENT DURING DESIGN DEVELOPMENT AND COORDINATION WITH STRUCTURAL AND CIVIL DISCIPLINES.
- C. WINDOW AND DOOR SIZES, TYPES, AND CONFIGURATIONS ARE ILLUSTRATIVE. FINAL DESIGN, DETAILING, AND PERFORMANCE CRITERIA WILL BE CONFIRMED DURING CONSTRUCTION DOCUMENTATION.
- D. FACADE ELEMENTS SUCH AS CANOPIES, RAILINGS, LIGHTING, SIGNAGE, AND TRIM ARE CONCEPTUAL AND MAY CHANGE DURING FURTHER DESIGN DEVELOPMENT.
- E. MATERIALS, COLORS, AND FINISHES SHOWN ARE CONCEPTUAL AND SUBJECT TO REFINEMENT. FINAL SELECTIONS MAY CHANGE DURING THE DESIGN AND PERMITTING PROCESS AND SHOULD NOT BE CONSIDERED BINDING CONDITIONS OF APPROVAL.
- F. ALL REPRESENTATIONS OF EXTERIOR DESIGN ARE FOR GENERAL CHARACTER AND MASSING PURPOSES ONLY. THE FINAL ARCHITECTURAL DESIGN WILL BE DEVELOPED BASED ON CODE COMPLIANCE, TECHNICAL COORDINATION, AND JURISDICTIONAL FEEDBACK.



SEE SHEETS A200 AND A201 FOR ADDITIONAL DETAIL

GLAZING AREA CALCULATION REGARDING SZCDC 16.90.020.D.7.d

- FACADE AREA: 4,106 SF
- WINDOWS AND DOORS (SHOWN HATCHED): 1,172 SF
- CALC: 1,172 SF / 4,106 SF = **28.5%**

1
A002

NW ELEVATION - GLAZING DIAGRAM

3/16" = 1'-0"



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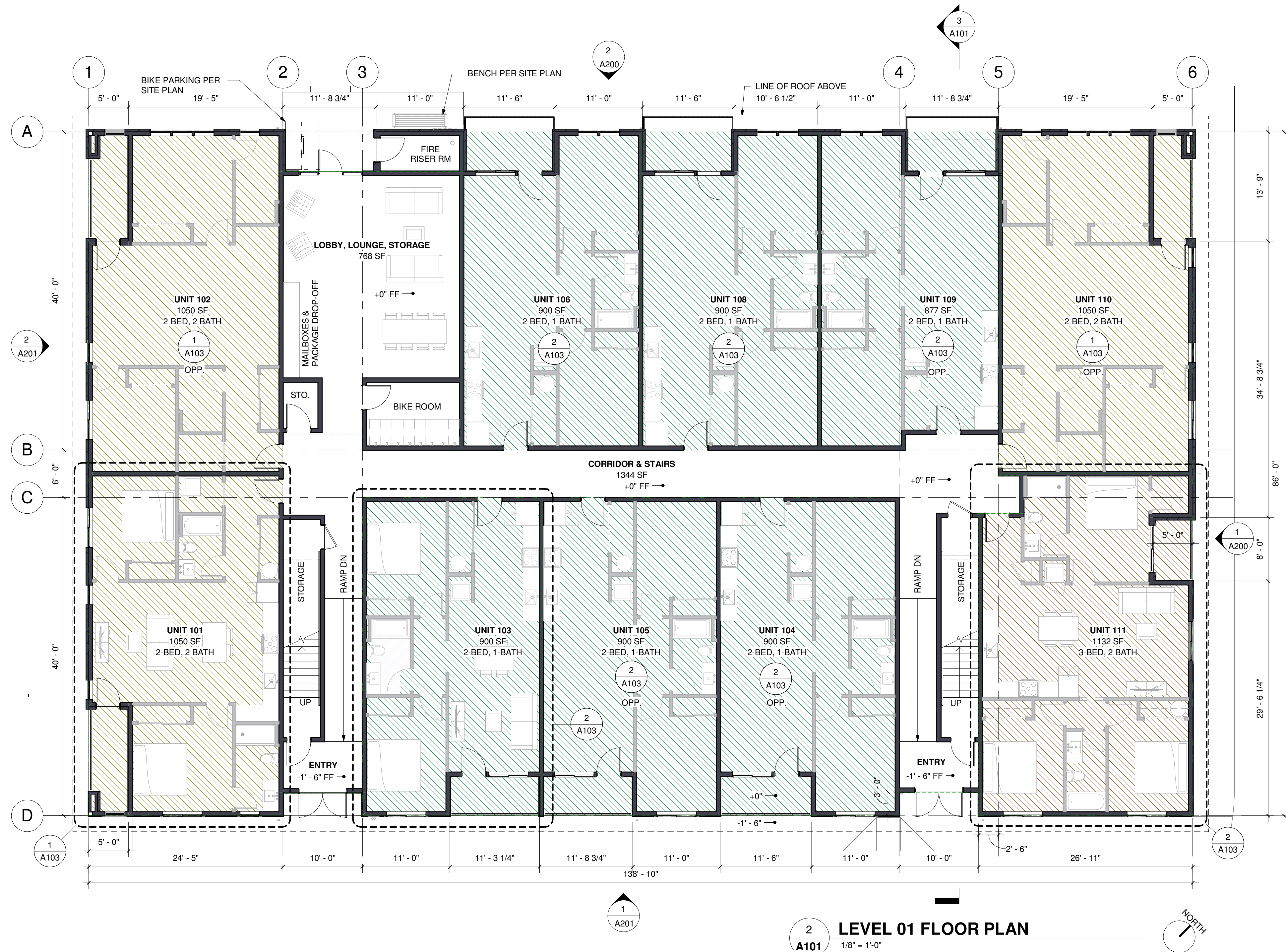
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3 CROSS SECTION @ GRID 4.5

1/8" = 1'-0"



UNIT TYPE COUNT

UNIT TYPE	AREA	COUNT
2-BED, 1-BATH	<varies>	20
2-BED, 2-BATH	1050 SF	9
3-BED, 2-BATH	1132 SF	3
TOTAL		32

BUILDING AREA SCHEDULE

NAME	UNIT TYPE	AREA
LEVEL 01-B		
CORRIDOR & STAIRS		1344 SF
LOBBY, LOUNGE, STORAGE		768 SF
UNIT 101	2-BED, 2 BATH	1050 SF
UNIT 102	2-BED, 2 BATH	1050 SF
UNIT 103	2-BED, 1-BATH	900 SF
UNIT 104	2-BED, 1-BATH	900 SF
UNIT 105	2-BED, 1-BATH	900 SF
UNIT 106	2-BED, 1-BATH	900 SF
UNIT 108	2-BED, 1-BATH	900 SF
UNIT 109	2-BED, 1-BATH	877 SF
UNIT 110	2-BED, 2 BATH	1050 SF
UNIT 111	3-BED, 2 BATH	1132 SF
SUBTOTAL		11770 SF
LEVEL 02		
CORRIDOR & STAIRS		1003 SF
UNIT 201	2-BED, 2 BATH	1050 SF
UNIT 202	2-BED, 2 BATH	1050 SF
UNIT 203	2-BED, 1-BATH	900 SF
UNIT 204	2-BED, 1-BATH	877 SF
UNIT 205	2-BED, 1-BATH	900 SF
UNIT 206	2-BED, 1-BATH	900 SF
UNIT 207	2-BED, 1-BATH	900 SF
UNIT 208	2-BED, 1-BATH	900 SF
UNIT 209	2-BED, 1-BATH	877 SF
UNIT 210	2-BED, 2 BATH	1050 SF
UNIT 211	3-BED, 2 BATH	1132 SF
SUBTOTAL		11538 SF
LEVEL 03		
CORRIDOR & STAIRS		1016 SF
UNIT 301	2-BED, 2 BATH	1050 SF
UNIT 302	2-BED, 2 BATH	1050 SF
UNIT 303	2-BED, 1-BATH	900 SF
UNIT 304	2-BED, 1-BATH	877 SF
UNIT 305	2-BED, 1-BATH	900 SF
UNIT 306	2-BED, 1-BATH	900 SF
UNIT 307	2-BED, 1-BATH	900 SF
UNIT 308	2-BED, 1-BATH	900 SF
UNIT 309	2-BED, 1-BATH	877 SF
UNIT 310	2-BED, 2 BATH	1050 SF
UNIT 311	3-BED, 2 BATH	1132 SF
SUBTOTAL		11551 SF
BUILDING TOTAL		34859 SF

revision:

set issue date:

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sheet name:

**FLOOR
PLANS**

sheet number:

A101



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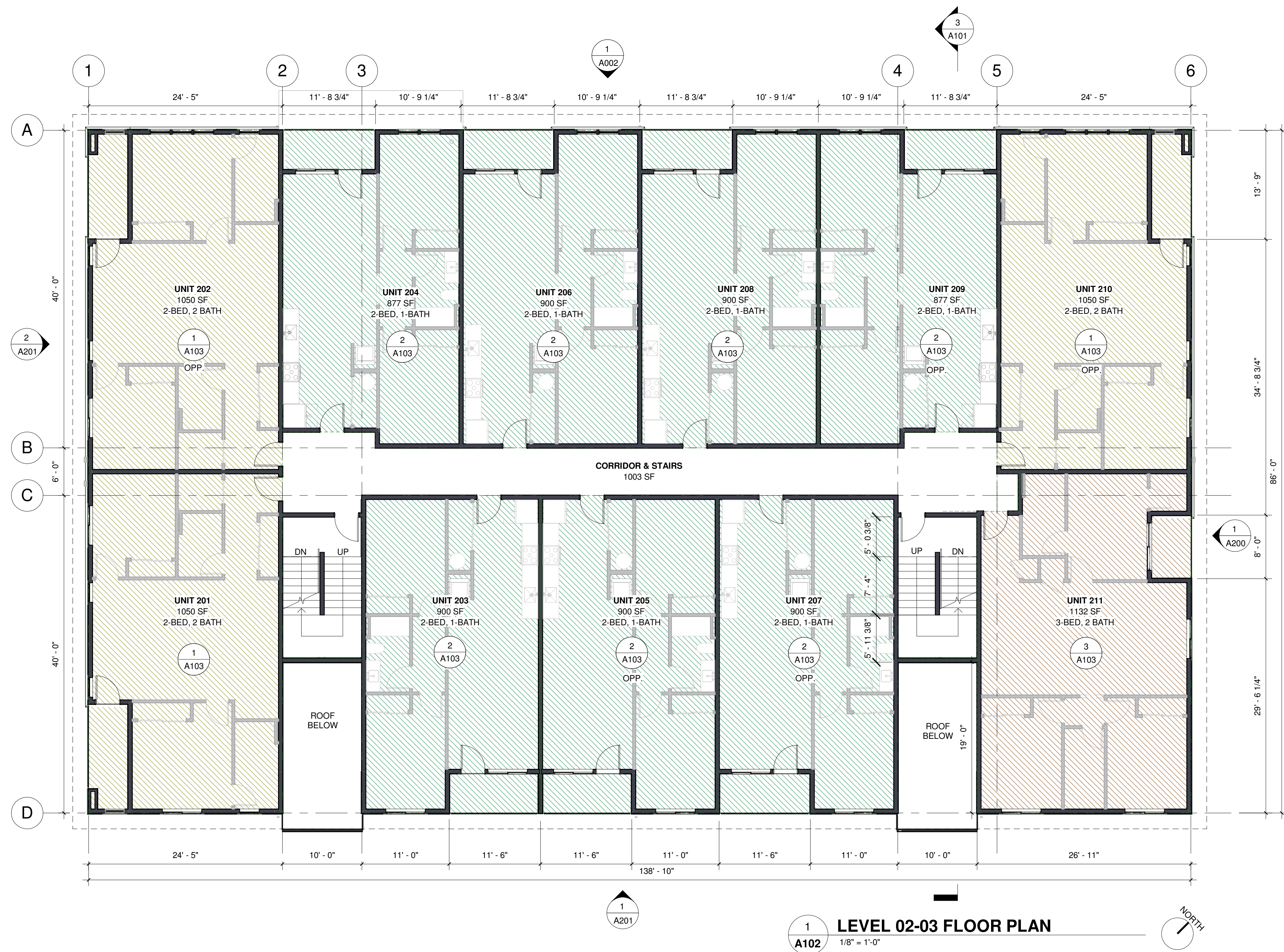
SHERWOOD
OLD TOWN
APARTMENTS

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UNIT TYPE COUNT

UNIT TYPE	AREA	COUNT
2-BED, 1-BATH	<varies>	20
2-BED, 2-BATH	1050 SF	9
3-BED, 2-BATH	1132 SF	3
TOTAL		32

BUILDING AREA SCHEDULE

NAME	UNIT TYPE	AREA
LEVEL 01-B		
CORRIDOR & STAIRS		1344 SF
LOBBY, LOUNGE, STORAGE		789 SF
UNIT 101	2-BED, 2 BATH	1050 SF
UNIT 102	2-BED, 2 BATH	1050 SF
UNIT 103	2-BED, 1-BATH	900 SF
UNIT 104	2-BED, 1-BATH	900 SF
UNIT 105	2-BED, 1-BATH	900 SF
UNIT 106	2-BED, 1-BATH	900 SF
UNIT 108	2-BED, 1-BATH	900 SF
UNIT 109	2-BED, 1-BATH	877 SF
UNIT 110	2-BED, 2 BATH	1050 SF
UNIT 111	3-BED, 2 BATH	1132 SF
SUBTOTAL		11770 SF
LEVEL 02		
CORRIDOR & STAIRS		1003 SF
UNIT 201	2-BED, 2 BATH	1050 SF
UNIT 202	2-BED, 2 BATH	1050 SF
UNIT 203	2-BED, 1-BATH	900 SF
UNIT 204	2-BED, 1-BATH	877 SF
UNIT 205	2-BED, 1-BATH	900 SF
UNIT 206	2-BED, 1-BATH	900 SF
UNIT 207	2-BED, 1-BATH	900 SF
UNIT 208	2-BED, 1-BATH	900 SF
UNIT 209	2-BED, 1-BATH	877 SF
UNIT 210	2-BED, 2 BATH	1050 SF
UNIT 211	3-BED, 2 BATH	1132 SF
SUBTOTAL		11538 SF
LEVEL 03		
CORRIDOR & STAIRS		1016 SF
UNIT 301	2-BED, 2 BATH	1050 SF
UNIT 302	2-BED, 2 BATH	1050 SF
UNIT 303	2-BED, 1-BATH	900 SF
UNIT 304	2-BED, 1-BATH	877 SF
UNIT 305	2-BED, 1-BATH	900 SF
UNIT 306	2-BED, 1-BATH	900 SF
UNIT 307	2-BED, 1-BATH	900 SF
UNIT 308	2-BED, 1-BATH	900 SF
UNIT 309	2-BED, 1-BATH	877 SF
UNIT 310	2-BED, 2 BATH	1050 SF
UNIT 311	3-BED, 2 BATH	1132 SF
SUBTOTAL		11551 SF
BUILDING TOTAL		34859 SF

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sheet name:

FLOOR
PLANS

sheet number:

A102



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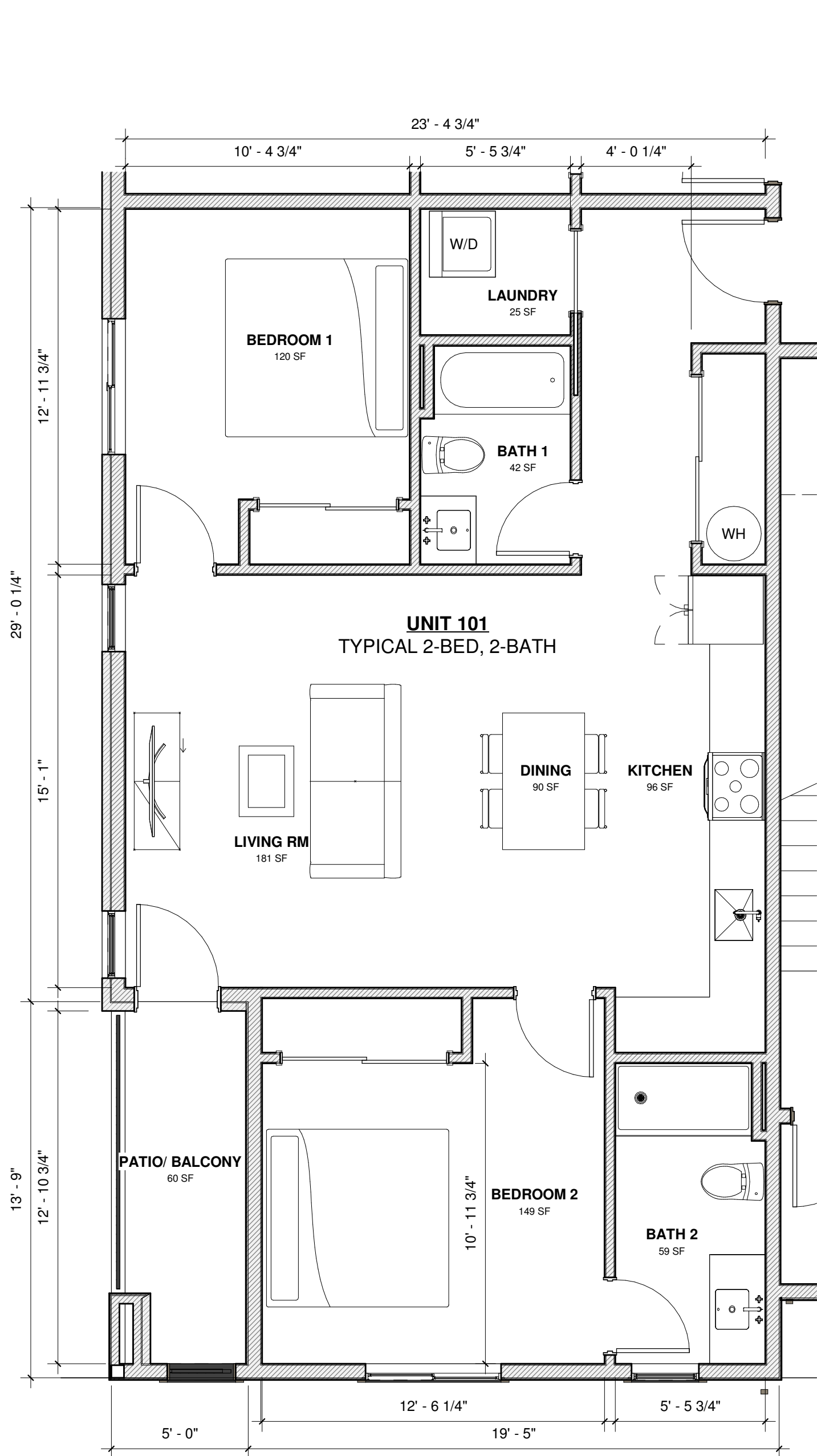
SHERWOOD OLD TOWN APARTMENTS

Project Address

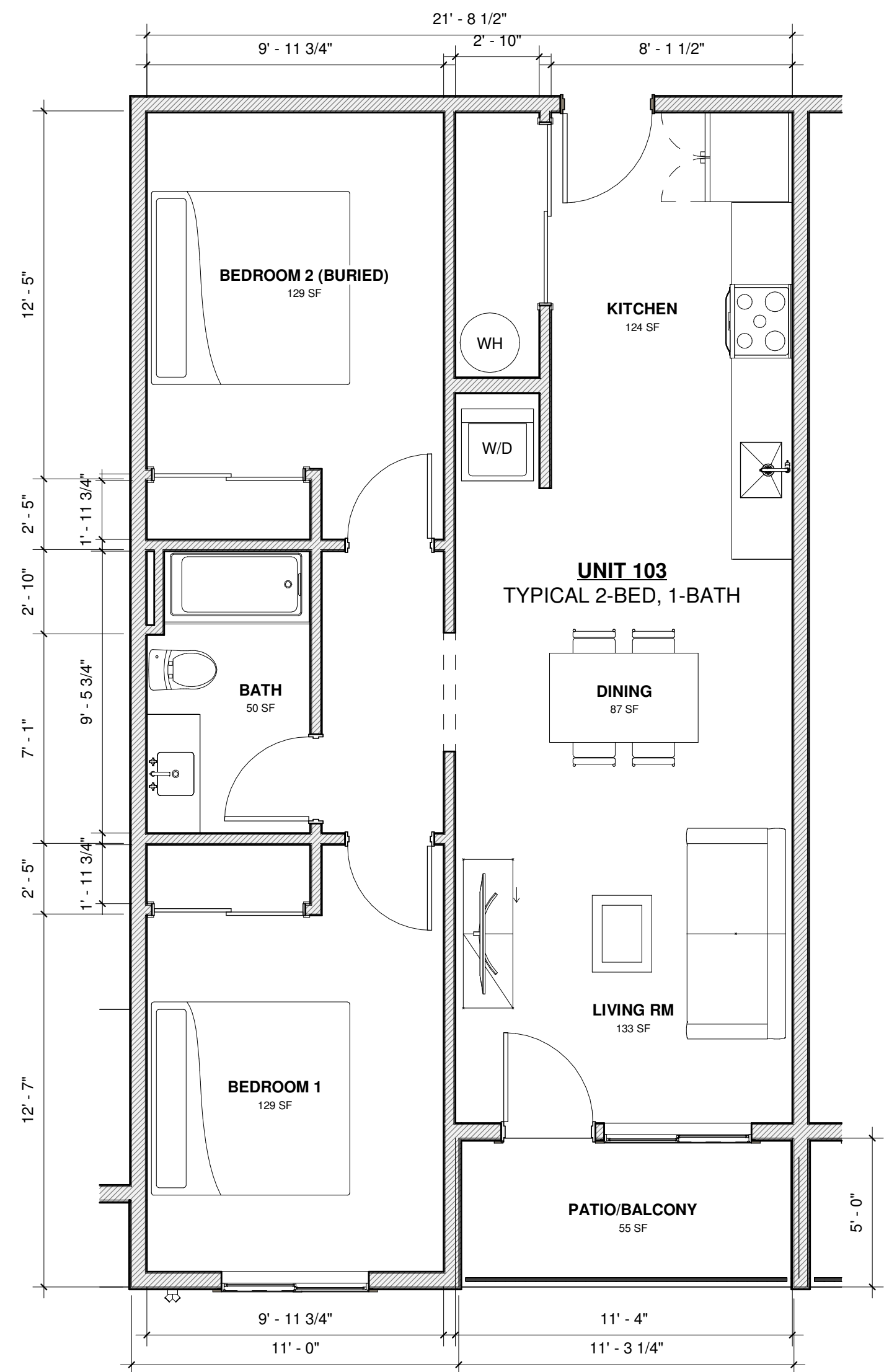
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GENERAL NOTES - FLOOR PLAN

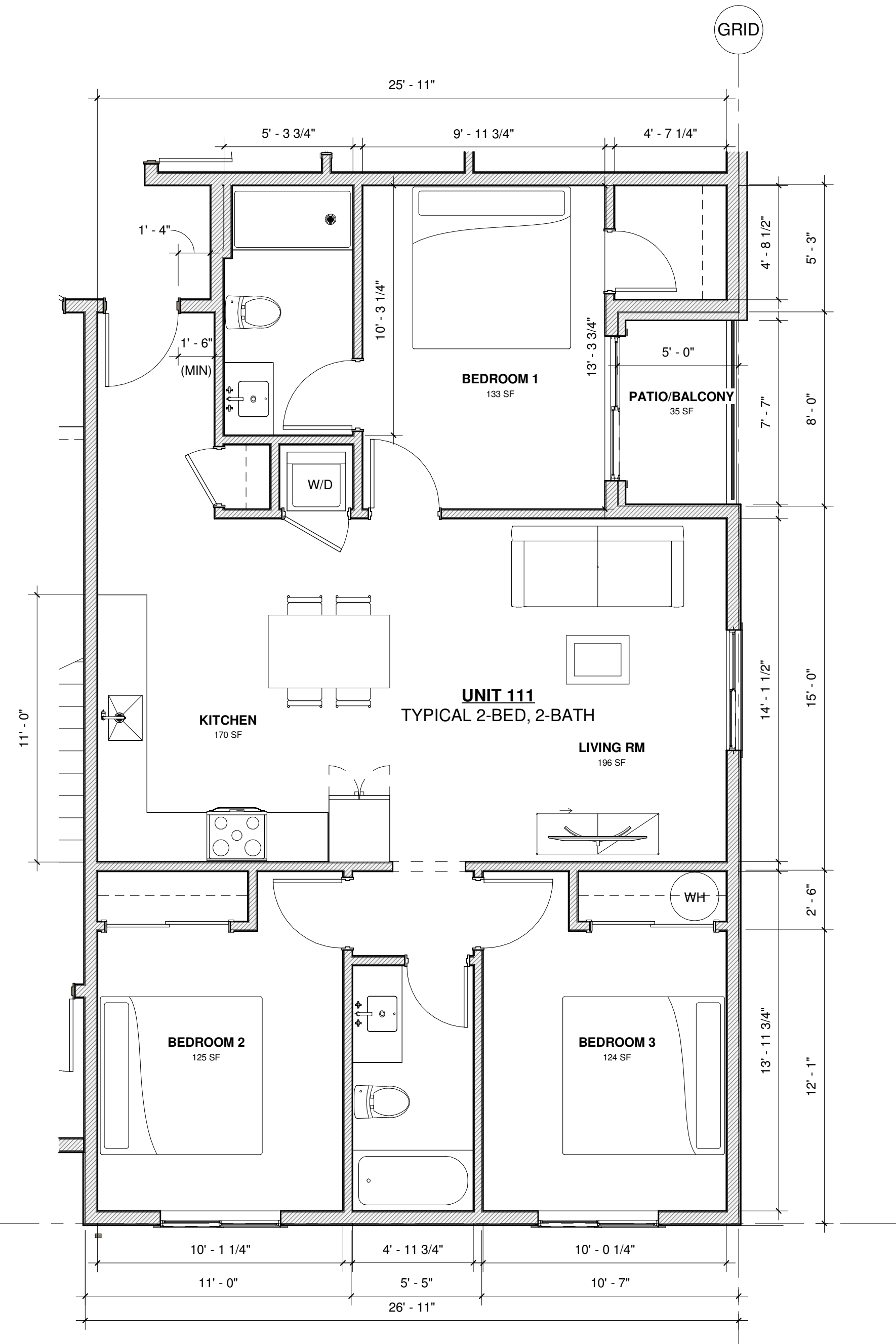
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1
A103 TYPICAL 2-BED, 2-BATH
1/4" = 1'-0"



2
A103 TYPICAL 2-BED, 1-BATH
1/4" = 1'-0"



3
A103 TYPICAL 3-BED, 2-BATH
1/4" = 1'-0"

BUILDING AREA SCHEDULE

NAME	UNIT TYPE	AREA
LEVEL 01-B		
CORRIDOR & STAIRS		1344 SF
LOBBY, LOUNGE, STORAGE		769 SF
UNIT 101	2-BED, 2 BATH	1050 SF
UNIT 102	2-BED, 2 BATH	1050 SF
UNIT 103	2-BED, 1-BATH	900 SF
UNIT 104	2-BED, 1-BATH	900 SF
UNIT 105	2-BED, 1-BATH	900 SF
UNIT 106	2-BED, 1-BATH	900 SF
UNIT 108	2-BED, 1-BATH	900 SF
UNIT 109	2-BED, 1-BATH	877 SF
UNIT 110	2-BED, 2 BATH	1050 SF
UNIT 111	3-BED, 2 BATH	1132 SF
SUBTOTAL		11770 SF
LEVEL 02		
CORRIDOR & STAIRS		1003 SF
UNIT 201	2-BED, 2 BATH	1050 SF
UNIT 202	2-BED, 2 BATH	1050 SF
UNIT 203	2-BED, 1-BATH	900 SF
UNIT 204	2-BED, 1-BATH	877 SF
UNIT 205	2-BED, 1-BATH	900 SF
UNIT 206	2-BED, 1-BATH	900 SF
UNIT 207	2-BED, 1-BATH	900 SF
UNIT 208	2-BED, 1-BATH	900 SF
UNIT 209	2-BED, 1-BATH	877 SF
UNIT 210	2-BED, 2 BATH	1050 SF
UNIT 211	3-BED, 2 BATH	1132 SF
SUBTOTAL		11538 SF
LEVEL 03		
CORRIDOR & STAIRS		1016 SF
UNIT 301	2-BED, 2 BATH	1050 SF
UNIT 302	2-BED, 2 BATH	1050 SF
UNIT 303	2-BED, 1-BATH	900 SF
UNIT 304	2-BED, 1-BATH	877 SF
UNIT 305	2-BED, 1-BATH	900 SF
UNIT 306	2-BED, 1-BATH	900 SF
UNIT 307	2-BED, 1-BATH	900 SF
UNIT 308	2-BED, 1-BATH	900 SF
UNIT 309	2-BED, 1-BATH	877 SF
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UNIT 311	3-BED, 2 BATH	1132 SF
SUBTOTAL		11551 SF
BUILDING TOTAL		34859 SF

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sheet name:

UNIT PLANS

sheet number:

A103

KEY NOTES

ARCHITECTURAL

- A01 **MAIN LOBBY ENTRY:** 3'-0" X 8'-0" GLAZED DOOR WITHIN ALUMINUM STOREFRONT SYSTEM, BLACK FINISH MATCHING WINDOW SYSTEM.
- A02 **DOWNSPOUTS:** PAINTED METAL, PT-1 TO MATCH WINDOW SYSTEM.
- A03 **SECONDARY ENTRANCE:** 6'-0" X 8'-0" GLAZED DOUBLE DOORS, FINISH TO MATCH PT-1.
- A04 **WALL OPENING:** 2'-6" X 5'-0" SIZED TO ALIGN WITH TYPICAL WINDOW UNITS.
- A05 **HORIZONTAL TRIM BAND:** NOMINAL 1X12 FIBER-CEMENT TRIM, PAINTED TO MATCH CP-1.
- A06 **EAVE TRIM:** NOMINAL 1X8 FIBER-CEMENT TRIM, PAINTED PT-1 TO MATCH FASCIA AND WINDOW TRIM
- A07 **FASCIA BOARD:** NOMINAL 1X18 FIBER-CEMENT TRIM, PAINTED PT-1.
- A08 **GUTTER:** PAINTED METAL, PT-1 FINISH, BOX (FASCIA) PROFILE, INTEGRATED WITH FASCIA BOARD
- A09 **WINDOW TRIM:** NOMINAL 1X4 HARDIETRIM BOARDS, PAINTED PT-1, TYPICAL AT ALL WINDOWS WITHIN CP-1 AND CP-2 WALL FINISHES.

- A10 **HVAC SCREEN:** APPROX. 42" HIGH, ALUMINUM SYSTEM TO MATCH GUARDRAIL DESIGN AND PT-1 FINISH.
- A11 **GUARDRAIL:** 42" HIGH ALUMINUM SYSTEM WITH 1/2" X 1 1/2" VERTICAL PICKETS @ 4" O.C., PAINTED PT-1 FINISH, TYPICAL AT ALL EXTERIOR GUARDRAILS
- A12 **ENTRY CANOPY:** APPROX. 5'-0" DEEP X 23'-0" WIDE, METAL-FRAMED, PAINTED PT-1, WITH WD-1 CEILING FINISH AND INTEGRATED LIGHTING.
- A13 **DRYER EXHAUST:** TYPICALLY LOCATED WITHIN BALCONIES EXCEPT AS SHOWN, PAINTED PT-1 TO MATCH ADJACENT METALWORK.
- A14 **BENCH:** EXTERIOR, PRE-MANUFACTURED UNIT, FINISH AND STYLE TO COORDINATE WITH SITE FURNISHINGS (SPECIFICATION TBD)

WINDOWS

- W01 **SINGLE-HUNG WINDOWS:** 2'-6" X 5'-0" SINGLE-HUNG MILGARD TRINSIC V300 SERIES, BLACK FINISH.
- W02 **SLIDER WINDOWS:** 5'-0" X 5'-0" SLIDING MILGARD TRINSIC V300 SERIES, BLACK FINISH.

MATERIAL LEGEND

- PT-1: PAINTED TRIM, ETC. (SEE KEY NOTES) SW 6258 TRICORN BLACK
- CP-1: HARDIE® PANEL SMOOTH CEMENT BOARD SIDING, PAINTED SW 2851 SAGE GREEN LIGHT
- CP-2: HARDIE® PANEL SMOOTH CEMENT BOARD SIDING, PAINTED SW 6085 SIMPLIFY BEIGE
- BR-1: ARCHITECTURAL BRICK, HEBRON BRICK OCEAN GRAY BLEND
- WD-1: CLEAR CEDAR T&G CLADDING, INSTALLED VERTICALLY WITH NATURAL FINISH (SEALED)
- CN-1: EXPOSED CONCRETE FOUNDATION WALL, SMOOTH FINISH, NATURAL COLOR

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EXTERIOR
ELEVATIONS

sheet number:

A200

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1 NE ELEVATION
3/16" = 1'-0"



2 NW ELEVATION
3/16" = 1'-0"
[STREET-FACING ELEVATION]

SEE #/a### FOR GLAZING AREA CALCULATION
REGARDING SMC 16.90.020.D.7.d



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EXTERIOR ELEVATIONS

sheet number:

A201

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KEY NOTES

ARCHITECTURAL

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- A02 **DOWNSPOUTS:** PAINTED METAL, PT-1 TO MATCH WINDOW SYSTEM.
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- A07 **FASCIA BOARD:** NOMINAL 1X18 FIBER-CEMENT TRIM, PAINTED PT-1.
- A08 **GUTTER:** PAINTED METAL, PT-1 FINISH, BOX (FASCIA) PROFILE, INTEGRATED WITH FASCIA BOARD
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- A10 **HVAC SCREEN:** APPROX. 42" HIGH, ALUMINUM SYSTEM TO MATCH GUARDRAIL DESIGN AND PT-1 FINISH.
- A11 **GUARDRAIL:** 42" HIGH ALUMINUM SYSTEM WITH 1/2" X 1 1/2" VERTICAL PICKETS @ 4" O.C., PAINTED PT-1 FINISH, TYPICAL AT ALL EXTERIOR GUARDRAILS
- A12 **ENTRY CANOPY:** APPROX. 5'-0" DEEP X 23'-0" WIDE, METAL-FRAMED, PAINTED PT-1, WITH WD-1 CEILING FINISH AND INTEGRATED LIGHTING.
- A13 **DRYER EXHAUST:** TYPICALLY LOCATED WITHIN BALCONIES EXCEPT AS SHOWN, PAINTED PT-1 TO MATCH ADJACENT METALWORK.
- A14 **BENCH:** EXTERIOR, PRE-MANUFACTURED UNIT, FINISH AND STYLE TO COORDINATE WITH SITE FURNISHINGS (SPECIFICATION TBD)

WINDOWS

- W01 **SINGLE-HUNG WINDOWS:** 2'-6" X 5'-0" SINGLE-HUNG MILGARD TRINSIC V300 SERIES, BLACK FINISH.
- W02 **SLIDER WINDOWS:** 5'-0" X 5'-0" SLIDING MILGARD TRINSIC V300 SERIES, BLACK FINISH.

MATERIAL LEGEND

- PT-1:** PAINTED TRIM, ETC. (SEE KEY NOTES) SW 6258 TRICORN BLACK
- CP-1:** HARDIE® PANEL SMOOTH CEMENT BOARD SIDING, PAINTED SW 2851 SAGE GREEN LIGHT
- CP-2:** HARDIE® PANEL SMOOTH CEMENT BOARD SIDING, PAINTED SW 6085 SIMPLIFY BEIGE
- BR-1:** ARCHITECTURAL BRICK, HEBRON BRICK OCEAN GRAY BLEND
- WD-1:** CLEAR CEDAR T&G CLADDING, INSTALLED VERTICALLY WITH NATURAL FINISH (SEALED)
- CN-1:** EXPOSED CONCRETE FOUNDATION WALL, SMOOTH FINISH, NATURAL COLOR

GENERAL NOTES - ELEVATIONS

- A. THESE ELEVATIONS ARE PRELIMINARY AND INTENDED FOR SCHEMATIC DESIGN AND/OR LAND USE REVIEW PURPOSES ONLY. THEY ARE NOT INTENDED FOR CONSTRUCTION OR PERMIT DOCUMENTATION.
- B. BUILDING HEIGHTS, MASSING, AND VERTICAL DIMENSIONS ARE APPROXIMATE AND SUBJECT TO REFINEMENT DURING DESIGN DEVELOPMENT AND COORDINATION WITH STRUCTURAL AND CIVIL DISCIPLINES.
- C. WINDOW AND DOOR SIZES, TYPES, AND CONFIGURATIONS ARE ILLUSTRATIVE. FINAL DESIGN, DETAILING, AND PERFORMANCE CRITERIA WILL BE CONFIRMED DURING CONSTRUCTION DOCUMENTATION.
- D. FACADE ELEMENTS SUCH AS CANOPIES, RAILINGS, LIGHTING, SIGNAGE, AND TRIM ARE CONCEPTUAL AND MAY CHANGE DURING FURTHER DESIGN DEVELOPMENT.
- E. MATERIALS, COLORS, AND FINISHES SHOWN ARE CONCEPTUAL AND SUBJECT TO REFINEMENT. FINAL SELECTIONS MAY CHANGE DURING THE DESIGN AND PERMITTING PROCESS AND SHOULD NOT BE CONSIDERED BINDING CONDITIONS OF APPROVAL.
- F. ALL REPRESENTATIONS OF EXTERIOR DESIGN ARE FOR GENERAL CHARACTER AND MASSING PURPOSES ONLY. THE FINAL ARCHITECTURAL DESIGN WILL BE DEVELOPED BASED ON CODE COMPLIANCE, TECHNICAL COORDINATION, AND JURISDICTIONAL FEEDBACK.



2 **SW ELEVATION**
3/16" = 1'-0"



1 **SE ELEVATION**
3/16" = 1'-0"