



Home of the Tualatin River National Wildlife Refuge

RECEIVED
SEP 26 2023

City of Sherwood
Planning Dept.

Case No. LU2023-016 VAR
Fee 1261.31
Receipt # 145046
Date 9.26.23
TYPE IL

City of Sherwood
Application for Land Use Action

Type of Land Use Action Requested: (check all that apply)

- Annexation
- Plan Amendment (Proposed Zone _____)
- Planned Unit Development
- Site Plan (square footage of building and parking area)
- Variance (list standards to be varied in description)
- Conditional Use
- Partition (# of lots _____)
- Subdivision (# of lots _____)
- Other: _____

By submitting this form the Owner, or Owner's authorized agent/ representative, acknowledges and agrees that City of Sherwood employees, and appointed or elected City Officials, have authority to enter the project site at all reasonable times for the purpose of inspecting project site conditions and gathering information related specifically to the project site.

Note: See City of Sherwood current Fee Schedule, which includes the "Publication/Distribution of Notice" fee, at www.sherwoodoregon.gov. Click on Government/Finance/Fee Schedule.

Owner/Applicant Information:

Applicant: Steven L Farnsworth PE Phone: 971-363-7022
 Applicant Address: 10225 NW Lee Street, Portland OR 97229 Email: roadengr@comcast.net
 Owner: Brett Paul - Sherwood Equity Group LLC Phone: 630-358-3311
 Owner Address: 745 McClintock Dr., Suite 305, Burr Ridge, IL 60527 Email: brettpaul@xsiterealestate.com
 Contact for Additional Information: Steven L Farnsworth PE 971-363-7022

Property Information:

Street Location: 21003 SW Pacific Hwy, Sherwood OR 97140
 Tax Lot and Map No: Sec 30 T2S R1W LU 2020-023 2S130AD15000
 Existing Structures/Use: Coffee Stand
 Existing Plan/Zone Designation: RC
 Size of Property(ies) 0.16 AC

Proposed Action:

Purpose and Description of Proposed Action:

Variance for landscaping reduction of 10' to 8'

Please see the attached narrative.

Proposed Use: Coffee Stand

Proposed No. of Phases (one year each): One

LAND USE APPLICATION FORM

Authorizing Signatures:

I am the owner/authorized agent of the owner empowered to submit this application and affirm that the information submitted with this application is correct to the best of my knowledge.

I further acknowledge that I have read the applicable standards for review of the land use action I am requesting and understand that I must demonstrate to the City review authorities compliance with these standards prior to approval of my request.

Applicant's Signature: *Shirley F. Farnsworth PE*

Date: *9/18/23*

Owner's Signature: *[Handwritten Signature]*

Date: *9/18/23*

Owner's Signature

Date

The following materials must be submitted with your application or it will not be accepted at the counter. Once taken at the counter, the City has up to 30 days to review the materials submitted to determine if we have everything we need to complete the review. Applicant can verify submittal includes specific materials necessary for the application per checklist.

- 3 Copies of Application Form*** completely filled out and signed by the property owner (or person with authority to make decisions on the property).
- Copy of Deed** to verify ownership, easements, etc.
- At least 3 folded** sets of plans*
- At least 3 copies** of narrative addressing application criteria*
- Fee** (along with calculations utilized to determine fee if applicable)
- Neighborhood Meeting Verification** including affidavit, sign-in sheet and meeting summary (required for Type III, IV and V projects)

* Note that the required numbers of copies identified on the checklist are required for completeness; however, upon initial submittal applicants are encouraged to submit only 3 copies for completeness review. Prior to completeness, the required number of copies identified on the checklist and one full electronic copy will be required to be submitted.

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SEP 29 2023

Roadway Engineering, Inc.
Steven L. Farnsworth PE
1025 NW Lee Street
Portland OR 97229
971-363-7022

City of Sherwood
Planning Dept.

Date: 9/27/23

Project: Ziggi's Coffee Stand

Variance Request:

Reduce the landscape buffer from the required 10' to 9' which is a 10% reduction.

Narrative Response for Variance

Approval Process: Class B variances and Residential Design Checklist with Class B Variance shall be reviewed using a Type II procedure.

In addition to the application requirements contained in Chapter 16.72.010, the applicant shall provide a written narrative describing the reason for the variance, why it is required, alternatives considered, and compliance with the criteria in subsection 3.

Approval Criteria (subject to the provisions of this section): The City shall approve, approve with conditions, or deny an application for a Class B Variance based on the following criteria:

The variance requested is required due to the lot configuration, or other conditions of the site.

The lot configuration is such that only one drive isle is possible at this time and the traffic is backed up onto the public road, which causes dangerous traffic movements on the curved section of the road adjacent to the site. By allowing this variance two drive isles are possible and will reduce the traffic loading on the public street as it will provide additional storage volume on site and not on the public street to the maximum amount possible. Also, it is noted that the exiting configuration does not have any landscape buffer between the properties and while we can't provide the required 10' buffer we are providing 9' that was not previously available.

The variance does not result in the removal of trees, or it is proposed in order to preserve trees, if trees are present in the development area.

No trees are proposed to be removed within the development area.

The variance will not result in violation(s) of any other adopted ordinance or code standard; each code standard to be modified shall require a separate variance request.

The setback requirement for landscaping will not be in violation of other adopted ordinance or code standards.

An application for a Class B variance is limited to three or fewer lots per application.

The site only contains one small lot and is not dividable.

The variance will have minimal impact to the adjacent properties.

The impact to adjacent properties will be positive as it allows connective access to the smoke shop, which is not present now and will have no adverse impact to the gas station to the east as there is presently access to the gas station, which is proposed to remain. Also, it is noted that the exiting configuration does not have any landscape buffer between the properties and while we can't provide the required 10' buffer we are providing 9' that was not previously available.

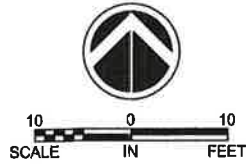
The variance is the minimum needed to achieve the desired result and the applicant has considered alternatives.

The applicant has explored alternatives to achieve traffic storage, and to achieve two drive isles, to reduce congestion on the public street and no other alternatives exist. Reducing the drive aisle to one lane would put storage onto the public street and would result in traffic congestion and possible accidents, which could be avoided with the two-lane configuration being offered.



Steven L. Farnsworth PE

Roadway Engineering, Inc.



VICINITY MAP
NOT TO SCALE

NOTE: IF PLOTTED ON
11" X 17" FORMAT THE
SCALE WILL BE 1/2 OF
SHOWN SCALE

ENGINEER:
ROADWAY ENGINEERING, INC.
10225 NW LEE STREET.
PORTLAND, OREGON 97229
CONTACT: STEVE FARNSWORTH, P.E.
PHONE: (971) 363-7022
E-MAIL roadengr@comcast.net

OWNER:
BRETT PAUL PRESIDENT
XSITE REAL ESTATE
21003 SW PACIFIC HWY.
SHERWOOD OR, 97140
PHONE: (630) 258-3311
E-MAIL Brett Paul <brettpaul@xsite realestate.com>

ZIGGI'S COFFEE PROJECT SITE DEVELOPMENT PERMIT

LU 2020-023 MODIFICATION SP 06-02 / 06-03

21003 SW PACIFIC HWY 99
SHERWOOD, OR 97140

DEED DOC NO. 2005-027602

LOCATED IN THE NE QUARTER OF SEC 30, T 2S, R 1 WM

WASHINGTON COUNTY, OREGON

LOT AREA = 0.16 AC

REVISED 9/27/23

INDEX OF DRAWINGS

SHEET NO.	TITLE
C-1	COVER SHEET
C-2	GENERAL NOTES
C-2A	EXISTING CONDITIONS PLAN
C-3	DEMO PLAN
C-4	SITE PLAN
C-5	GRADING & EROSION CONTROL PLAN & DETAILS
C-6	STORM PLAN & PROFILE
C-7	LANDSCAPE STRIPING & SIGNING PLAN
C-8	DETAIL SHEET
C-9	CONTECH STORM FILTER DETAILS

BENCH MARK

SET "PK" NEAR EXISTING ADA TRUNCATED DOMES IN LINE WITH ENTRANCE TO BLD. PT # 2001

ELEV = 98.70'

NOTICE TO EXCAVATORS
ATTENTION: OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER. (NOTE: THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS 503-232-1987)

POTENTIAL UNDERGROUND FACILITY OWNERS

Dig Safely
CALL THE OREGON ONE-CALL CENTER
1-800-332-2344

EMERGENCY TELEPHONE NUMBERS

NW NATURAL GAS	503-226-4211 Ext. 4313
M-F 7am-6pm	503-226-4211
AFTER HOURS	503-464-7777
PGE	1-800-934-6489
COMCAST	503-823-1700
CITY BUREAU OF MAINTENANCE	503-823-4874
CITY WATER	1-800-483-1000
VERIZON	

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City of Sherwood
Planning Dept.

REVISION INFORMATION	DATE	AGENCY
SUBMITTAL	11/17/2020	CITY OF SHERWOOD
1ST SUBMITTAL	12/7/2020	CITY OF SHERWOOD
2ND SUBMITTAL	9/16/2020	CITY OF SHERWOOD
3RD SUBMITTAL	9/27/2023	CITY OF SHERWOOD
4TH SUBMITTAL		



Roadway Engineering, Inc.
SPECIALIZING IN CIVIL ENGINEERING
21003 SW PACIFIC HWY. SUITE 100
SHERWOOD, OREGON 97140
PHONE: (503) 258-3311 FAX: (503) 258-3312
Licensed in California, Oregon & Washington

ZIGGI'S COFFEE STAND
MODIFICATIONS TO DRIVE UP
COVER SHEET

DATE:	9/31/17
DESIGN:	SLF
DRAWN:	RFD
CHECK:	SLF
SCALE:	1" = 10' HORIZ

PRELIMINARY

C-1

CITY OF SHERWOOD STANDARD NOTES

- CONTRACTOR SHALL NOTIFY CITY OF SHERWOOD ENGINEERING DEPARTMENT (AT 503-925-2306) TWO BUSINESS DAYS PRIOR TO COMMENCEMENT OF WORK ON GRADING, PUBLIC IMPROVEMENTS, OR STORM WATER TREATMENT FACILITIES.
- ALL CONSTRUCTION WORK AND MATERIALS SHALL CONFORM TO APPLICABLE CITY OF SHERWOOD STANDARDS CONSTRUCTION SPECIFICATIONS, CLEAN WATER SERVICES (CWS) DESIGN AND CONSTRUCTION STANDARDS, UNIFORM PLUMBING CODE (UPC) AND UNIFORM BUILDING CODE (UBC). CONTRACTOR AND SUBCONTRACTOR(S) SHALL HAVE A MINIMUM OF ONE SET OF APPROVED PLANS AND CITY OF SHERWOOD STANDARD CONSTRUCTION SPECIFICATIONS ON THE JOB SITE AT ALL TIMES DURING CONSTRUCTION.
- APPLICANT(S) IS RESPONSIBLE FOR ALL COSTS OF CONSTRUCTION.
- CITY OF SHERWOOD BUILDING DEPARTMENT PERMITS ARE REQUIRED FOR PRIVATELY MAINTAINED SEWER, INLETS, INLET LEADS, AND SERVICE LATERALS CONSTRUCTED OUTSIDE OF PUBLIC RIGHT-OF-WAY OR PUBLIC EASEMENT. ALL WORK APPROVED UNDER PLUMBING PERMITS SHALL BE PRIVATELY OWNED AND MAINTAINED.
- ATTENTION EXCAVATORS:** OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THESE RULES FROM THE CENTER BY CALLING (503) 232-1987. IF YOU HAVE ANY QUESTIONS ABOUT THESE RULES, YOU MAY CONTACT THE CALL CENTER. YOU MUST NOTIFY THE CENTER AT LEAST TWO BUSINESS DAYS, BUT NOT MORE THAN 10 BUSINESS DAYS, BEFORE COMMENCING EXCAVATION. CALL (503) 246-6699
- ALL TRENCH LINES AND EXCAVATIONS SHALL BE PROPERLY SHORED AND BRACED TO PREVENT CAVING. UNUSUALLY DEEP EXCAVATIONS MAY REQUIRE EXTRA SHORING AND BRACING. ALL SHEETING, SHORING, AND BRACING OF TRENCHES SHALL CONFORM TO OREGON OCCUPATIONAL SAFETY AND HEALTH DIVISION (OSHA) REGULATIONS AND CITY OF SHERWOOD STANDARD SPECIFICATIONS.
- CONTRACTOR IS TO FIELD VERIFY LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION
- SITE EROSION CONTROL PLAN AND BMP'S MEETING CWS STANDARDS TO BE IN PLACE AND APPROVED PRIOR TO CONSTRUCTION
- A TEMPORARY USE PERMIT, SUBJECT TO SECTION 16.86 OF THE CITY OF SHERWOOD CODE, IS REQUIRED PRIOR TO ANY USE OF AN ON-SITE CONSTRUCTION TRAILER. UNDER NO CIRCUMSTANCE SHALL THE TRAILER BE LOCATED IN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND LICENSES BEFORE STARTING CONSTRUCTION. A COPY OF THE REQUIRED PERMITS AND ATTACHMENTS SHALL BE AT THE WORK SITE AND AVAILABLE DURING CONSTRUCTION.
- TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. TRAFFIC CONTROL PLAN SHALL BE SUBJECT TO THE APPROVAL OF THE CITY.
- ANY INSPECTION OR CONSTRUCTION OBSERVATION BY THE CITY, COUNTY, STATE, OR OTHER JURISDICTIONAL AGENCIES SHALL NOT, IN ANY WAY, RELIEVE THE CONTRACTOR FROM ANY OBLIGATION TO PERFORM THE WORK IN COMPLIANCE WITH THE APPLICABLE CODES, REGULATIONS, CITY STANDARDS, AND PROJECT CONTRACT DOCUMENTS.
- CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING STRUCTURES AND UTILITIES NOT SHOWN TO BE REMOVED. CONTRACTOR SHALL REPLACE OR REPAIR ANY EXISTING STRUCTURES (SIDEWALKS, CURB, FENCE, STREET TREES, ETC.) DAMAGED DURING CONSTRUCTION, IN ACCORDANCE WITH CITY STANDARDS.
- NO TRENCHES OR PITS WILL BE ALLOWED TO REMAIN OPEN OVERNIGHT. ALL TRENCHES AND PITS SHALL BE COVERED WITH STEEL PLATES OR FILLED IN AT NIGHT.
- ANY ALTERATIONS OR VARIATIONS FROM THESE PLANS, EXCEPT MINOR FIELD ADJUSTMENTS NEEDED TO MEET EXISTING FIELD CONDITIONS, SHALL BE APPROVED THE THE ENGINEER AND APPLICABLE REGULATORY AGENCY REPRESENTATIVE.
- ANY PRIVATE UTILITIES TO BE INSTALLED WITHIN CITY OF SHERWOOD RIGHT-OF-WAY THAT IS NOT SHOWN ON THE APPROVED CONSTRUCTION PLANS (POWER, TELECOMMUNICATIONS, GAS, IRRIGATION, ETC.) SHALL HAVE PLANS SUBMITTED FOR A RIGHT-OF-WAY PERMIT PRIOR TO CONSTRUCTION OF UTILITY. ANY PRIVATE OR FRANCHISE UTILITIES INSTALLED WITHOUT A RIGHT OF WAY PERMIT IS SUBJECT TO REMOVAL.
- CONTRACTOR IS RESPONSIBLE FOR THE IMPLEMENTATION OF A TRAFFIC CONTROL PLAN AND ITS CONTINUED FUNCTIONING FOR THE PROTECTION OF CONSTRUCTION WORKERS, VEHICULAR TRAFFIC, BICYCLE TRAFFIC AND PEDESTRIANS. ALL TRAFFIC CONTROL DEVICES/SIGNAGE SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. APPROVAL OF THE TRAFFIC CONTROL PLAN BY THE CITY OF SHERWOOD DOES NOT NEGATE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN A SAFE WORK ZONE. THE CITY OF SHERWOOD BEARS NO LIABILITY FOR THE CONTRACTOR'S IMPLEMENTATION OF THIS TRAFFIC CONTROL PLAN. **ONLY NEEDED IF WORK EXTENDS OUT TO THE PUBLIC RIGHT-OF-WAY.**

STORM SEWER NOTES - GENERAL

- STORM SEWER PIPE SHALL BE AS NOTED ON PLANS AND CONFORM TO THE REQUIREMENTS BELOW.
- STORM SEWER MATERIALS AND TESTING SHALL MEET CLEAN WATER SERVICES (CWS) DESIGN AND CONSTRUCTION SPECIFICATIONS AND THE CITY OF SHERWOOD'S ENGINEERING DESIGN MANUAL.
- ALL STORM SERVICE STUB OUTS SHALL EXTEND A MINIMUM OF THREE FEET (3') BEYOND EASEMENT OR RIGHT-OF-WAY LINE AND BE MARKED WITH A PRESSURE TREATED 2" X 4". THE TOP 12" SHALL BE PAINTED WHITE AND LABELED "ST" FOR FUTURE LOCATION. THE 2" X 4" SHALL BE MARKED WITH DETECTABLE UNDERGROUND MAGNETIC TAPE GREEN IN COLOR AND BE MARKED "CAUTION STORM DRAIN BURIED BELOW". THE MAGNETIC TAPE SHALL BE PLACED FROM THE MAIN PIPELINE TO THE END OF THE SIDE LATERAL WITH 18" OF SEPARATION BETWEEN THE TAPE AND PIPE. THE SERVICE LATERAL SHALL ALSO HAVE TRACER WIRE INSTALLED. THE TRACER WIRE SHALL BE 12-GAGE STRANDED COPPER WIRE WITH WHITE HMW-PE INSULATION. TRACER WIRE SHALL RUN TO THE TOP OF THE 2 X 4 MARKER. STORM SERVICE STUB OUTS TO BE A MINIMUM OF 4-INCH DIAMETER PIPE AND HAVE A MINIMUM SLOPE OF 2%.
- ALL STORM SEWER LINES SHALL BE VIDEO INSPECTED BY THE CONTRACTOR. TESTING AND INSPECTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES. THIS WILL BE WITNESSED BY THE CITY. MINIMUM 48 HOUR NOTICE IS REQUIRED. CITY WITNESSED VIDEO INSPECTION SHALL OCCUR AFTER THE PLACEMENT OF ASPHALT. CITY STRONGLY ENCOURAGES VIDEO INSPECTION BY THE DEVELOPER AND/OR CONTRACTOR PRIOR TO ASPHALT PLACEMENT. SHOULD CONTRACTOR OR DEVELOPER HAVE QUESTIONS REGARDING SPECIFIC SECTIONS OF PRE-ASPHALT VIDEO, CITY INSPECTOR SHALL PROVIDE A RECOMMENDATION UPON THE ACCEPTABILITY OF THE SECTION IN QUESTION.
- ALL STORM SEWER LINES SHALL HAVE A MANDREL PASSED THROUGH TO CHECK DEFLECTION. THIS WILL BE WITNESSED BY THE CITY. MINIMUM 48 HOUR NOTICE IS REQUIRED.
- ANY NEW LATERAL TAPS INTO AN EXISTING STORM SEWER WILL REQUIRE VIDEO INSPECTION OF THAT EXISTING SEWER.

SITE SPECIFIC GENERAL NOTES

- CONTRACTOR TO VERIFY EXISTING STORM SEWER PIPE LATERAL GOING TO THE EXISTING 48" MANHOLE IN SW BORCHERS ROAD AS EITHER 10" OR 12" PRIOR TO ORDERING MATERIALS. FIELD VERIFY PIPE ELEVATION.
- EXISTING 60" MANHOLE TO BE SALVAGED AND REUSED SO TAKE CARE IN ITS REMOVAL.

REVISION INFORMATION	
AGENCY	DATE
CITY OF SHERWOOD	11/17/2020
CITY OF SHERWOOD	12/7/2020
CITY OF SHERWOOD	9/18/2023
CITY OF SHERWOOD	9/27/2023



Roadway Engineering, Inc.
 SPECIALIZING IN CIVIL ENGINEERING
 22015 SW TILLAMOOK CT, TILLAMOOK, OREGON 97142
 PHONE: (503) 267-4633 FAX: (503) 488-5228
 Licensed in California, Oregon & Washington

ZIGGY'S COFFEE STAND
 MODIFICATIONS TO DRIVE UP

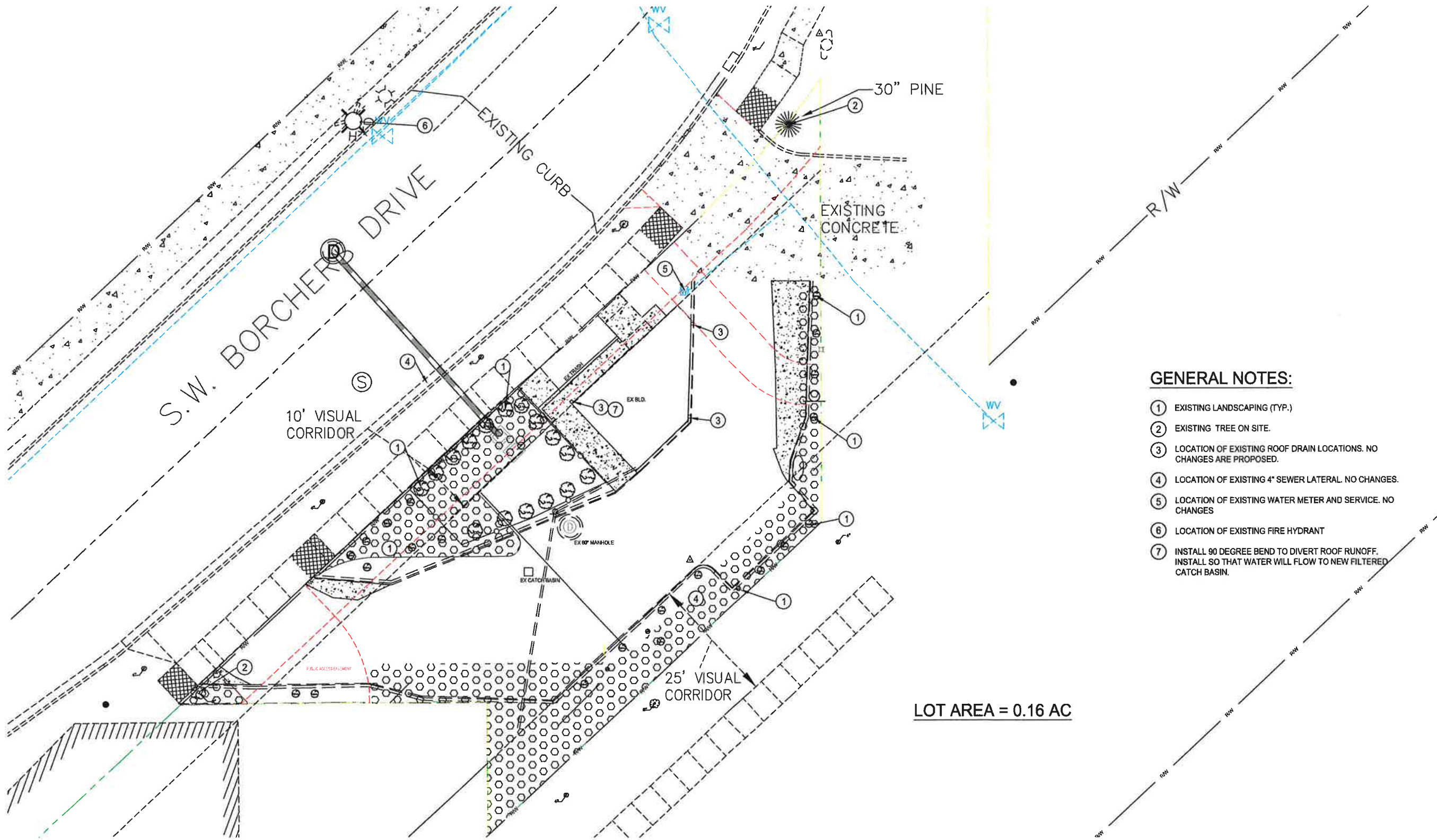
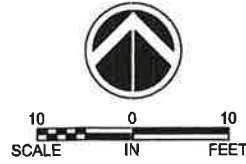
21003 SW BORCHERS ROAD
 CITY OF SHERWOOD, OREGON

GENERAL NOTES

DATE:	9/31/17
DESIGN:	SLF
DRAWN:	RFD
CHECK:	SLF
SCALE:	1" = 10' HORIZ

PRELIMINARY

C-2



GENERAL NOTES:

- ① EXISTING LANDSCAPING (TYP.)
- ② EXISTING TREE ON SITE.
- ③ LOCATION OF EXISTING ROOF DRAIN LOCATIONS. NO CHANGES ARE PROPOSED.
- ④ LOCATION OF EXISTING 4" SEWER LATERAL. NO CHANGES.
- ⑤ LOCATION OF EXISTING WATER METER AND SERVICE. NO CHANGES
- ⑥ LOCATION OF EXISTING FIRE HYDRANT
- ⑦ INSTALL 90 DEGREE BEND TO DIVERT ROOF RUNOFF. INSTALL SO THAT WATER WILL FLOW TO NEW FILTERED CATCH BASIN.

LOT AREA = 0.16 AC

EXISTING CONDITONS PLAN
SCALE: 1" = 10'

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DATE	AGENCY
11/17/2020	CITY OF SHERWOOD
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9/18/2020	CITY OF SHERWOOD
9/27/2023	CITY OF SHERWOOD



Roadway Engineering, Inc.
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20015 SW TILLAMOOK CT. TILLAMOOK, OR 97142
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**ZIGGY'S COFFEE STAND
MODIFICATIONS TO DRIVE UP**

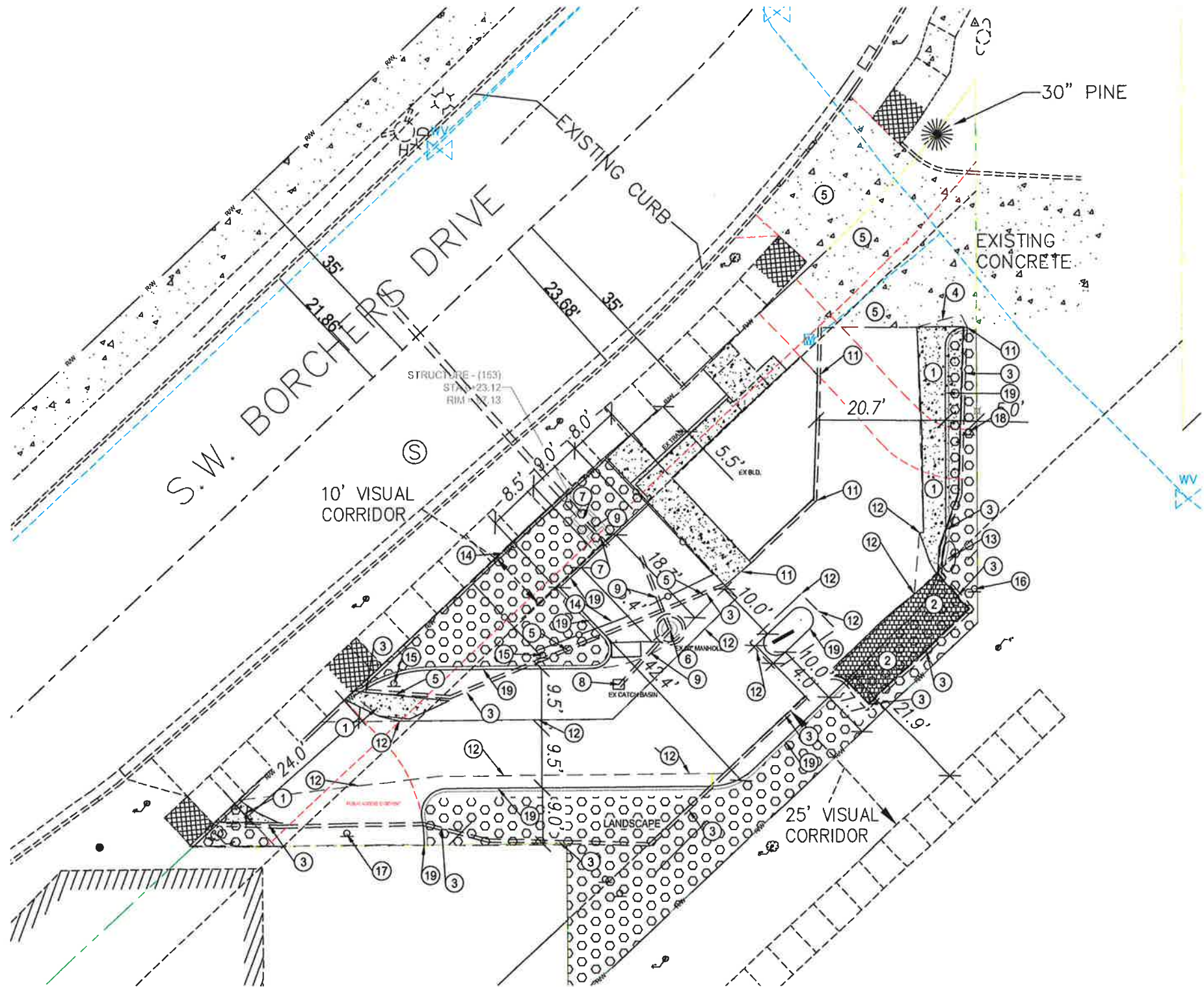
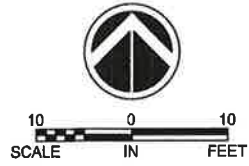
21003 SW BORCHERS ROAD
CITY OF SHERWOOD, OREGON

EXISTING CONDITIONS PLAN

DATE:	9/31/17
DESIGN:	SLF
DRAWN:	RFD
CHECK:	SLF
SCALE:	1" = 10' HORIZ

PRELIMINARY

C-2A



DEMOLITION PLAN
SCALE: 1" = 10'

CONSTRUCTION NOTES:

- ① REMOVE EXISTING CONCRETE PAD.
- ② REMOVE EXISTING PAVERS.
- ③ REMOVE EXISTING CURB
- ④ SAWCUT EXISTING CONCRETE AND MATCH
- ⑤ EXISTING CONCRETE TO REMAIN.
- ⑥ REMOVE EXISTING 60" WATER QUALITY MANHOLE (SALVAGE)
- ⑦ REMOVE EXISTING DITCH INLET PROTECT EXISTING PIPE GOING TO STREET.
- ⑧ REMOVE EXISTING LYNCH CATCH BASIN
- ⑨ REMOVE EXISTING PIPE
- ⑩ REMOVE AND RELOCATE SIGN
- ⑪ EXISTING CURB TO REMAIN
- ⑫ SAWCUT EXISTING ASPHALT AND CURB
- ⑬ REMOVE EXISTING BOULDER
- ⑭ REMOVE EXISTING IRON FENCE
- ⑮ REMOVE EXISTING SIGN & POST
- ⑯ RELOCATE SIGN TO NEW ADA PARKING LOCATION
- ⑰ RELOCATE EMPLOYEE PARKING SIGN TO NEW PARKING BAYS TO THE EAST
- ⑱ EXISTING SIGN TO REMAIN
- ⑲ FUTURE CURB LINE

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9/18/2020	CITY OF SHERWOOD
9/27/2023	CITY OF SHERWOOD



Roadway Engineering, Inc.
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PHONE: (503) 241-6643 FAX: (503) 241-6629
Licensed in California, Oregon & Washington

ZIGGY'S COFFEE STAND
MODIFICATIONS TO DRIVE UP

21003 SW BORCHERS ROAD
CITY OF SHERWOOD, OREGON

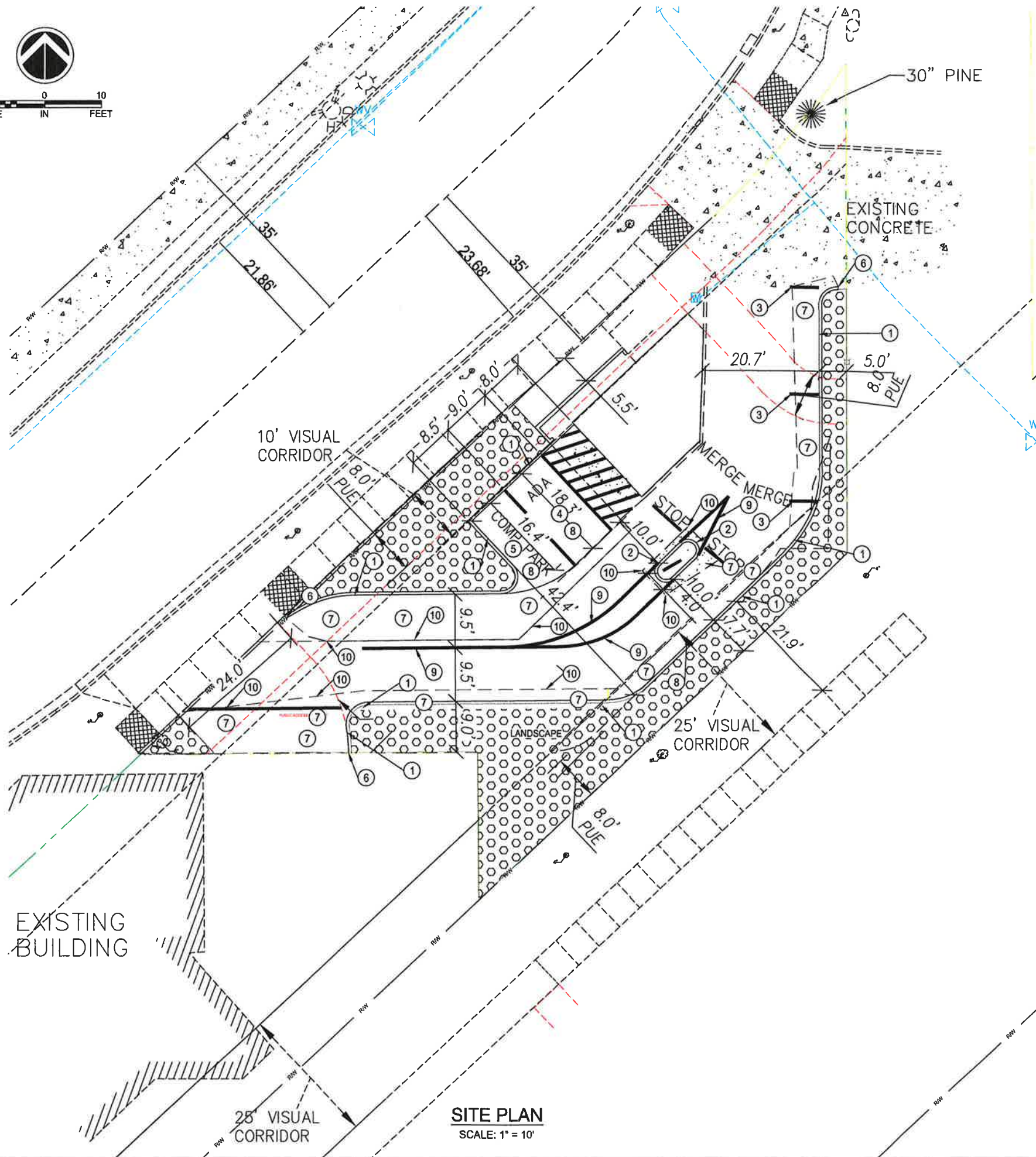
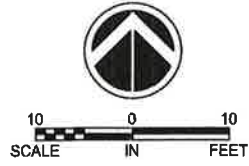
DEMOLITION PLAN

DATE:	10/28/2020
DESIGN:	SLF
DRAWN:	RFD
CHECK:	SLF
SCALE:	1" = 10' HORIZ

PRELIMINARY

C-3

C:\Roadway\Ziggys Coffee\COFFEE BASE.dwg Sep 27, 2023 - 3:23pm



CONSTRUCTION NOTES:

- ① CONSTRUCT NEW VERTICAL CURBSEE DETAIL RD-21 SHEET C-8.
- ② CONSTRUCT NEW VERTICAL CURB FOR ISLAND CURB. CURV RADIUS TO BE 2'. SEE DETAIL RD-21 SHEET C-8
- ③ PAINT 2 STANDARD PARKING STALLS 19' X 5'
- ④ CONSTRUCT 1 HANDYCAP PARKING STALL WITH VAN ACCESSABILITY AT 2% MIN SLOPE.
- ⑤ CONSTRUCT 1 COMPACT PARKING STALL
- ⑥ TAPER CURB TO MATCH EXISTING GRADE.
- ⑦ INSTALL 3" ASPHALT CONCRETE OVER 8" CRUSHED ROCK. PAVE AT APPROX. 2% SLOPE TO NEW CURB UNLESS GRADING PLAN SHOWS A DIFFERENT SLOPE TO MAINTAIN.
- ⑧ CONSTRUCT PARKING PAD WITH 6" CONCRETE OVER 6" CRUSHED ROCK. OR 3" AC OVER 8" ROCK
- ⑨ PAINT STRIPING AS SHOWN
- ⑩ SAWCUT EXISTING SURFACING

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Roadway Engineering, Inc.
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**ZIGGY'S COFFEE STAND
 MODIFICATIONS TO DRIVE UP**

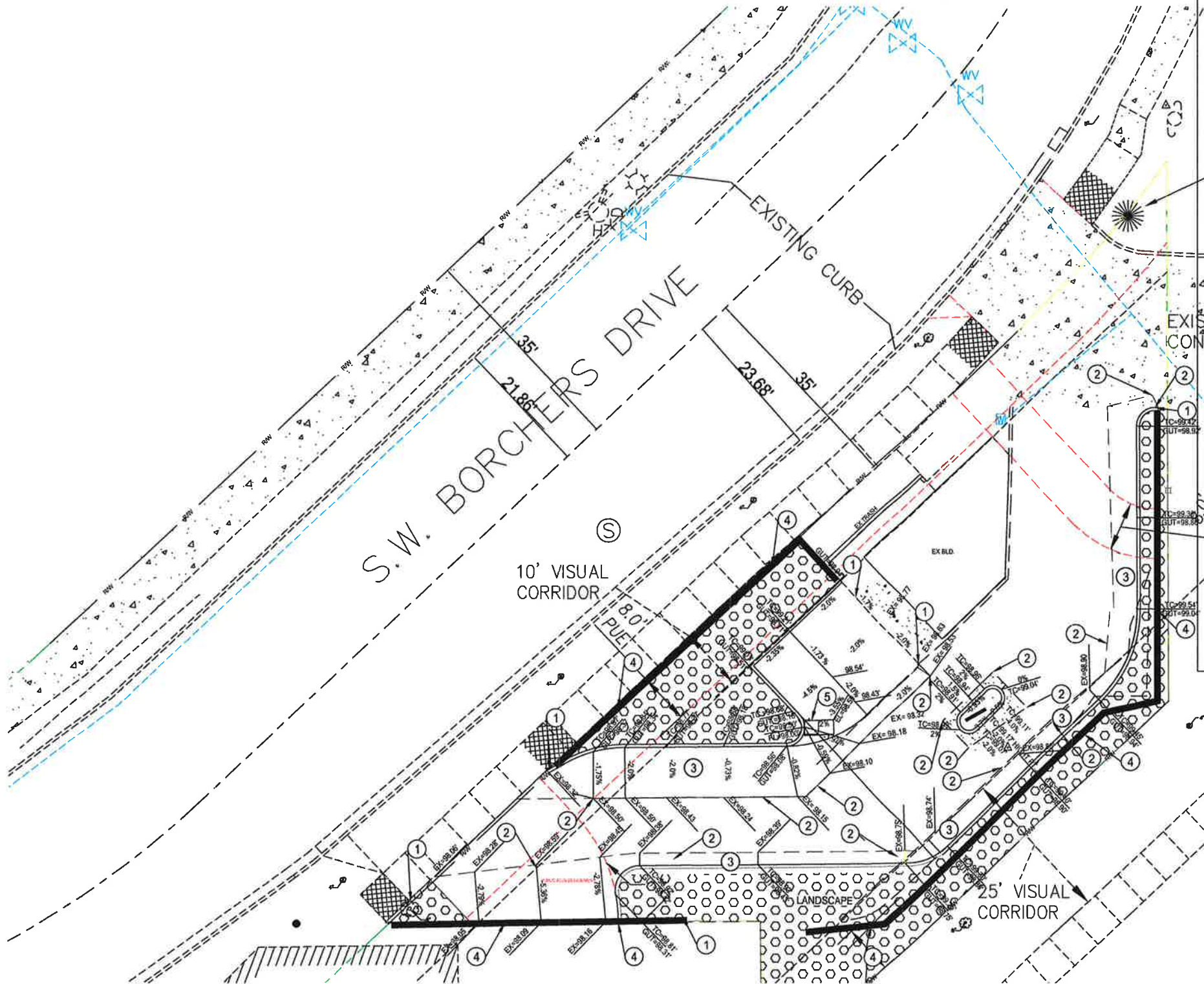
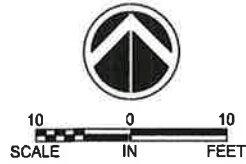
21003 SW BORCHERS ROAD
 CITY OF SHERWOOD, OREGON

SITE PLAN

DATE:	10/28/2020
DESIGN:	SLF
DRAWN:	RFD
CHECK:	SLF
SCALE:	1" = 10' HORIZ

PRELIMINARY

C-4



GRADING PLAN
SCALE: 1" = 10'

GENERAL NOTES:

- CONCRETE AND ASPHALT SHALL BE HAULED OFF SITE.
- ALL ORGANIC MATERIAL SHALL BE REMOVED PRIOR TO ANY FILL ADDED TO EXISTING GROUND
- ALL FILL MATERIAL SHALL BE COMPACTED TO 95% RELATIVE COMPACTION (T-99) FOR ALL AREAS TO RECEIVE CONCRETE OR ASPHALT. IN WET WEATHER SAND OR GRANULAR MATERIAL SHALL BE USED.

NOTES:

1. WHEN RAINFALL AND RUNOFF OCCURS DAILY INSPECTIONS OF THE EROSION AND SEDIMENT CONTROLS AND DISCHARGE OUTFALLS MUST BE PROVIDED BY SOME ONE KNOWLEDGEABLE AND EXPERIENCED IN THE PRINCIPLES, PRACTICES, INSTALLATION, AND MAINTENANCE OF EROSION AND SEDIMENT CONTROLS WHO WORKS FOR THE PERMITTEE.
2. CONSTRUCTION ACTIVITIES MUST AVOID OR MINIMIZE EXCAVATION AND CREATION OF BARE GROUND FROM OCTOBER 1 THROUGH MAY 31 EACH YEAR.
3. DURING WET WEATHER PERIOD, TEMPORARY STABILIZATION OF THE SITE MUST OCCUR AT THE END OF EACH WORK DAY.
4. SEDIMENT CONTROLS MUST BE INSTALLED AND MAINTAINED ON ALL DOWN GRADIENT SIDES OF THE CONSTRUCTION SITE AT ALL TIMES DURING CONSTRUCTION. THEY MUST REMAIN IN PLACE UNTIL PERMANENT VEGETATION OR OTHER PERMANENT COVERING OF EXPOSED SOIL IS ESTABLISHED.
5. ALL ACTIVE INLETS MUST HAVE SEDIMENT CONTROLS INSTALLED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. UNLESS OTHERWISE APPROVED, A SURFACE MOUNTED AND ATTACHABLE, U-SHAPED FILTER BAG IS REQUIRED FOR ALL CURB INLET CATCH BASINS.
6. SIGNIFICANT AMOUNTS OF SEDIMENT WHICH LEAVES THE SITE MUST BE CLEANED UP WITHIN 24 HOURS AND PLACED BACK ON THE SITE AND STABILIZED OR PROPERLY DISPOSED. THE CAUSE OF THE SEDIMENT RELEASE MUST BE FOUND AND PREVENTED FROM CAUSING A RECURRENCE OF THE DISCHARGE WITHIN THE SAME 24 HOURS. ANY IN-STREAM CLEAN UP OF SEDIMENT SHALL BE PERFORMED ACCORDING TO THE OREGON DEPARTMENT OF STATE LANDS REQUIRED TIME FRAME.
7. SEDIMENT MUST NOT BE INTENTIONALLY WASHED INTO STORM SEWERS, DRAINAGE WAYS, OR WATER BODIES.
8. SEDIMENT MUST BE REMOVED FROM BEHIND ALL SEDIMENT CONTROL MEASURES WHEN IT HAS REACHED A HEIGHT OF 1/3RD THE BARRIER HEIGHT, AND PRIOR TO THE CONTROL MEASURES REMOVAL.
9. CLEANING OF ALL STRUCTURES WITH SUMPIS MUST OCCUR WHEN THE SEDIMENT RETENTION CAPACITY HAS BEEN REDUCED BY 50% AND AT COMPLETION OF PROJECT.
10. ANY USE OF TOXIC OR OTHER HAZARDOUS MATERIALS MUST INCLUDE PROPER STORAGE, APPLICATION, AND DISPOSAL.
11. THE PERMITTEE MUST PROPERLY MANAGE HAZARDOUS WASTES, USED OILS, CONTAMINATED SOILS, CONCRETE WASTE, SANITARY WASTE, LIQUID WASTE, OR OTHER TOXIC SUBSTANCES DISCOVERED OR GENERATED DURING CONSTRUCTION.
12. THE APPLICATION RATE OF FERTILIZERS USED TO REESTABLISH VEGETATION MUST FOLLOW MANUFACTURER'S RECOMMENDATIONS. NUTRIENT RELEASES FROM FERTILIZERS TO SURFACE WATERS MUST BE MINIMIZED. TIME RELEASE FERTILIZERS SHOULD BE USED AND CARE SHOULD BE MADE IN APPLICATION OF FERTILIZERS WITHIN ANY WATER WAY RIPARIAN ZONE.
13. OWNER OR DESIGNATED PERSON SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURES, IN ACCORDANCE WITH CURRENT CLEAN WATER SERVICES STANDARDS AND STATE, AND FEDERAL REGULATIONS.
14. PRIOR TO ANY LAND DISTURBING ACTIVITIES, THE BOUNDARIES OF THE CLEARING LIMITS, VEGETATED BUFFERS, AND ANY SENSITIVE AREAS SHOWN ON THIS PLAN SHALL BE CLEARLY DELINEATED IN THE FIELD. UNLESS OTHERWISE APPROVED, NO DISTURBANCE IS PERMITTED BEYOND THE CLEARING LIMITS. THE OWNER/PERMITTEE MUST MAINTAIN THE DELINEATION FOR THE DURATION OF THE PROJECT.
NOTE: VEGETATED CORRIDORS TO BE DELINEATED WITH ORANGE CONSTRUCTION FENCE OR APPROVED EQUAL.
15. PRIOR TO ANY LAND DISTURBING ACTIVITIES, THE BMPs THAT MUST BE INSTALLED ARE GRAVEL CONSTRUCTION ENTRANCE, PERIMETER SEDIMENT CONTROL, AND INLET PROTECTION. THESE BMPs MUST BE MAINTAINED FOR THE DURATION OF THE PROJECT.
16. IF VEGETATIVE SEED MIXES ARE SPECIFIED, SEEDING MUST TAKE PLACE NO LATER THAN SEPTEMBER 1ST; THE TYPE AND PERCENTAGES OF SEED IN THE MIX ARE AS IDENTIFIED ON THE PLANS OR AS SPECIFIED BY THE DESIGN ENGINEER.
17. WATER-TIGHT TRUCKS MUST BE USED TO TRANSPORT SATURATED SOILS FROM THE CONSTRUCTION SITE. AN APPROVED EQUIVALENT IS TO DRAIN THE SOIL ON SITE AT A DESIGNATED LOCATION USING APPROPRIATE BMPs. SOIL MUST BE DRAINED SUFFICIENTLY FOR MINIMAL SPILLAGE.
18. ALL PUMPING OF SEDIMENT LADEN WATER MUST BE DISCHARGED OVER AN UNDISTURBED, PREFERABLY VEGETATED AREA, AND THROUGH A SEDIMENT CONTROL BMP (I.E. FILTER BAG).
19. THE ESC PLAN MUST BE KEPT ONSITE. ALL MEASURES SHOWN ON THE PLAN MUST BE INSTALLED PROPERLY TO ENSURE THAT SEDIMENT LADEN WATER DOES NOT ENTER A SURFACE WATER SYSTEM, ROADWAY, OR OTHER PROPERTIES.
20. THE ESC MEASURES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE MEASURES SHALL BE UPGRADED AS NEEDED TO MAINTAIN COMPLIANCE WITH ALL REGULATIONS.
21. WRITTEN ESC LOGS ARE SUGGESTED TO BE MAINTAINED ONSITE AND AVAILABLE TO DISTRICT INSPECTORS UPON REQUEST.
22. IN AREAS SUBJECT TO WIND EROSION, APPROPRIATE BMPs MUST BE USED WHICH MAY INCLUDE THE APPLICATION OF FINE WATER SPRAYING, PLASTIC SHEETING, MULCHING, OR OTHER APPROVED MEASURES.
23. ALL EXPOSED SOILS MUST BE COVERED DURING WET WEATHER PERIOD.

STANDARD EROSION CONTROL NOTES FOR SITES LESS THAN 1 ACRE
DRAWING NO. 945 REVISED 12-06



GRADING NOTES:

- ① MATCH EXISTING GRADE. SLOPE LAST 3' OF CURB FROM FULL HEIGHT TO MATCHING EXISTING HEIGHT.
- ② SAWCUT AND MATCH
- ③ TOP OF CURB ELEVATION WITH 6" EXPOSURE. SLOPE AT +2% TOWARDS THE CURB UNLESS OTHERWISE NOTED. NOTIFY THE ENGINEER, STEVE FARNSWORTH 971-363-7022 IF SLOPE DOES NOT APPEAR TO BE APPROXIMATELY +2%, (TYP)

EROSION CONTROL NOTES:

- ④ INSTALL WATTLES PER DETAIL # 880. SEE DETAIL SHEET
- ⑤ INSTALL INLET PROTECTION TYPE 5 ON NEW CATCH BASIN. SEE DETAIL SHEET

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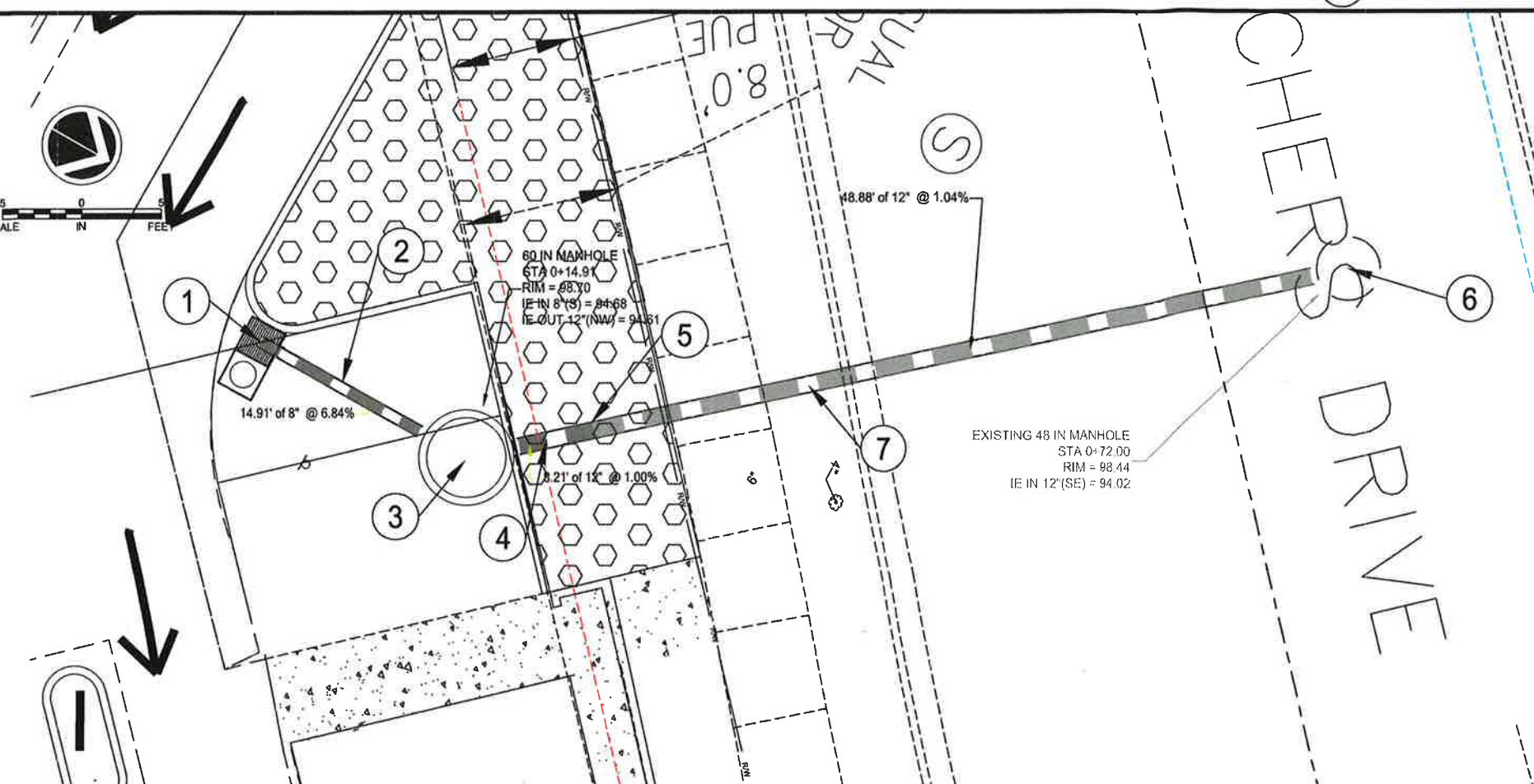
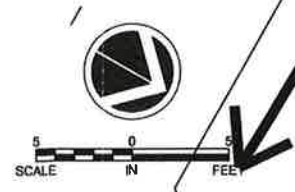


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ZIGGY'S COFFEE STAND
MODIFICATIONS TO DRIVE UP
21003 SW BORCHERS ROAD
CITY OF SHERWOOD, OREGON

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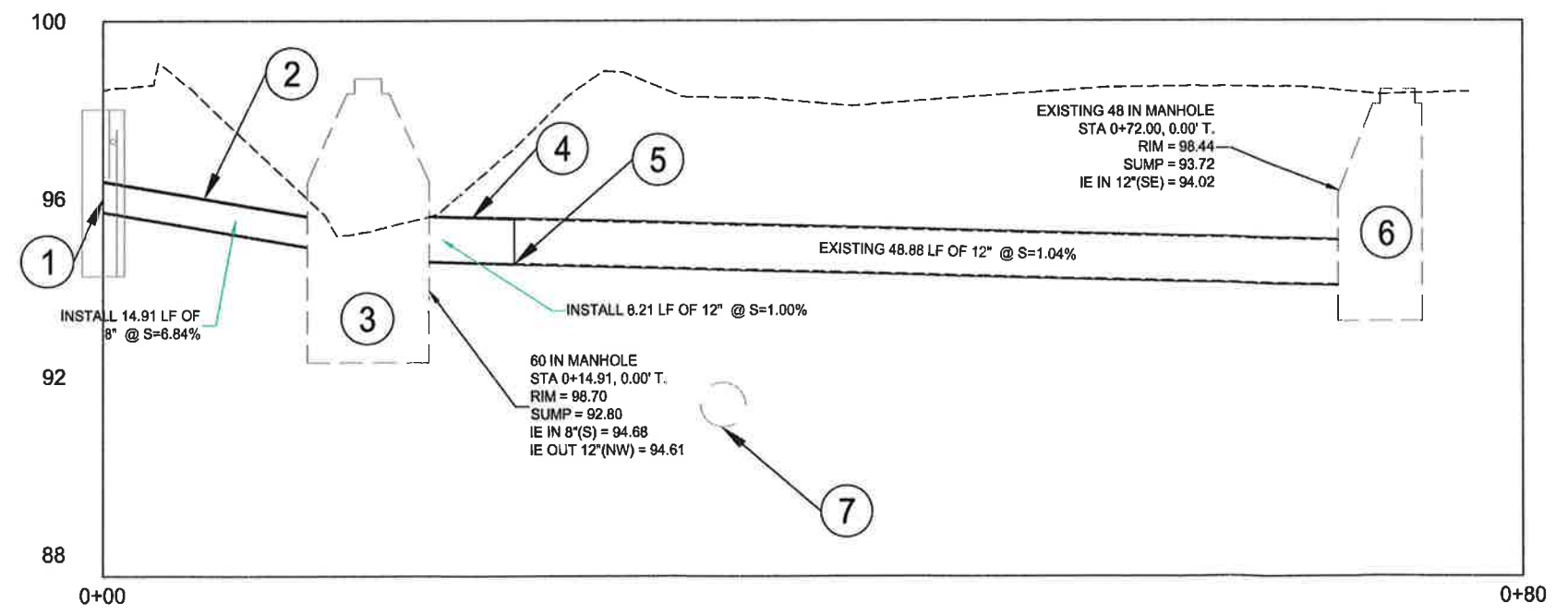
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C-5



STORM DRAINAGE PLAN
SCALE: 1" = 5'

CONSTRUCTION NOTES:

- ① STA 0+00 STORM STATIONING, INSTALL 1 CARTRIDGE CATCH BASIN CB-1 AS PER THE DETAILS ON SHEET C-9
IE GRATE = 98.00'
IE OUT 8" (N) = 95.70'
- ② INSTALL 14.91 LF OF 8" C-900 PIPE @ S = 0.0684 TRENCH BACKFILL TO BE CLASS "B" GRANULAR.
- ③ STA 0+14.91 STORM STATIONING, REINSTALL EXISTING 60" WC MANHOLE. ADJUST TO FINISH GRADE
RIM = 98.70
IE IN 8" (S) = 94.68'
IE OUT 12" (NW) = 94.61'
SUMP = 92.80'
- ④ INSTALL 8.21 LF OF 12" C-900 PIPE AT S = 0.010 FIELD VERIFY IE OF EXISTING 12" PIPE. TRENCH BACKFILL TO BE CLASS "B" GRANULAR.
- ⑤ CONNECT NEW 12" PIPE TO EXISTING 12" C-900 PIPE
- ⑥ EXISTING 48" MANHOLE
RIM = 98.44'
IE IN 12" (SE) = 94.02'
- ⑦ EXISTING 6" SEWER LATERAL AT CROSSING IE = 91.35'



STORM DRAINAGE PROFILE
SCALE: 1" = 5' HOR 1" = 2' VERT

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ZIGGY'S COFFEE STAND
MODIFICATIONS TO DRIVE UP

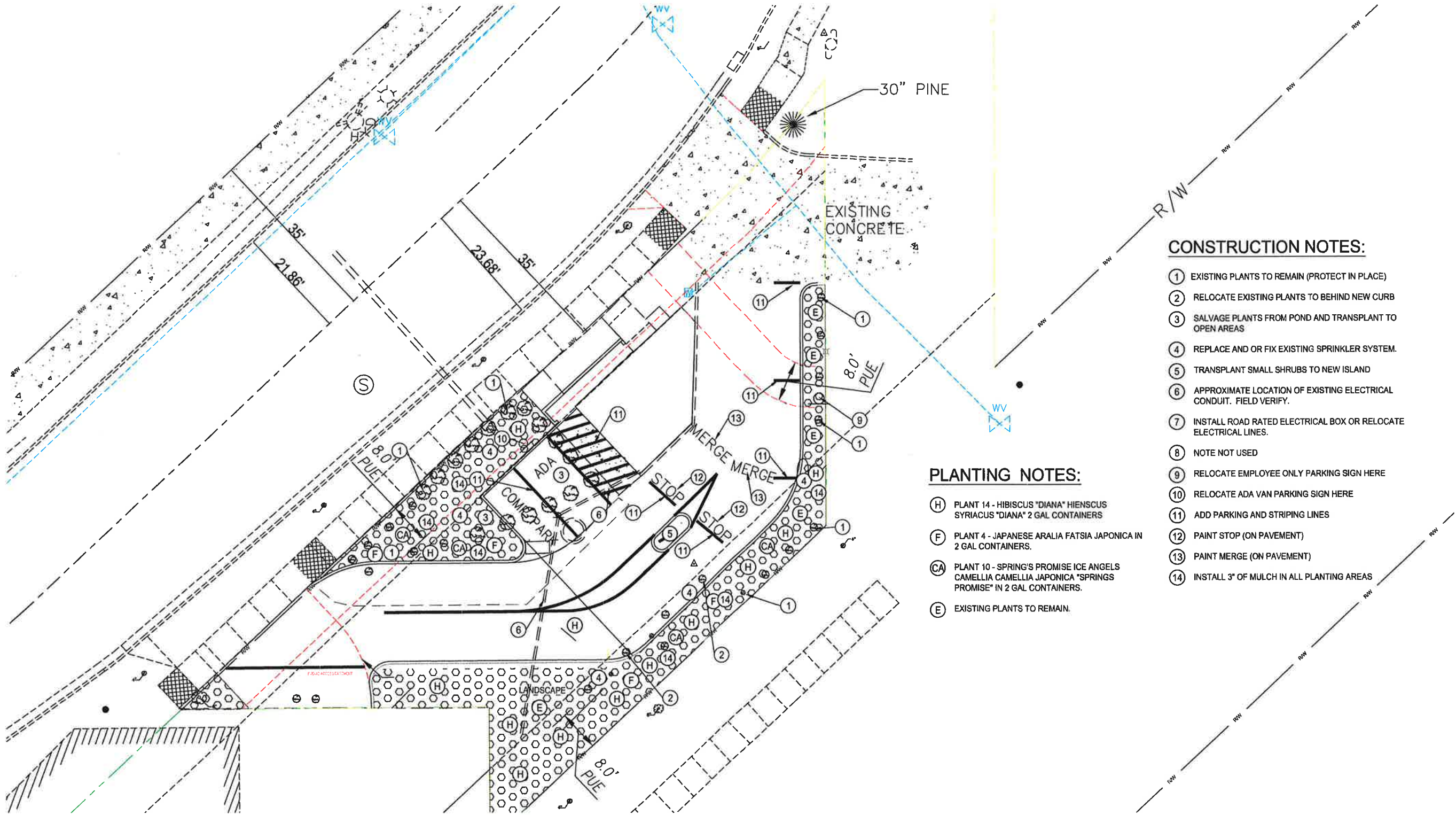
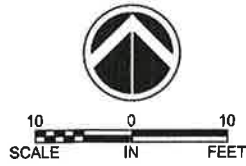
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STORM DRAINAGE PLAN & PROFILE

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CONSTRUCTION NOTES:

- ① EXISTING PLANTS TO REMAIN (PROTECT IN PLACE)
- ② RELOCATE EXISTING PLANTS TO BEHIND NEW CURB
- ③ SALVAGE PLANTS FROM POND AND TRANSPLANT TO OPEN AREAS
- ④ REPLACE AND OR FIX EXISTING SPRINKLER SYSTEM.
- ⑤ TRANSPLANT SMALL SHRUBS TO NEW ISLAND
- ⑥ APPROXIMATE LOCATION OF EXISTING ELECTRICAL CONDUIT. FIELD VERIFY.
- ⑦ INSTALL ROAD RATED ELECTRICAL BOX OR RELOCATE ELECTRICAL LINES.
- ⑧ NOTE NOT USED
- ⑨ RELOCATE EMPLOYEE ONLY PARKING SIGN HERE
- ⑩ RELOCATE ADA VAN PARKING SIGN HERE
- ⑪ ADD PARKING AND STRIPING LINES
- ⑫ PAINT STOP (ON PAVEMENT)
- ⑬ PAINT MERGE (ON PAVEMENT)
- ⑭ INSTALL 3" OF MULCH IN ALL PLANTING AREAS

PLANTING NOTES:

- (H) PLANT 14 - HIBISCUS "DIANA" HIENSCUS SYRIACUS "DIANA" 2 GAL CONTAINERS
- (F) PLANT 4 - JAPANESE ARALIA FATSIA JAPONICA IN 2 GAL CONTAINERS.
- (CA) PLANT 10 - SPRING'S PROMISE ICE ANGELS CAMELLIA CAMELLIA JAPONICA "SPRINGS PROMISE" IN 2 GAL CONTAINERS.
- (E) EXISTING PLANTS TO REMAIN.

LANDSCAPE, IRRIGATION & SIGNING AND STRIPING PLAN
SCALE: 1" = 10'

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ZIGGY'S COFFEE STAND
MODIFICATIONS TO DRIVE UP

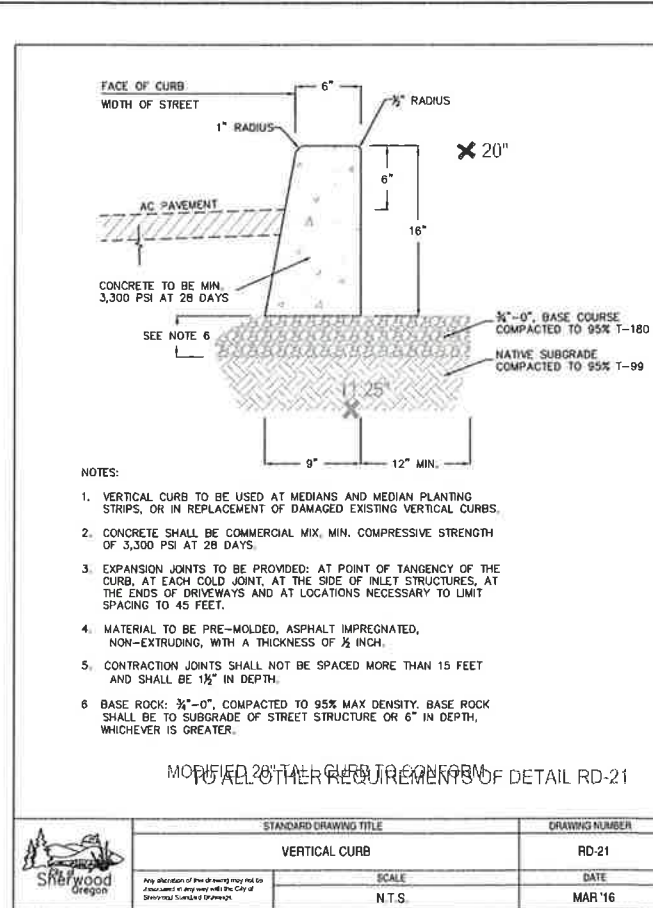
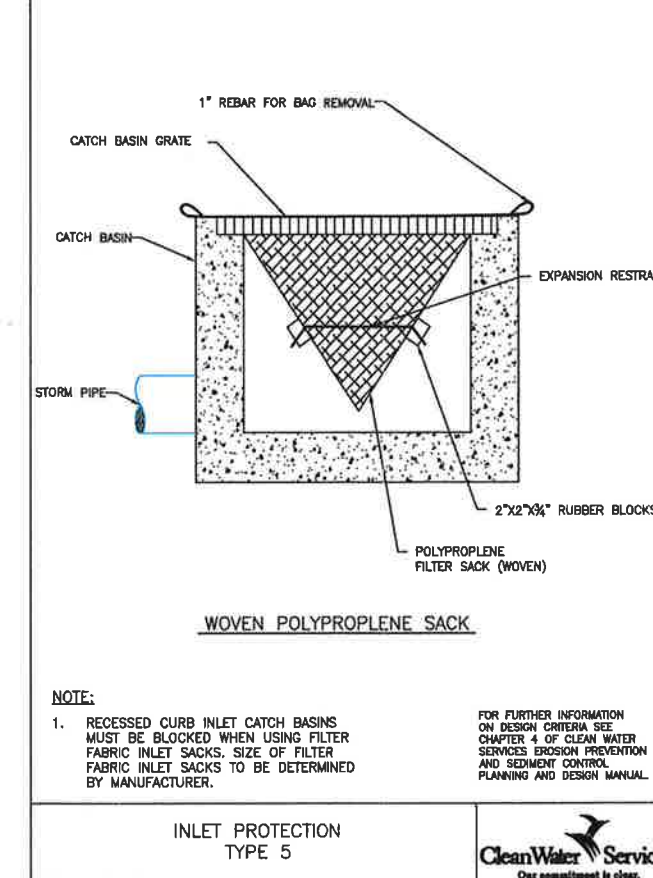
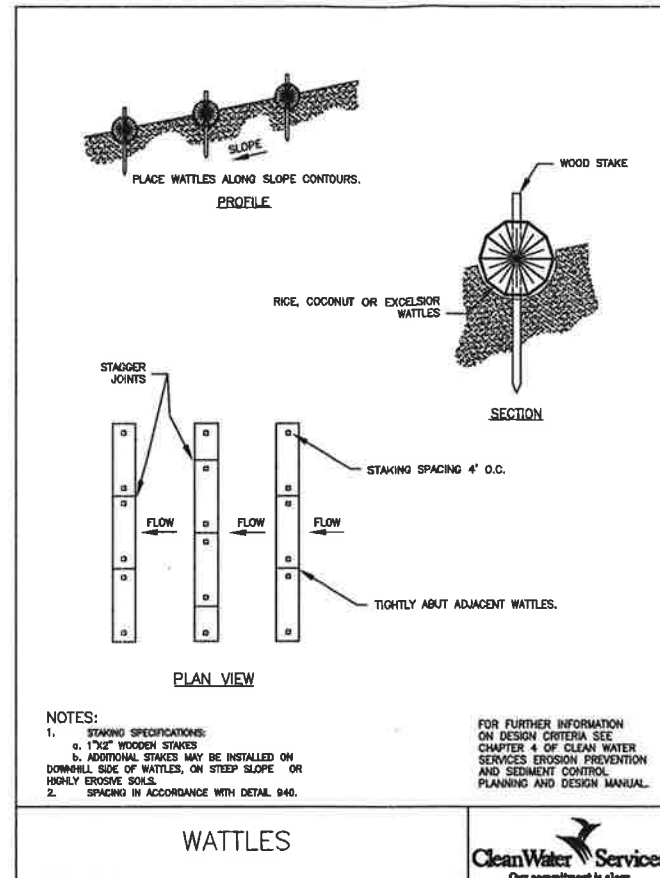
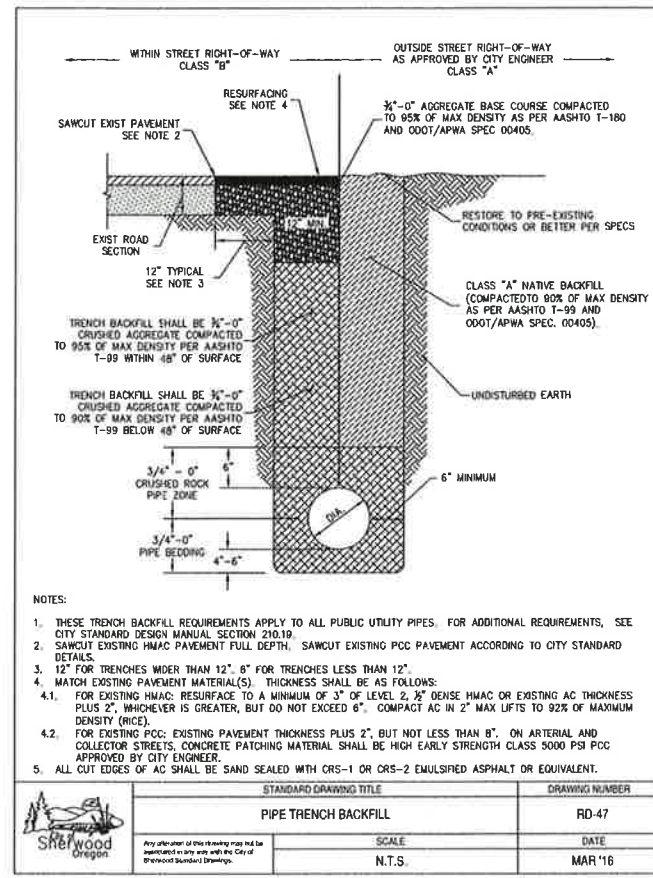
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LANDSCAPE STRIPING & SIGNING PLAN

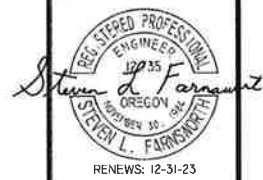
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DATE	11/17/2020	CITY OF SHERWOOD
SUBMITTAL	1ST SUBMITTAL	CITY OF SHERWOOD
DATE	12/7/2020	CITY OF SHERWOOD
SUBMITTAL	2ND SUBMITTAL	CITY OF SHERWOOD
DATE	9/18/2023	CITY OF SHERWOOD
SUBMITTAL	3RD SUBMITTAL	CITY OF SHERWOOD
DATE	9/27/2023	CITY OF SHERWOOD
SUBMITTAL	4TH SUBMITTAL	CITY OF SHERWOOD



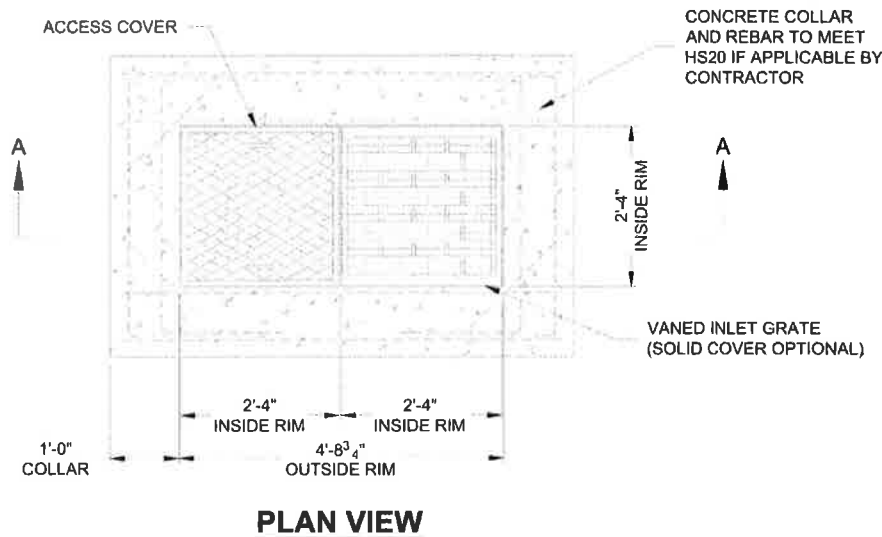
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ZIGGY'S COFFEE STAND
MODIFICATIONS TO DRIVE UP
21003 SW BORCHERS ROAD
CITY OF SHERWOOD, OREGON
DETAIL SHEET

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STORMFILTER STEEL CATCHBASIN DESIGN NOTES

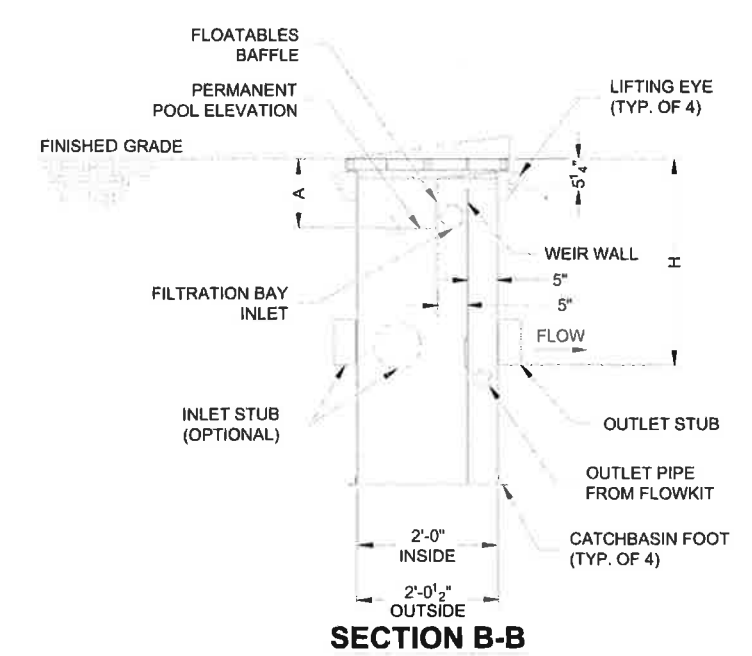
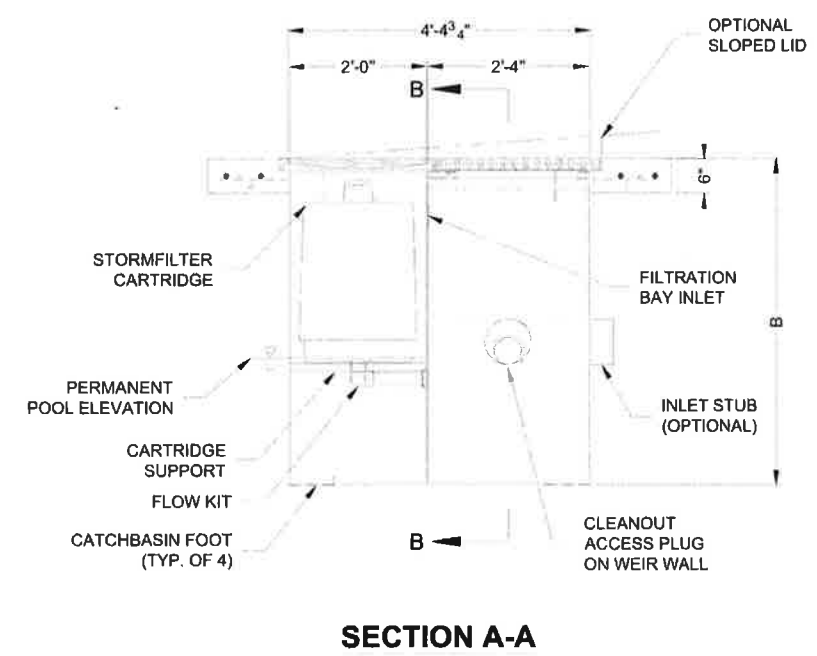
STORMFILTER TREATMENT CAPACITY IS A FUNCTION OF THE CARTRIDGE SELECTION AND THE NUMBER OF CARTRIDGES. 1 CARTRIDGE CATCHBASIN HAS A MAXIMUM OF ONE CARTRIDGE. SYSTEM IS SHOWN WITH A 27" CARTRIDGE, AND IS ALSO AVAILABLE WITH AN 18" CARTRIDGE. STORMFILTER CATCHBASIN CONFIGURATIONS ARE AVAILABLE WITH A DRY INLET BAY FOR VECTOR CONTROL. PEAK HYDRAULIC CAPACITY PER TABLE BELOW. IF THE SITE CONDITIONS EXCEED PEAK HYDRAULIC CAPACITY, AN UPSTREAM BYPASS STRUCTURE IS REQUIRED.

CARTRIDGE SELECTION									
CARTRIDGE HEIGHT	27"			18"			18" DEEP		
RECOMMENDED HYDRAULIC DROP (H)	3.05'			2.3'			3.3'		
SPECIFIC FLOW RATE (gpm/sf)	2 gpm/sf	1.67* gpm/sf	1 gpm/sf	2 gpm/sf	1.67* gpm/sf	1 gpm/sf	2 gpm/sf	1.67* gpm/sf	1 gpm/sf
CARTRIDGE FLOW RATE (gpm)	22.5	18.79	11.25	15	12.53	7.5	15	12.53	7.5
PEAK HYDRAULIC CAPACITY	1.0			1.0			1.8		
INLET PERMANENT POOL LEVEL (A)	1'-0"			1'-0"			2'-0"		
OVERALL STRUCTURE HEIGHT (B)	4'-9"			3'-9"			4'-9"		

* 1.67 gpm/sf SPECIFIC FLOW RATE IS APPROVED WITH PHOSPHOSORB® (PSORB) MEDIA ONLY

- GENERAL NOTES**
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
 - FOR SITE SPECIFIC DRAWINGS WITH DETAILED STORMFILTER CATCHBASIN STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.contechES.com
 - STORMFILTER CATCHBASIN WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
 - INLET SHOULD NOT BE LOWER THAN OUTLET. INLET (IF APPLICABLE) AND OUTLET PIPING TO BE SPECIFIED BY ENGINEER AND PROVIDED BY CONTRACTOR.
 - MANUFACTURER TO APPLY A SURFACE BEAD WELD IN THE SHAPE OF THE LETTER "O" ABOVE THE OUTLET PIPE STUB ON THE EXTERIOR SURFACE OF THE STEEL SFCB.
 - STORMFILTER CATCHBASIN EQUIPPED WITH 4 INCH (APPROXIMATE) LONG STUBS FOR INLET (IF APPLICABLE) AND OUTLET PIPING. STANDARD OUTLET STUB IS 8 INCHES IN DIAMETER. MAXIMUM OUTLET STUB IS 15 INCHES IN DIAMETER. CONNECTION TO COLLECTION PIPING CAN BE MADE USING FLEXIBLE COUPLING BY CONTRACTOR.
 - STEEL STRUCTURE TO BE MANUFACTURED OF 1/4 INCH STEEL PLATE. CASTINGS SHALL MEET AASHTO M306 LOAD RATING. TO MEET HS20 LOAD RATING ON STRUCTURE, A CONCRETE COLLAR IS REQUIRED. WHEN REQUIRED, CONCRETE COLLAR WITH #4 REINFORCING BARS TO BE PROVIDED BY CONTRACTOR.
 - FILTER CARTRIDGES SHALL BE MEDIA-FILLED, PASSIVE, SIPHON ACTUATED, RADIAL FLOW, AND SELF CLEANING. RADIAL MEDIA DEPTH SHALL BE 7-INCHES. FILTER MEDIA CONTACT TIME SHALL BE AT LEAST 38 SECONDS.
 - SPECIFIC FLOW RATE IS EQUAL TO THE FILTER TREATMENT CAPACITY (gpm) DIVIDED BY THE FILTER CONTACT SURFACE AREA (sq ft).

- INSTALLATION NOTES**
- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
 - CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CATCHBASIN (LIFTING CLUTCHES PROVIDED).
 - CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT CARTRIDGES FROM CONSTRUCTION-RELATED EROSION RUNOFF.



1-CARTRIDGE CATCHBASIN STORMFILTER DATA	
STRUCTURE ID	CB-1
WATER QUALITY FLOW RATE (cfs)	0.08
PEAK FLOW RATE (<1 cfs)	0.11
RETURN PERIOD OF PEAK FLOW (yrs)	10 YR
CARTRIDGE HEIGHT (27", 18", 18" DEEP)	18"
CARTRIDGE FLOW RATE (gpm)	7.5 gal/min
MEDIA TYPE (PERLITE, ZPG, PSORB)	PERLITE
RIM ELEVATION	98.00'
PIPE DATA:	
INLET STUB	I.E. DIAMETER
OUTLET STUB	98.70' 8"
CONFIGURATION	
INLET	OUTLET
INLET	INLET
SLOPED LID YES	
SOLID COVER NO	
NOTES/SPECIAL REQUIREMENTS:	
SLOPE TOP AT 2% SLOPE	

1 CARTRIDGE CATCHBASIN STORMFILTER STANDARD DETAIL

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STORM FILTER DETAILS

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