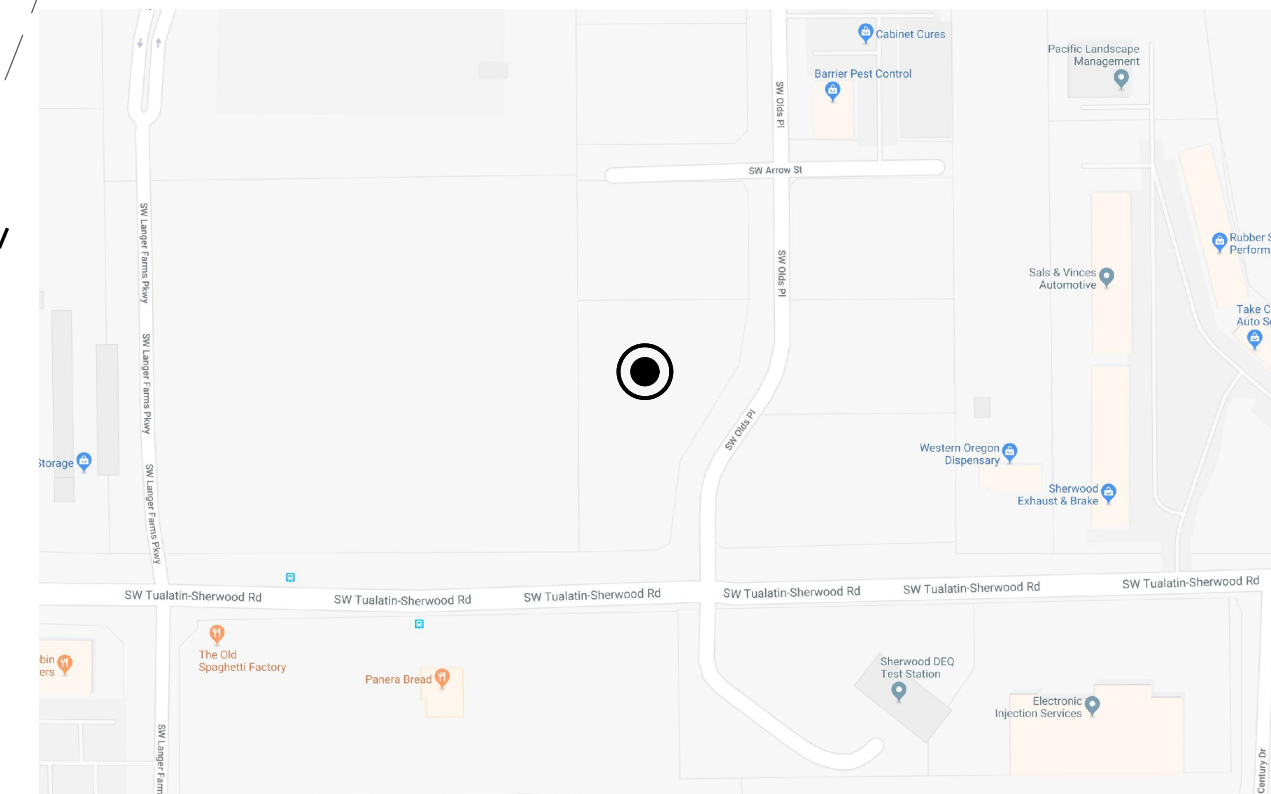


1. PROPOSED SITE PLAN

SCALE: 1" = 10'-0"



2. VICINITY



SUMMARY

ZONE: LIGHT INDUSTRIAL - (LI)
 PROPOSED LOT SIZE: .12 ACRES (31,145 SF.)
 BUILDING: 12,198 SF.
 TAX LOT: 25129A00-3400

PROPOSED DEVELOPMENT

NEW 12,198 SF, SINGLE STORY BUILDING

PROPOSED USE: INDUSTRIAL

PARKING - OFF STREET

WAREHOUSE = 9,130 SF. (16/1000 = 16)
 OFFICE = 2,068 SF. (2.7/1000 = 6)
 BATHROOMS = 365 SF.
 REQUIRED OFF-STREET PARKING = 22 (23 PROVIDED)

LANDSCAPE

LANDSCAPE = 5,020 SF. 16.1%

Revisions:

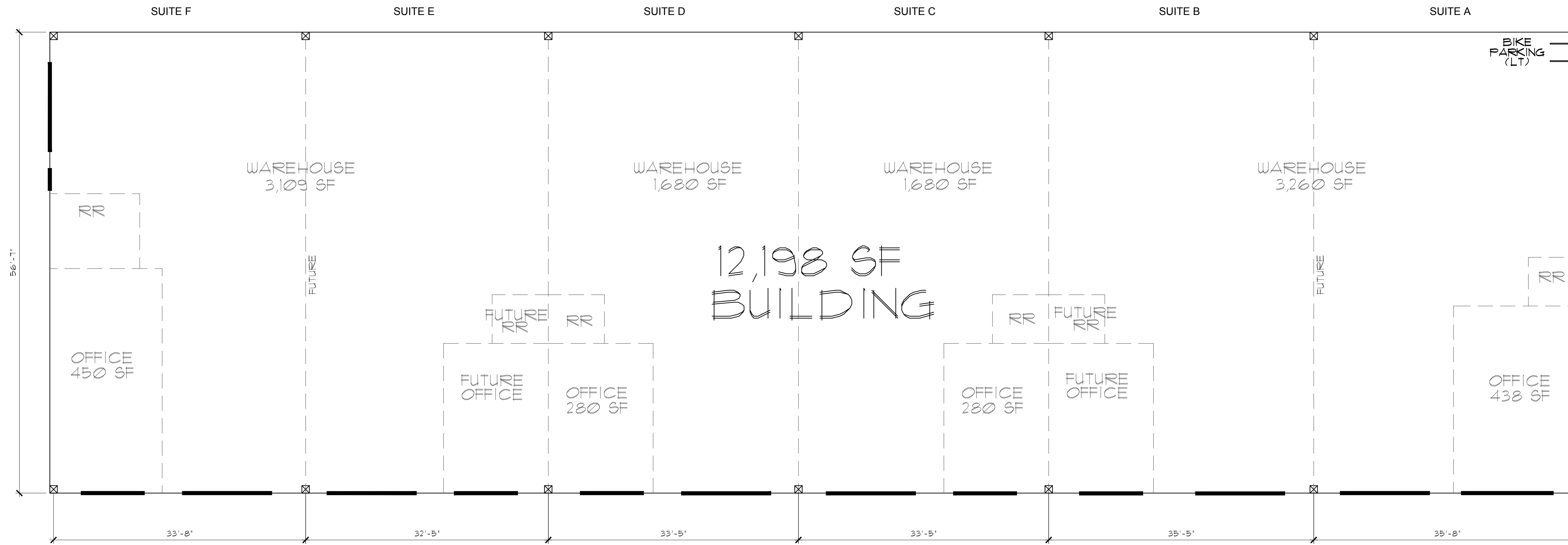
4/7/23
 1/12/23

Project Number:

File Number: NWP1001A
 Date: 11/2/2018

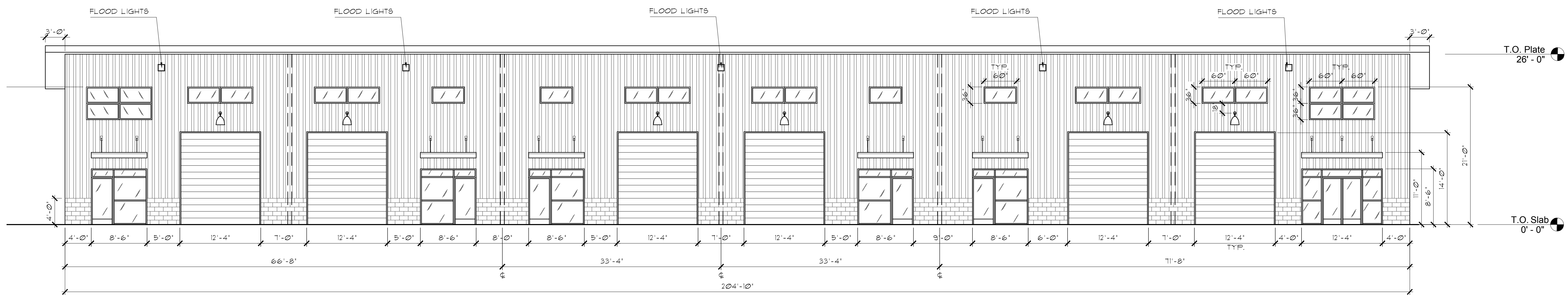
DRAWING SET NO.

A0.1



1. FLOOR PLAN

SCALE: 1/8"=1'-0"



1. ELEVATION - SOUTH

SCALE: 1/8"=1'-0"

Revisions:

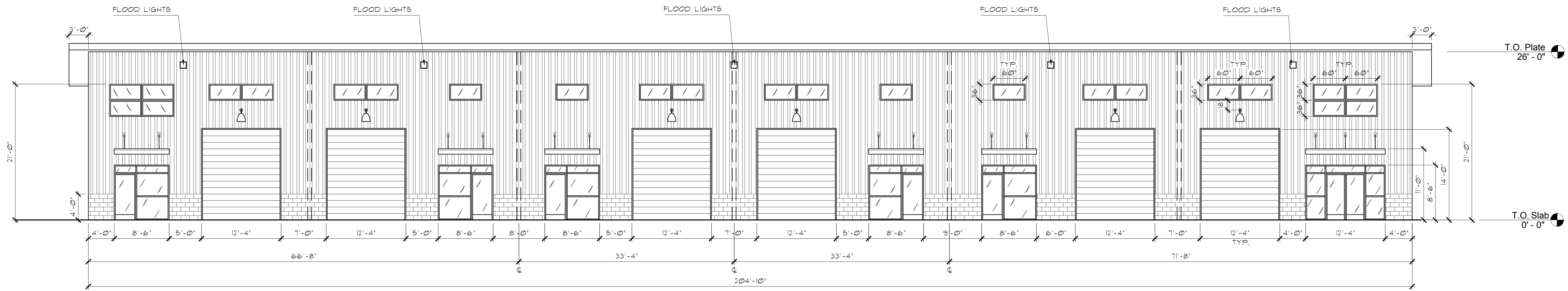
4/27/2023
1/12/23

Project Number:

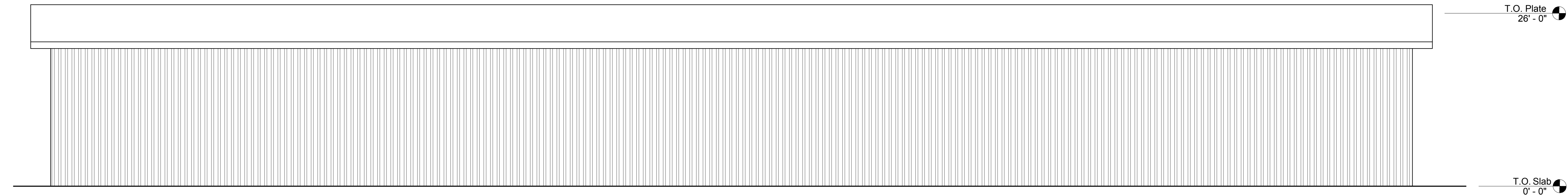
File Number: XXXX401A
Date: 12/4/2021

DRAWING SET NO.

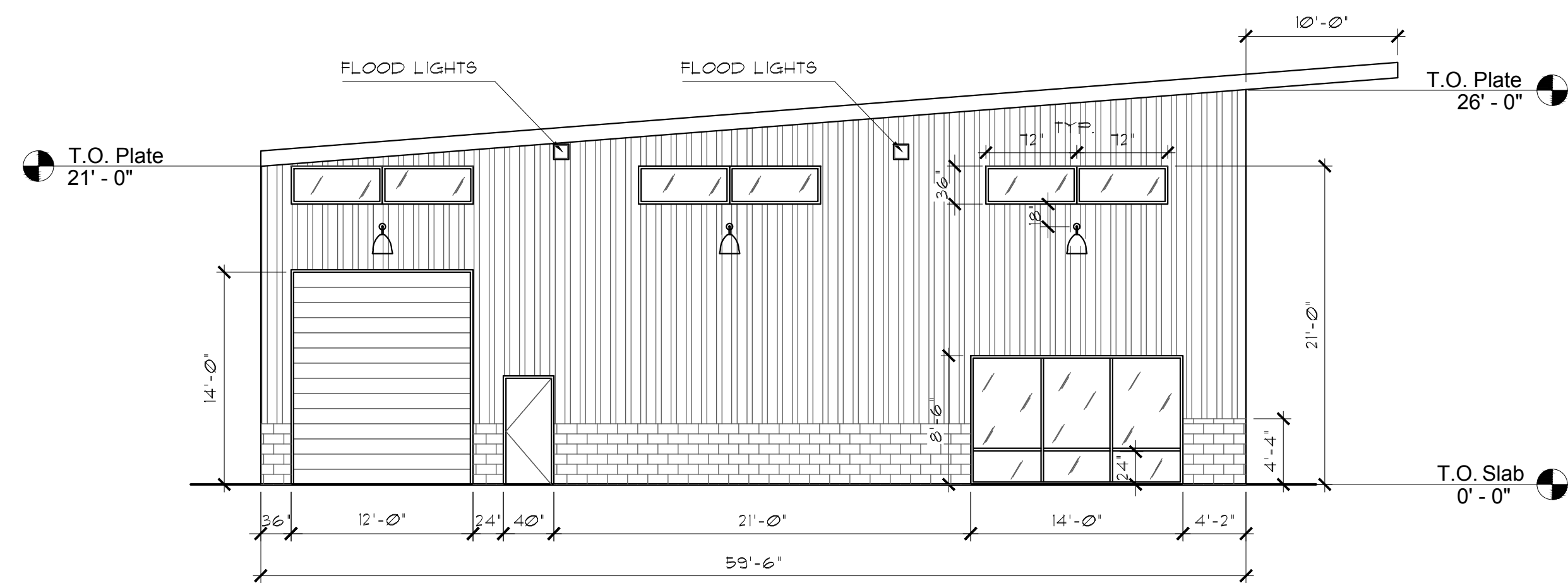
A4.1



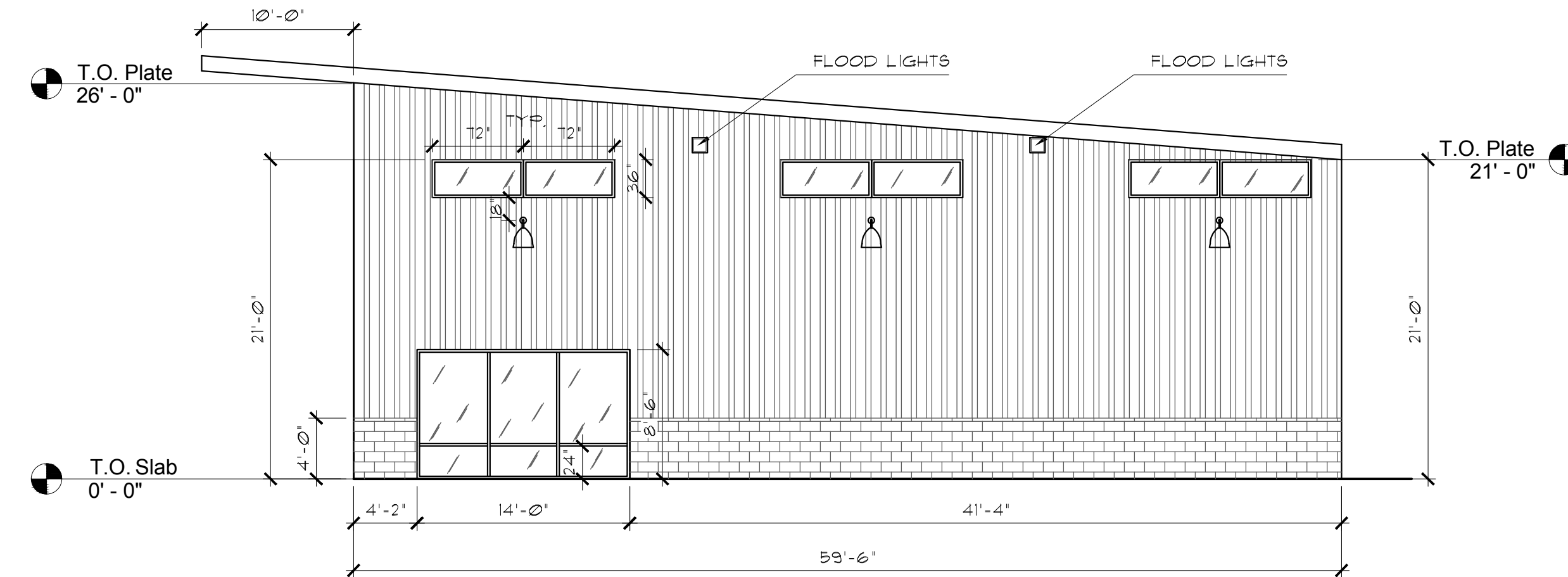
1. ELEVATION - SOUTH
SCALE: 1/8"=1'-0"



2. ELEVATION - NORTH
SCALE: 1/8"=1'-0"



3. ELEVATION - WEST
SCALE: 1/8"=1'-0"



4. ELEVATION - EAST
SCALE: 1/8"=1'-0"

Revisions:

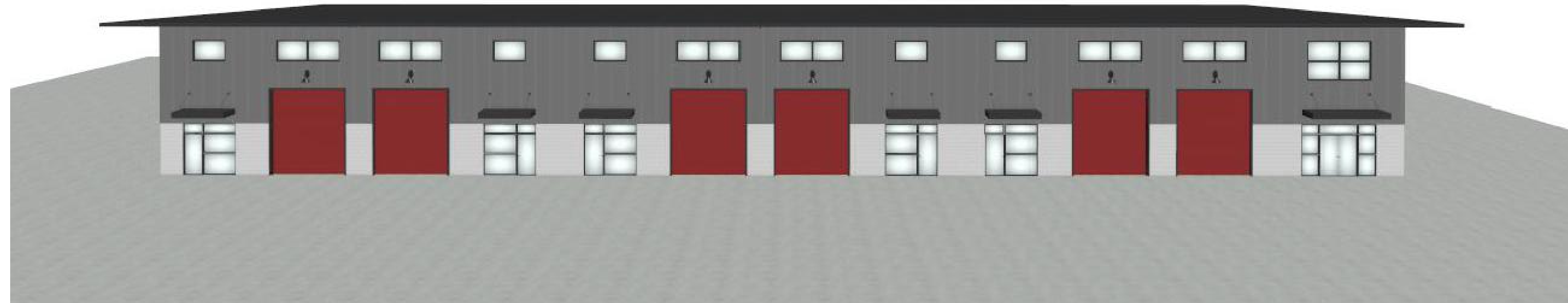
4/27/2023
1/12/23

Project Number:

File Number: XXXX401A
Date: 12/4/2021

DRAWING SET NO.

A7.1



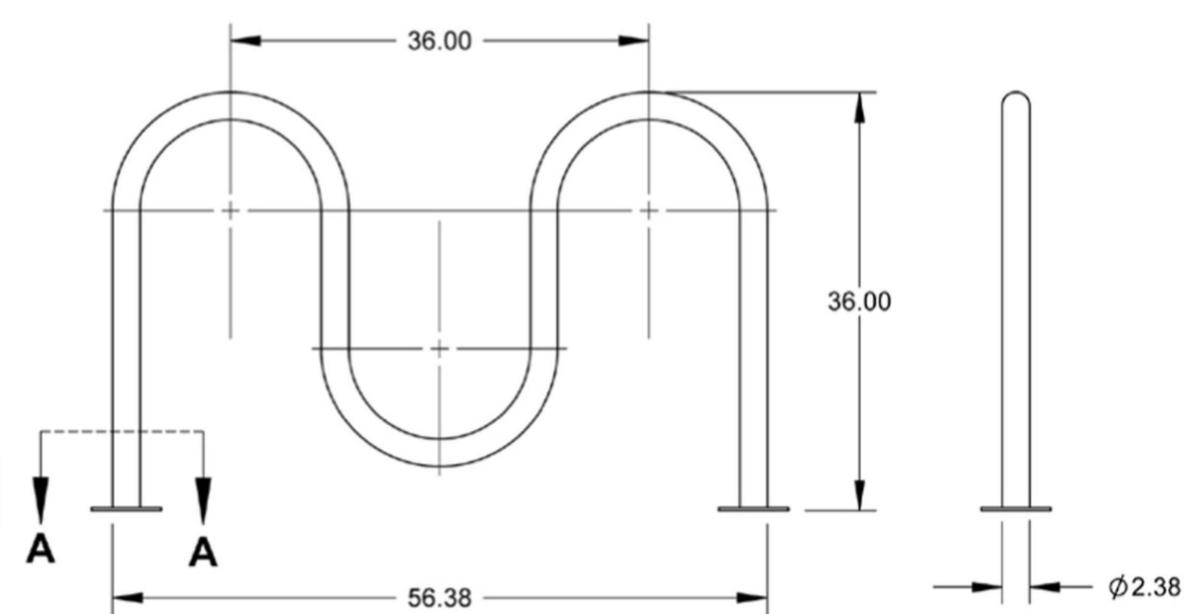
1. RENDERING - SOUTH

SCALE: N.T.S.



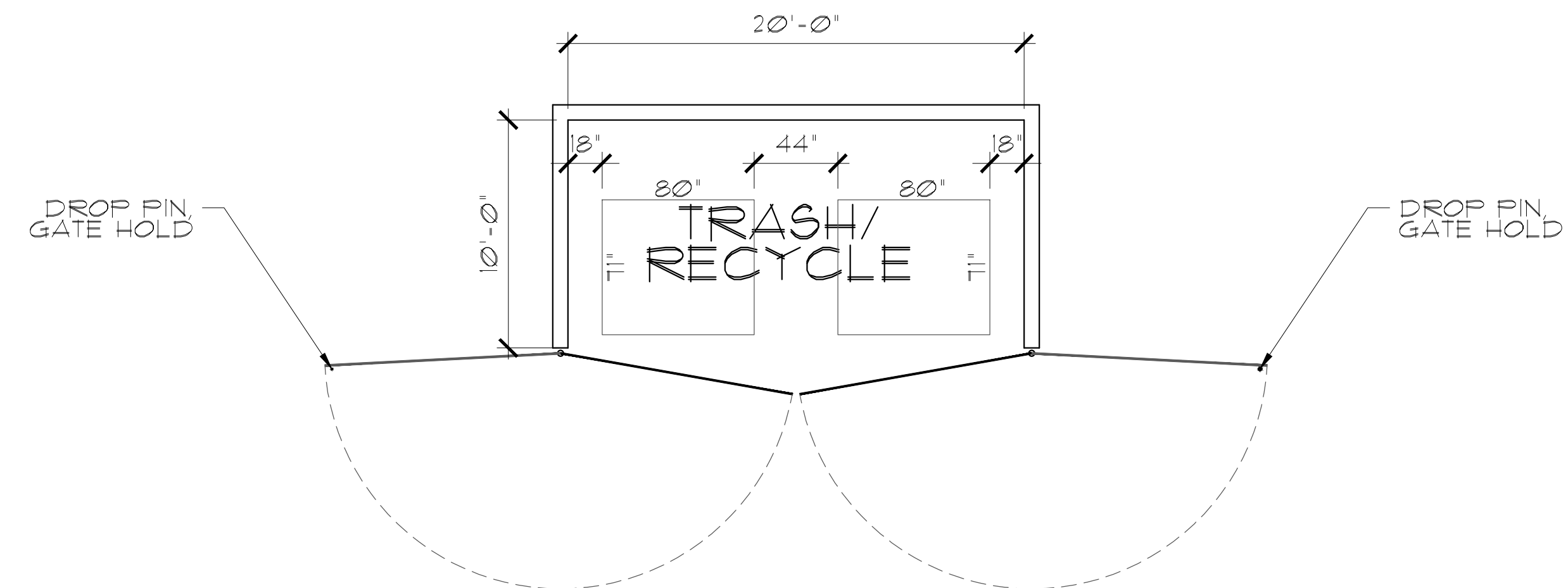
2. RENDERING - SOUTHEAST

SCALE: N.T.S.



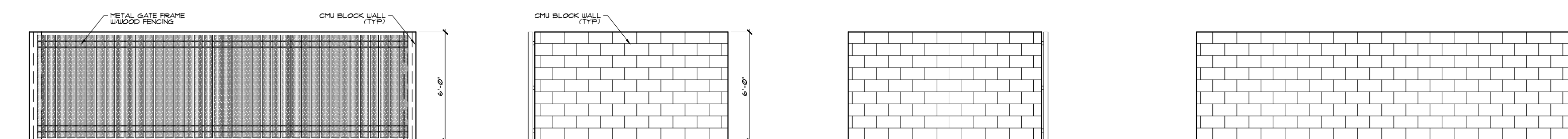
3. BIKE PARKING

SCALE: N.T.S.



4. TRASH/RECYCLE ENCLOSURE

SCALE: 3/16"=1'-0"



5. TRASH/RECYCLE ENCLOSURE - ELEV

SCALE: 3/16"=1'-0"

Revisions:

7/12/23

Project Number:

File Number: XXXX401A

Date: 12/4/2021

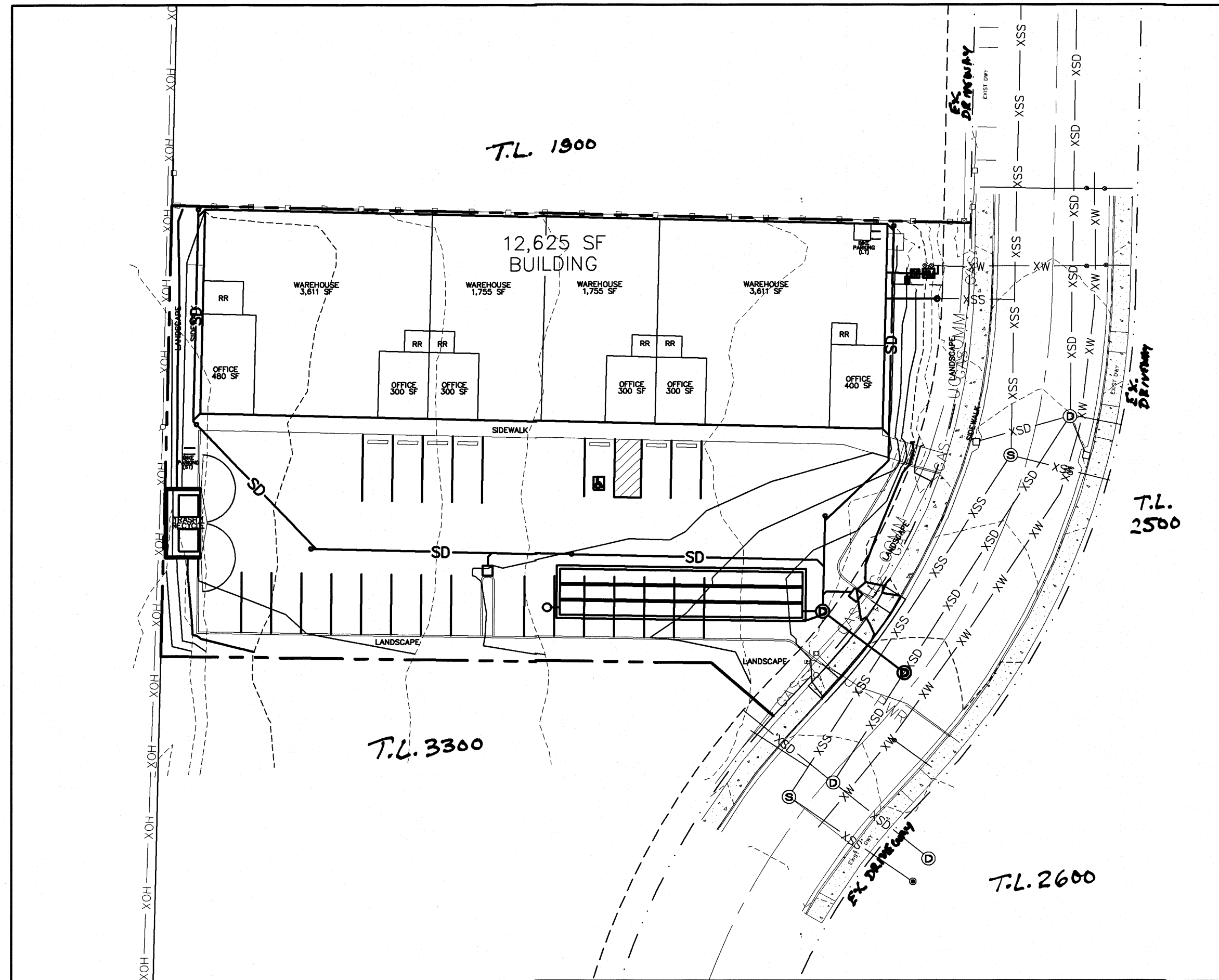
DRAWING SET NO.

A7.2

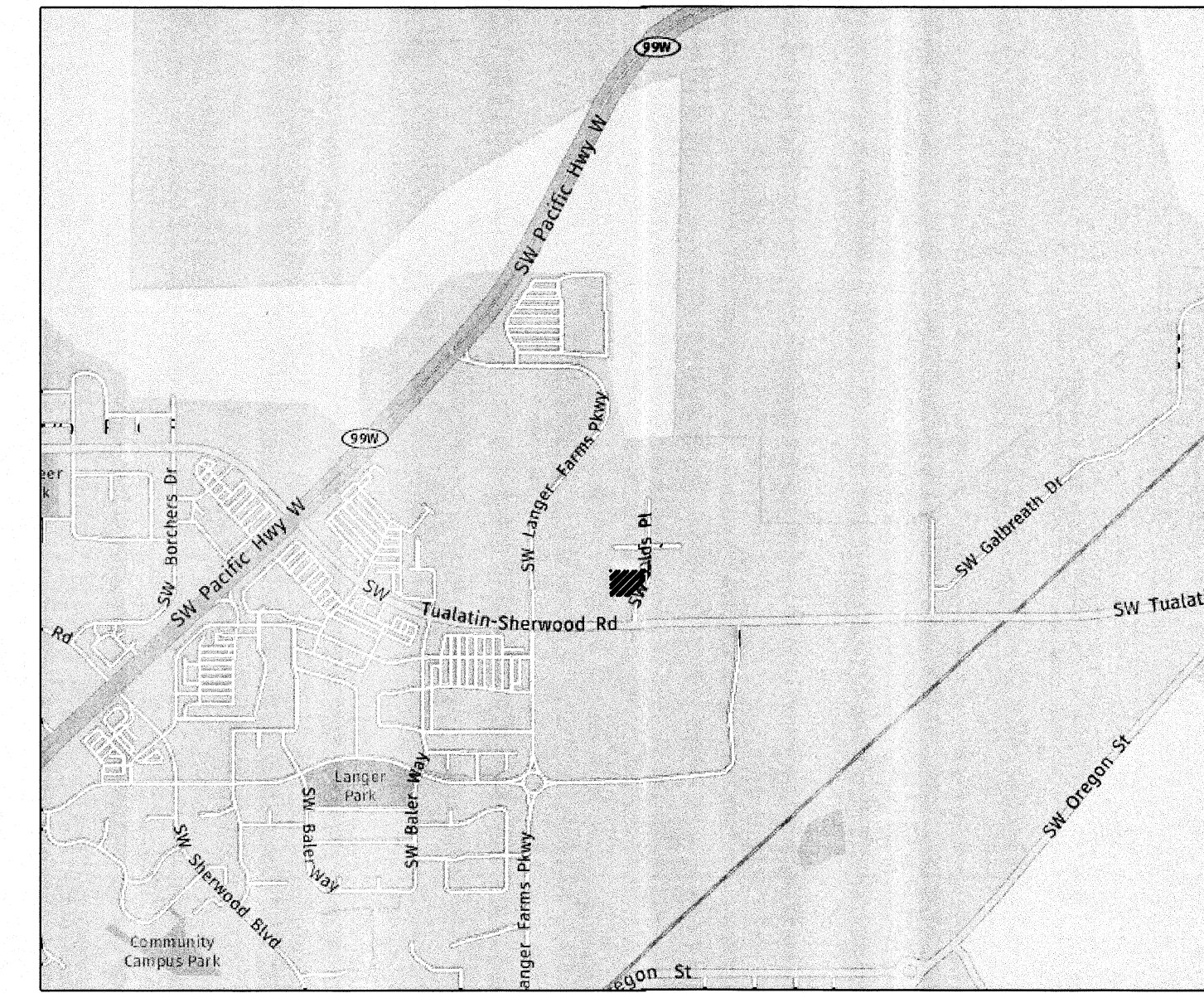
NW PROPERTY MANAGEMENT

PARCEL 2 OF PARTITION PLAT NO. 2018-021

JANUARY 2022



SITE MAP
1" = 30'



VICINITY MAP
NTS

INDEX

SHEET	DESCRIPTION
C0	COVER
C1	GENERAL NOTES
C2	SITE PLAN
C3	STORM PLAN
C4	WATER AND SANITARY PLAN
C5	GRADING AND EROSION CONTROL PLAN
C6	EROSION CONTROL DETAILS
C7	STD CONSTRUCTION DETAILS
C8	STD CONSTRUCTION DETAILS
C9	STD CONSTRUCTION DETAILS

ENGINEER:
SISUL ENGINEERING
 375 PORTLAND AVENUE
 GLADSTONE, OREGON 97027
 (503) 657-0188

APPLICANT:
NW PRECISION DESIGN
 CONTACT: DARIN BOUSKA
 14707 SW INKSTER DRIVE
 SHERWOOD, OR 97140
 (503) 925-1193

NOTES:
 PARCEL 2 OF PARTITION PLAT NO. 2018-021,
 SHERWOOD COMMERCIAL CENTER
 STREET LOCATION: 20861 SW OLDS PL.
 LEGAL: 2S-1E-29A, TL 3400
 CURRENT ZONE: LIGHT INDUSTRIAL - LI
 DEVELOPMENT INFORMATION
 TOTAL GROSS AREA: 31,146 SF, 0.72 AC
 PROPOSED DEVELOPMENT: 13,000 SF BLDG.

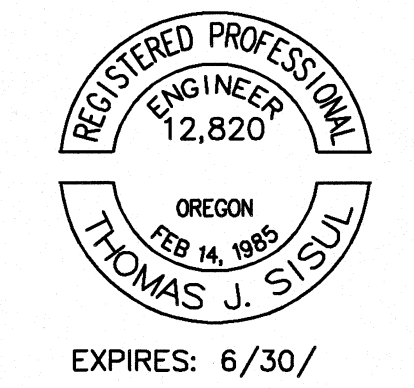
THIS DESIGN COMPLIES WITH ORS 92.044 (7) IN THAT NO UTILITY INFRASTRUCTURE IS DESIGNED TO BE WITHIN ONE (1) FOOT OF A SURVEY MONUMENT LOCATION SHOWN ON A SUBDIVISION OR PARTITION PLAT. NO DESIGN EXCEPTION NOR FINAL FIELD LOCATION CHANGES SHALL BE PERMITTED IF THAT CHANGE WOULD CAUSE ANY UTILITY INFRASTRUCTURE TO BE PLACED WITHIN THE PROHIBITED AREA.

UTILITY CONTACTS:
 PGE - TRAVIS SMALLWOOD (503) 672-5428
 GAS - NORTHWEST NATURAL GAS - RICH GIRALD (503) 226-4211 x2467
 PHONE - FRONTIER - TAM NGUYEN - (503) 641-4463
 CABLE - SHERWOOD BROADBAND - BRAD CRAWFORD (503) 625-4203
 GARBAGE - PRIDE DISPOSAL - KRISTEN LIECHNER (503) 625-6177 x1124
 CITY UTILITIES - CITY OF SHERWOOD PUBLIC WORKS DEPARTMENT (503) 625-5722
 CITY INSPECTOR - ANDY STIRLING (503) 925-2307
 CITY WATER INSPECTOR - RICH SATTILER (503) 925-2319

BASIS OF BEARING/BENCHMARK
 THE BASIS OF BEARING AND BOUNDARY WAS HELD PER SAID PARTITION. ALL MONUMENTS FOUND FELL WITHIN 0.1' OF THE CALCULATED POSITION. THE VERTICAL BENCHMARK IS A FOUND PK NAIL (AKS #29) IN SW OLDS PLACE THAT WAS CONFIRMED TO BE AT 172.60' NGVD29 DATUM USING THE OREGON REAL-TIME GNSS NETWORK AND CONVERTING FROM NAVD88 TO NGVD29.

NOTICE TO EXCAVATORS:
 ATTENTION: OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER. (NOTE: THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS (503)-232-1987).

MOST RECENT REVISION TO THIS SET OF PLANS:



REVISIONS	BY
REVISED SITE PLAN 5-25-23	JMF

NW PROPERTY MANAGEMENT
 NW PRECISION DESIGN

Cover

SISUL ENGINEERING
 375 PORTLAND AVENUE
 GLADSTONE, OREGON 97027
 (503) 657-0188
 DRAWING: z21-058 BASE.dwg

DATE	JAN. 2022
SCALE	AS NOTED
DRAWN	JDM
JOB	SGL21-058
SHEET	C0
OF OF SHEETS	

REVISIONS	BY
REVISED SITE PLAN 5-25-23	JMF

NW PROPERTY MANAGEMENT
NW PRECISION DESIGN

Site Plan

SISUL ENGINEERING
375 PORTLAND AVENUE
GLADSTONE, OREGON 97027
(503) 657-0188
DRAWING: Z21-058 BASE.dwg

DATE	JAN. 2022
SCALE	AS NOTED
DRAWN	JDM
JOB	SGL21-058
SHEET	C2
OF OF SHEETS	

20833 SW OLDS PLACE
MAP ID: 2S129A001800

EXISTING FENCE ON NORTH PROPERTY LINE TO REMAIN (TYPICAL)

12,625 SF
BUILDING

WAREHOUSE
3,611 SF

WAREHOUSE
1,755 SF

WAREHOUSE
1,755 SF

WAREHOUSE
3,611 SF

20861 SW OLDS PLACE
MAP ID: 2S129A003400

PROPOSED 13,000 SF BUILDING

RR

OFFICE
480 SF

RR

OFFICE
300 SF

RR

OFFICE
300 SF

RR

OFFICE
300 SF

RR

OFFICE
300 SF

RR

OFFICE
400 SF

BIKE PARKING (LT)

EXISTING 8.0'-WIDE P.U.E.

EXISTING 50.0'-WIDE RIGHT-OF-WAY

SW OLDS PLACE

5.0'

SIDEWALK

5.0'

6.0'-WIDE SIDEWALK

SIDEWALK

BIKE PARKING (ST)

PROPOSED 10.0' X 20.0' TRASH ENCLOSURE (TYPICAL)

PROPOSED WHEEL STOPS (TYPICAL)

1

2

3

4

20.00'

9.0'

5

8.0'

17.50'

6

7

9.0'

PROPOSED WHEEL STOPS (TYPICAL)

PROPOSED STAIRCASE PER ODOT STD DWG RD120

PROPOSED TYPE 'C' VERTICAL CURB (TYPICAL)

EXISTING 5.5'-WIDE SIDEWALK (TYPICAL)

EXISTING CURB AND GUTTER (TYPICAL)

8

9

10

11

12

13

14

15

16

17

18

19

21

22

23

24

PROPOSED TYPE 'C' VERTICAL CURB (TYPICAL)

LANDSCAPE

PROPOSED TYPE 'C' VERTICAL CURB (TYPICAL)

PROPOSED ADA LOADING ZONE (TYPICAL)

PROPOSED ADA PARKING STALL (TYPICAL)

PROPOSED PARKING LOT STRIPING (TYPICAL)

9.0'

18.0'

9.0'

9.0'

18.0'

9.0'

R4.5'

24.0'

LANDSCAPE

LANDSCAPE

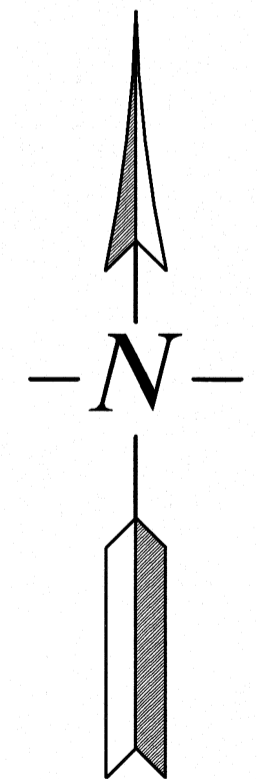
PROPOSED 24.0'-WIDE COMMERCIAL DRIVEWAY PER CITY OF SHERWOOD STD. DETAIL RD-42 (TYPICAL)

EXISTING 8.0'-WIDE P.U.E.

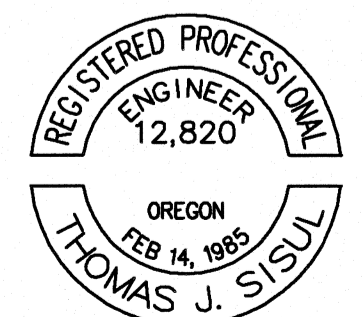
SW OLDS PLACE

EXISTING 50.0'-WIDE RIGHT-OF-WAY

20941 SW OLDS PLACE
MAP ID: 2S129A003300



0 10' 20'
GRAPHIC SCALE 1"=10'



EXPIRES: 6/30/

REVISIONS	BY
REVISED SITE PLAN 5-25-23	JMF

NW PROPERTY MANAGEMENT
NW PRECISION DESIGN

Storm Plan

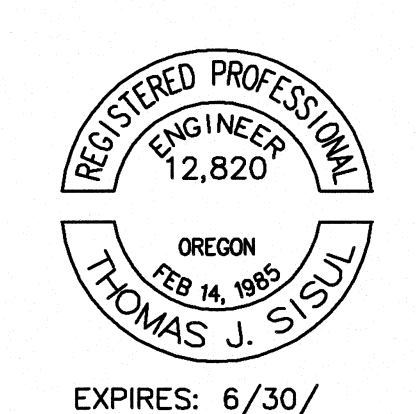
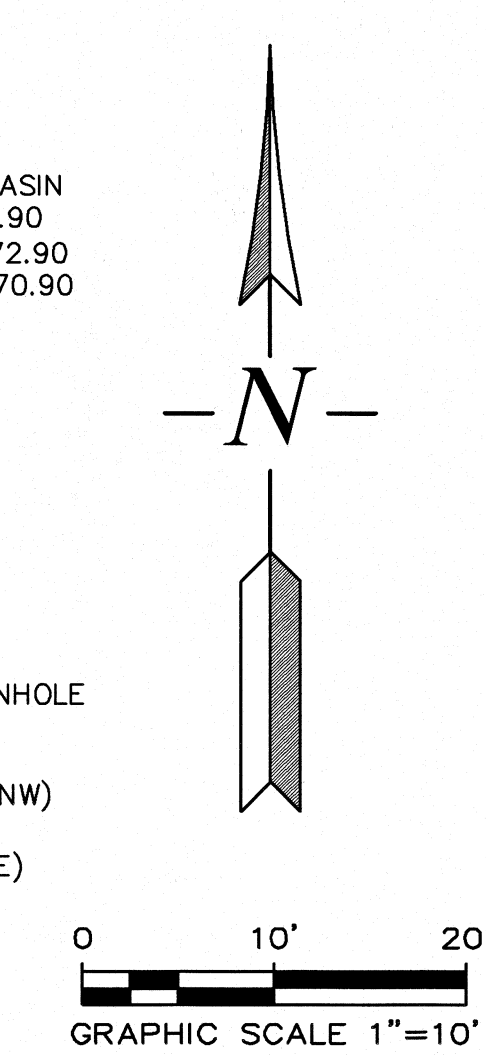
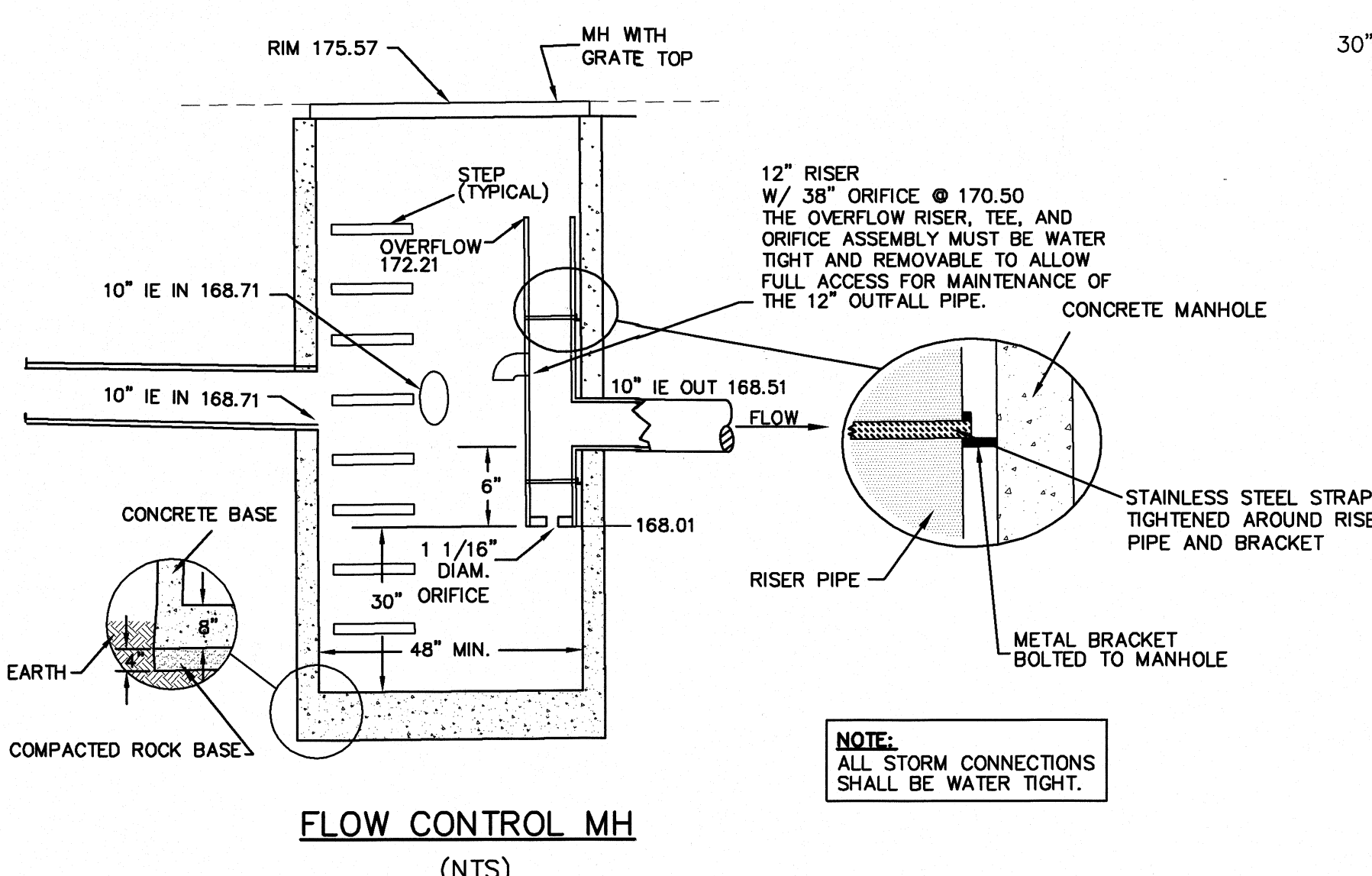
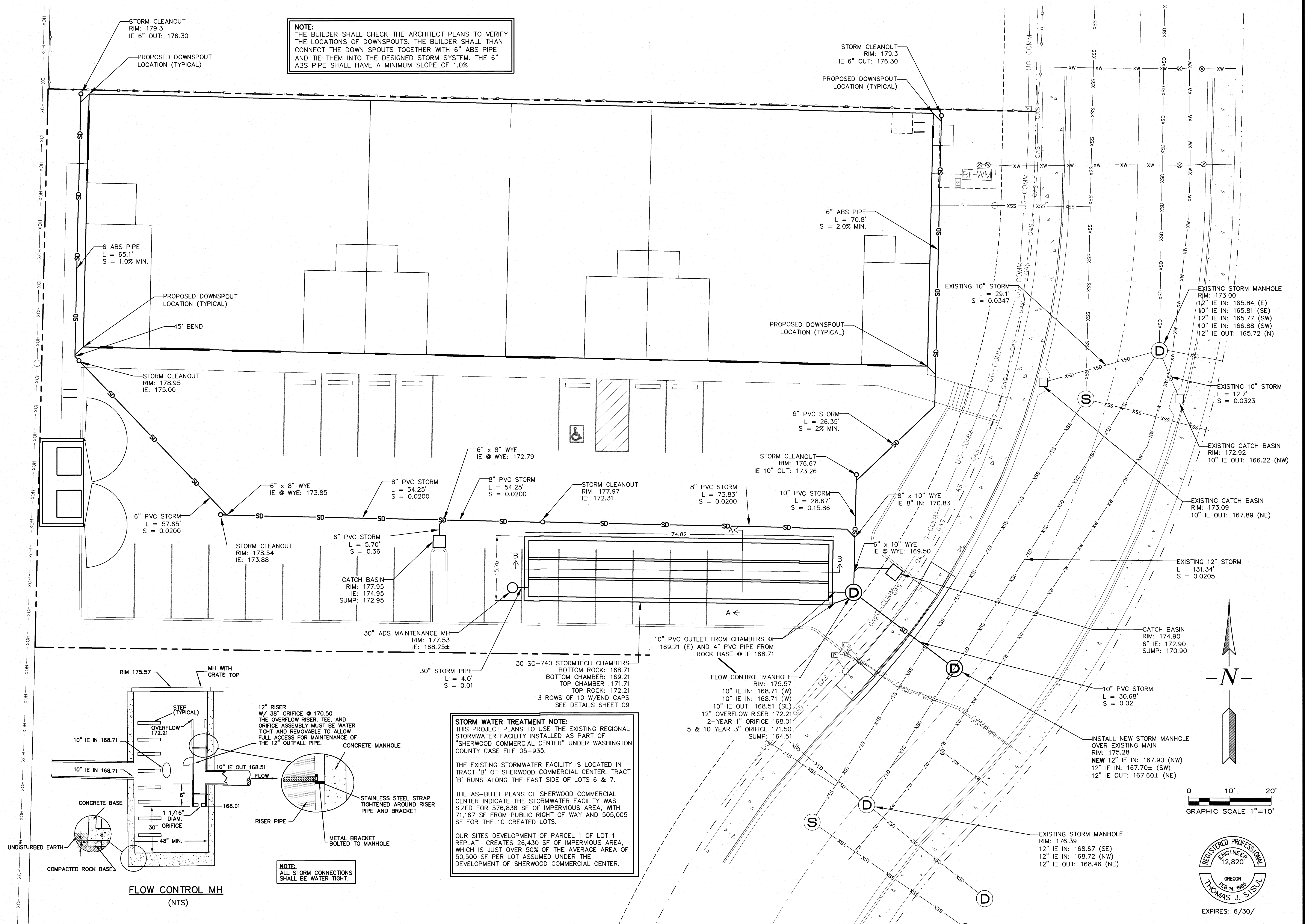
SISUL ENGINEERING
375 PORTLAND AVENUE
GLADSTONE, OREGON 97027
(503) 657-0188
DRAWING: 21-058 BASE.dwg

DATE: JAN. 2022
SCALE: AS NOTED
DRAWN: JDM
JOB: SGL21-058
SHEET: **C3**
OF OF SHEETS

NOTE:
THE BUILDER SHALL CHECK THE ARCHITECT PLANS TO VERIFY THE LOCATIONS OF DOWNSPOUTS. THE BUILDER SHALL THEN CONNECT THE DOWN SPOUTS TOGETHER WITH 6" ABS PIPE AND TIE THEM INTO THE DESIGNED STORM SYSTEM. THE 6" ABS PIPE SHALL HAVE A MINIMUM SLOPE OF 1.0%

STORM WATER TREATMENT NOTE:
THIS PROJECT PLANS TO USE THE EXISTING REGIONAL STORMWATER FACILITY INSTALLED AS PART OF "SHERWOOD COMMERCIAL CENTER" UNDER WASHINGTON COUNTY CASE FILE 05-935.
THE EXISTING STORMWATER FACILITY IS LOCATED IN TRACT 'B' OF SHERWOOD COMMERCIAL CENTER. TRACT 'B' RUNS ALONG THE EAST SIDE OF LOTS 6 & 7.
THE AS-BUILT PLANS OF SHERWOOD COMMERCIAL CENTER INDICATE THE STORMWATER FACILITY WAS SIZED FOR 576,836 SF OF IMPERVIOUS AREA, WITH 71,167 SF FROM PUBLIC RIGHT OF WAY AND 505,005 SF FOR THE 10 CREATED LOTS.
OUR SITE'S DEVELOPMENT OF PARCEL 1 OF LOT 1 REPLAT CREATES 26,430 SF OF IMPERVIOUS AREA, WHICH IS JUST OVER 50% OF THE AVERAGE AREA OF 50,500 SF PER LOT ASSUMED UNDER THE DEVELOPMENT OF SHERWOOD COMMERCIAL CENTER.

NOTE:
ALL STORM CONNECTIONS SHALL BE WATER TIGHT.



REVISIONS	BY
REVISED SITE PLAN 5-25-23	JMF

Water and Sanitary Plan
NW PROPERTY MANAGEMENT
NW PRECISION DESIGN

SISUL ENGINEERING
375 PORTLAND AVENUE
CLATSOP, OREGON 97027
(503) 857-0188
DRAWING: 221-058 BASE.dwg

DATE JAN. 2022
SCALE AS NOTED
DRAWN JDM
JOB SGL21-058
SHEET **C4**
OF OF SHEETS

DOWNSTREAM EXISTING
SANITARY MANHOLE
RIM: 166.82
8" IE IN: 154.90 (S)
8" IE IN: 154.96 (W)
8" IE IN: 155.02 (N)
8" IE OUT: 154.73 (E)

SEE WATER
ENLARGEMENT
DETAIL,
THIS SHEET

PUBLIC WATER EASEMENT
(TYPICAL)

6" PVC SANITARY
L = 21.1'
S = MIN. 2%

INSTALL SANITARY CLEANOUT
BEHIND PUE (TYPICAL)
IE PER AS-BUILT = 165.23

UTILIZE EXISTING SANITARY
SERVICE TO THE SITE.
CONTRACTOR TO VERIFY PIPE
SIZE, SLOPE, AND LOCATION
TO CONFIRM VIABILITY.

EXISTING SANITARY MANHOLE
RIM: 173.46
8" IE IN: 163.18 (E)
8" IE IN: 163.08 (SW)
8" IE OUT: 162.96 (N)

8" SANITARY
L = 122.6'
S = 0.0296

EXISTING SANITARY MANHOLE
RIM: 176.58
8" IE IN: 166.88 (SE)
8" IE OUT: 166.71 (NE)

PROTECT EXISTING 2" BLOW OFF ASSEMBLY

7.4'± LF

INSTALL 1" WET TAP ON EXIST 8" WL

INSTALL 1" 90° BEND

INSTALL 1" WATER METER PER SHERWOOD STD DETAIL W-60

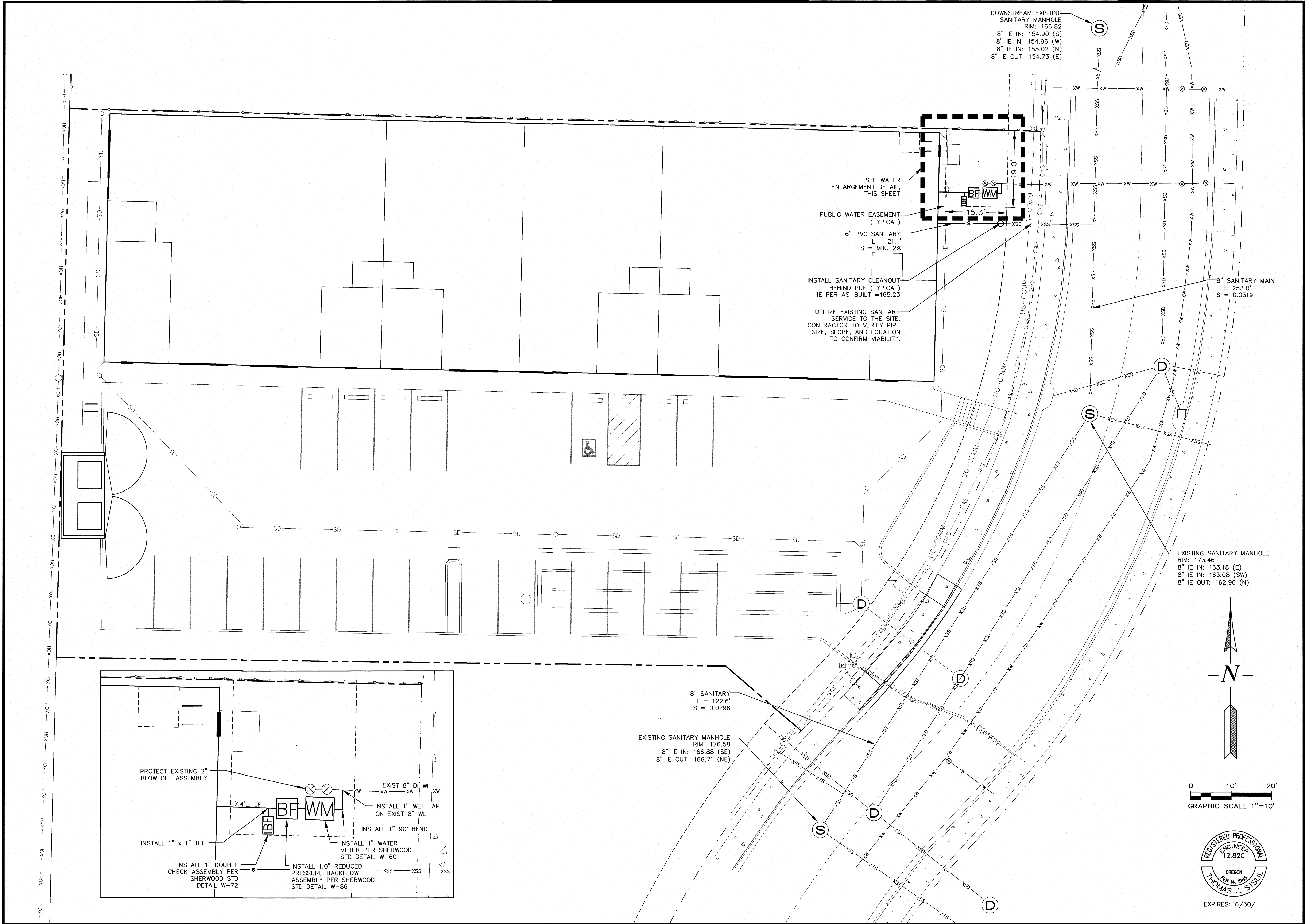
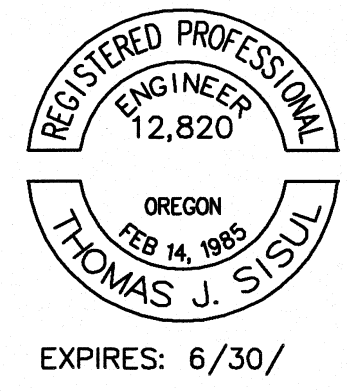
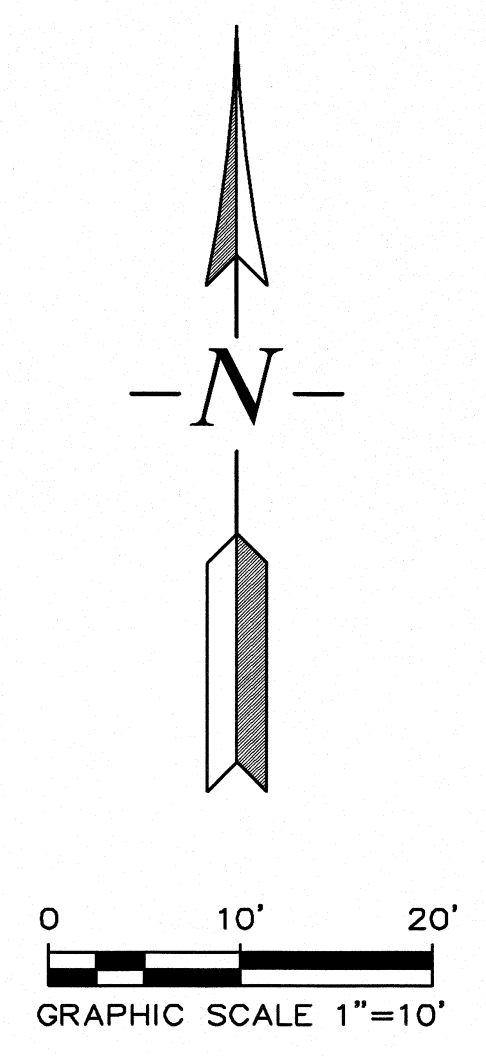
INSTALL 1.0" REDUCED PRESSURE BACKFLOW ASSEMBLY PER SHERWOOD STD DETAIL W-86

INSTALL 1" DOUBLE CHECK ASSEMBLY PER SHERWOOD STD DETAIL W-72

INSTALL 1" x 1" TEE

EXIST 8" DI WL

INSTALL 1" x 1" TEE

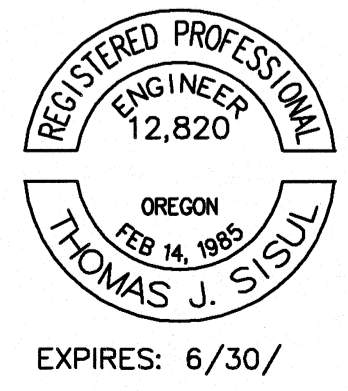
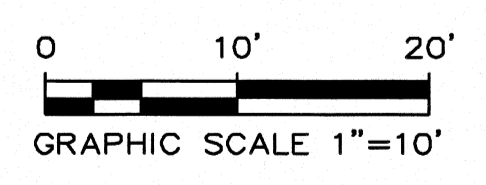
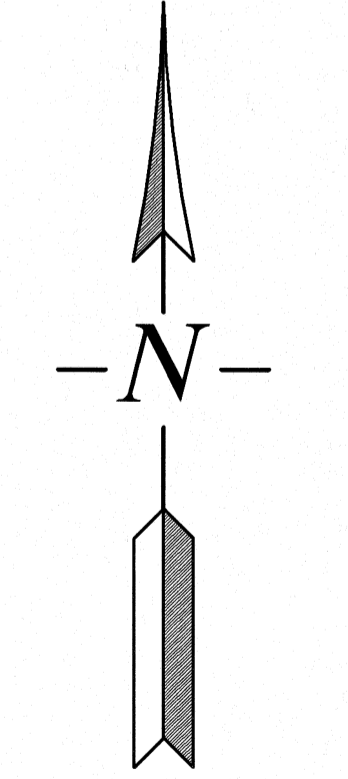
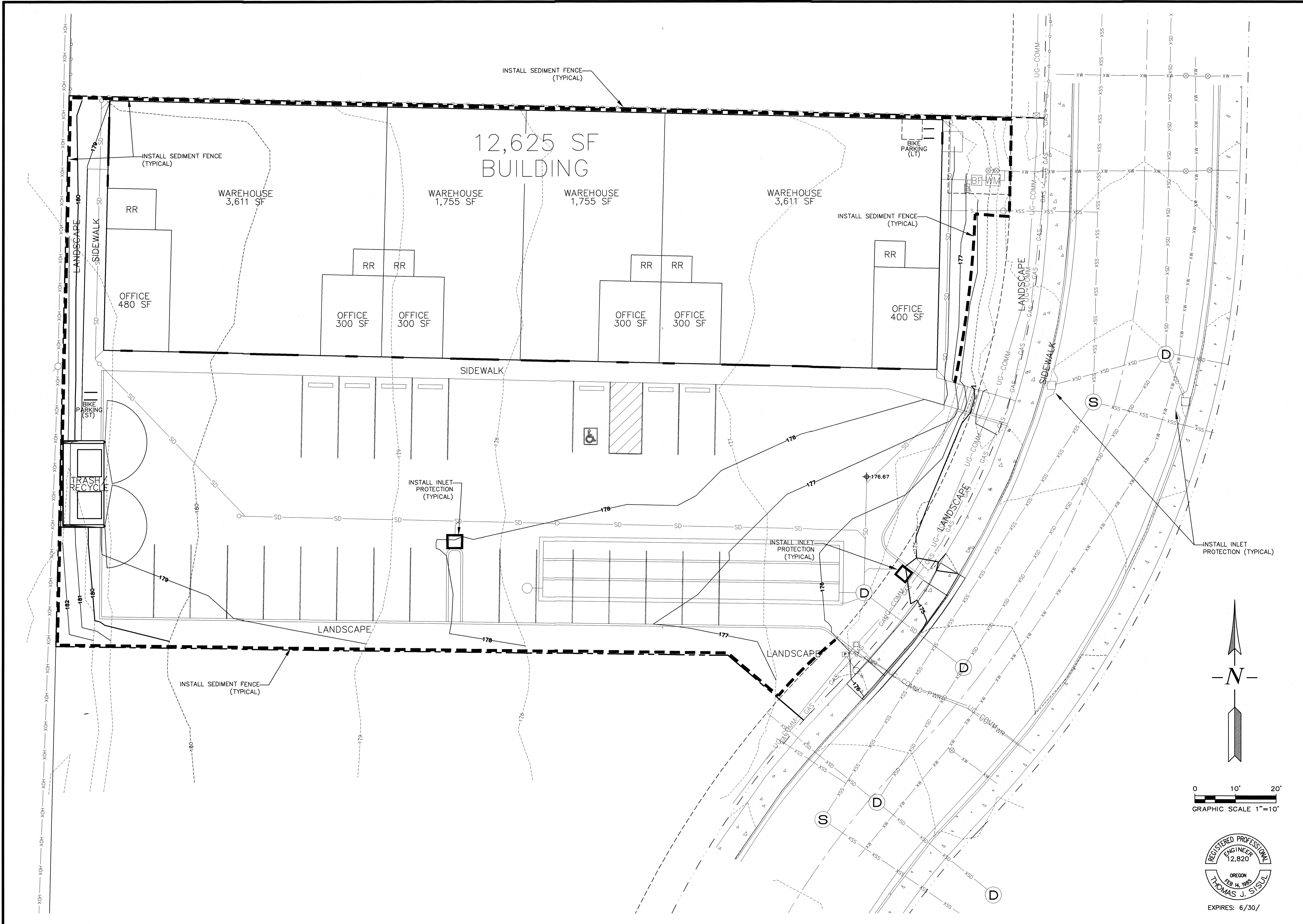


REVISIONS	BY
REVISED SITE PLAN 5-25-23	JMF

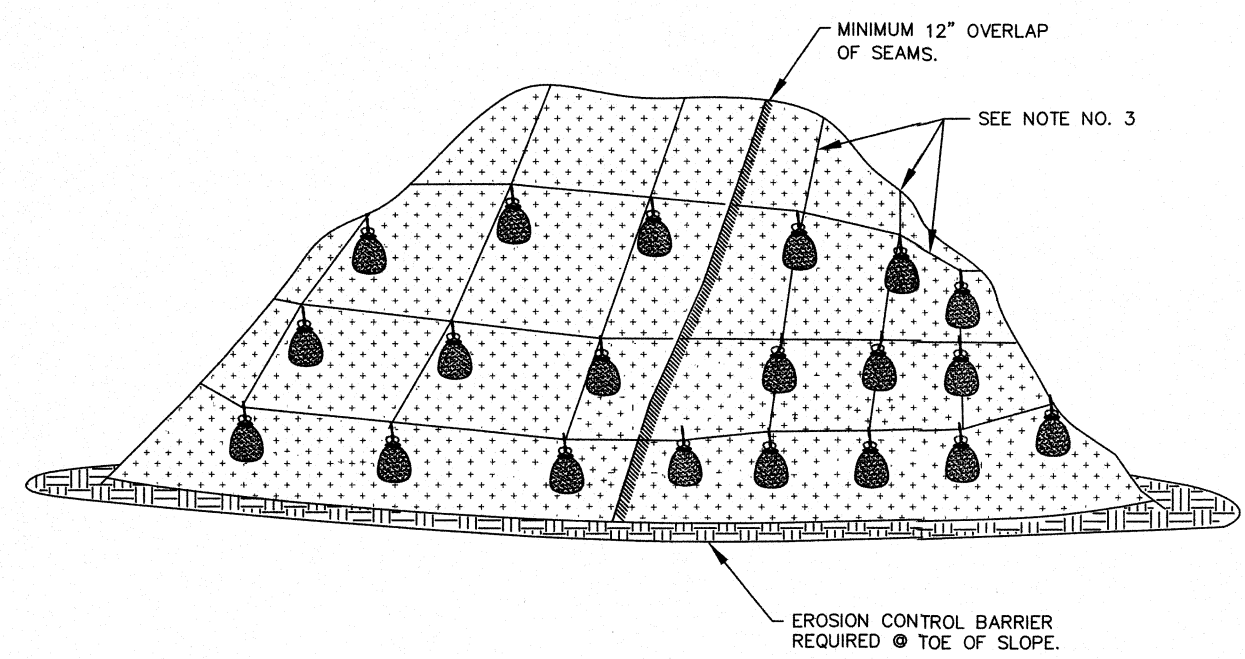
Grading and Erosion NW PROPERTY MANAGEMENT
Control Plan
NW PRECISION DESIGN

SISUL ENGINEERING
375 PORTLAND AVENUE
GLADSTONE, OREGON 97027
(503) 657-0188
DRAWING: Z21-058 BASE.dwg

DATE JAN. 2022
SCALE AS NOTED
DRAWN JDM
JOB SGL21-058
SHEET **C5**
OF OF SHEETS



FOR FURTHER INFORMATION ON DESIGN CRITERIA SEE CHAPTER 4 OF CLEAN WATER SERVICES EROSION PREVENTION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL.



- NOTES:
- MINIMUM 12" OVERLAP OF ALL SEAMS REQUIRED.
 - BARRIER REQUIRED @ TOE OF STOCK PILE.
 - COVERING MAINTAINED TIGHTLY IN PLACE BY USING SANDBAGS OR APPROVED EQUAL ON ROLES WITH A MAXIMUM 10' GRID SPACING IN ALL DIRECTIONS.
 - PLASTIC TO EXTEND MINIMUM 1' BEYOND TOE OF SLOPE.

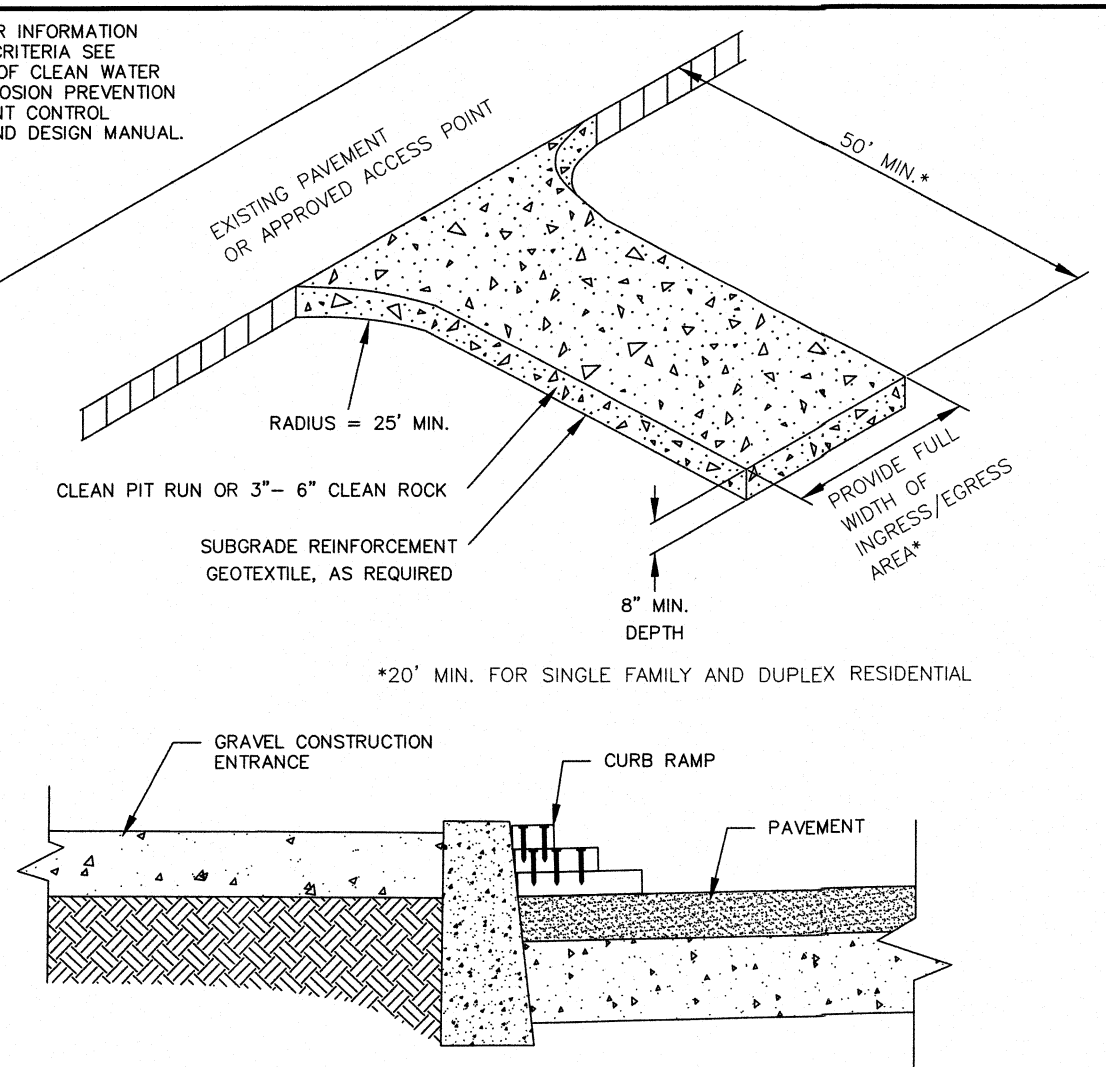
PLASTIC SHEETING

DRAWING NO. 810

REVISED 12-16



FOR FURTHER INFORMATION ON DESIGN CRITERIA SEE CHAPTER 4 OF CLEAN WATER SERVICES EROSION PREVENTION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL.



- NOTES:
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 - WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
 - WHERE RUNOFF CONTAINING SEDIMENT LADEN WATER IS LEAVING THE SITE VIA THE CONSTRUCTION ENTRANCE, OTHER MEASURES SHALL BE IMPLEMENTED TO DIVERT RUNOFF THROUGH AN APPROVED FILTERING SYSTEM.
 - DIMENSIONS:
 - SINGLE FAMILY: 20' LONG BY 20' WIDE 8" DEEP OF 3/4" MINUS CLEAN ROCK.
 - COMMERCIAL: 50' LONG BY 20' WIDE 3-6" CLEAN ROCK, GOVERNING AUTHORITY MAY REQUIRE GEOTEXTILE FABRIC TO PREVENT SUB-SOIL PUMPING.

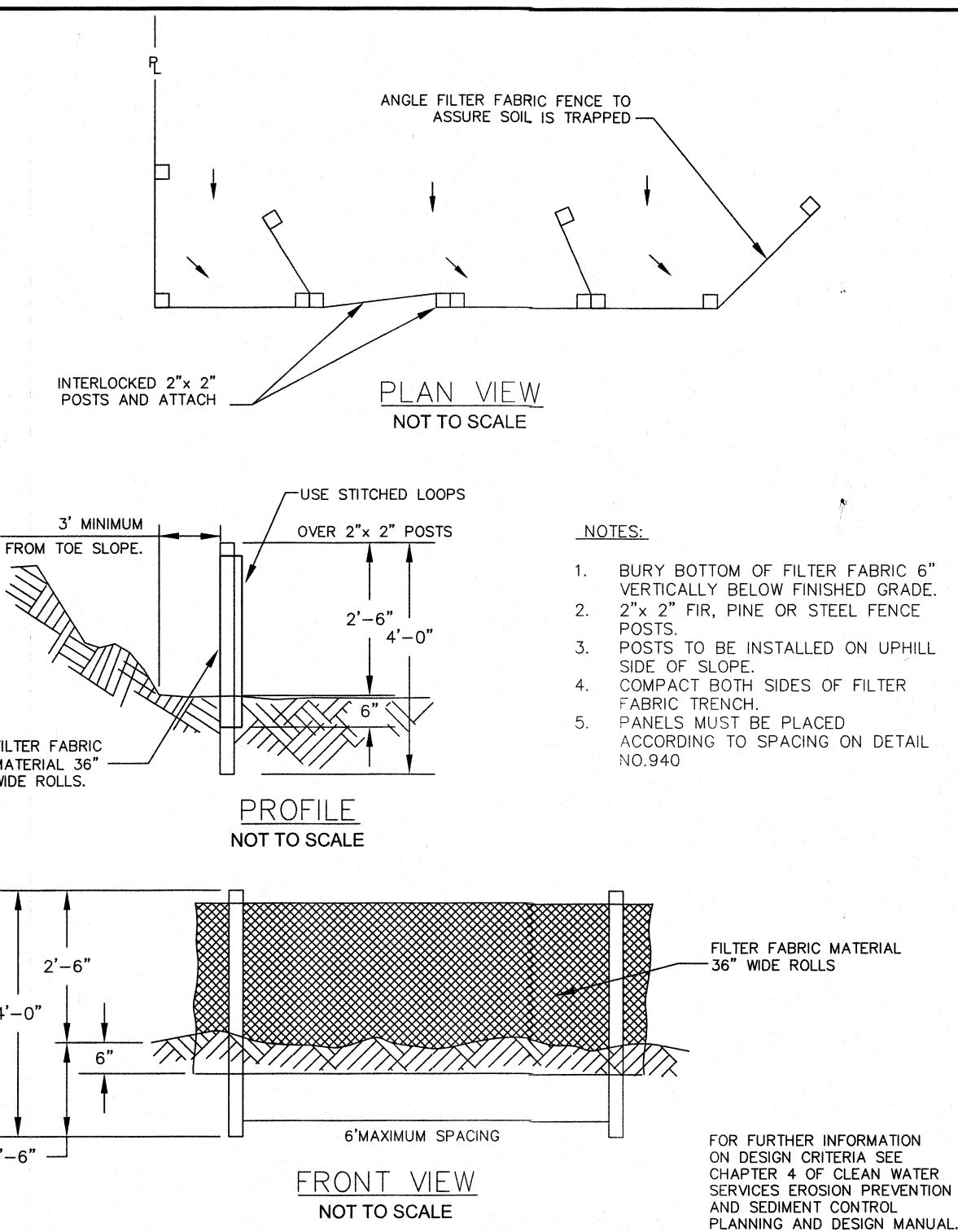
CONSTRUCTION ENTRANCE

DRAWING NO. 855

REVISED 12-16



FOR FURTHER INFORMATION ON DESIGN CRITERIA SEE CHAPTER 4 OF CLEAN WATER SERVICES EROSION PREVENTION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL.



- NOTES:
- BURY BOTTOM OF FILTER FABRIC 6" VERTICALLY BELOW FINISHED GRADE.
 - 2" x 2" FIR, PINE OR STEEL FENCE POSTS.
 - POSTS TO BE INSTALLED ON UPHILL SIDE OF SLOPE.
 - COMPACT BOTH SIDES OF FILTER FABRIC TRENCH.
 - PANELS MUST BE PLACED ACCORDING TO SPACING ON DETAIL NO. 940.

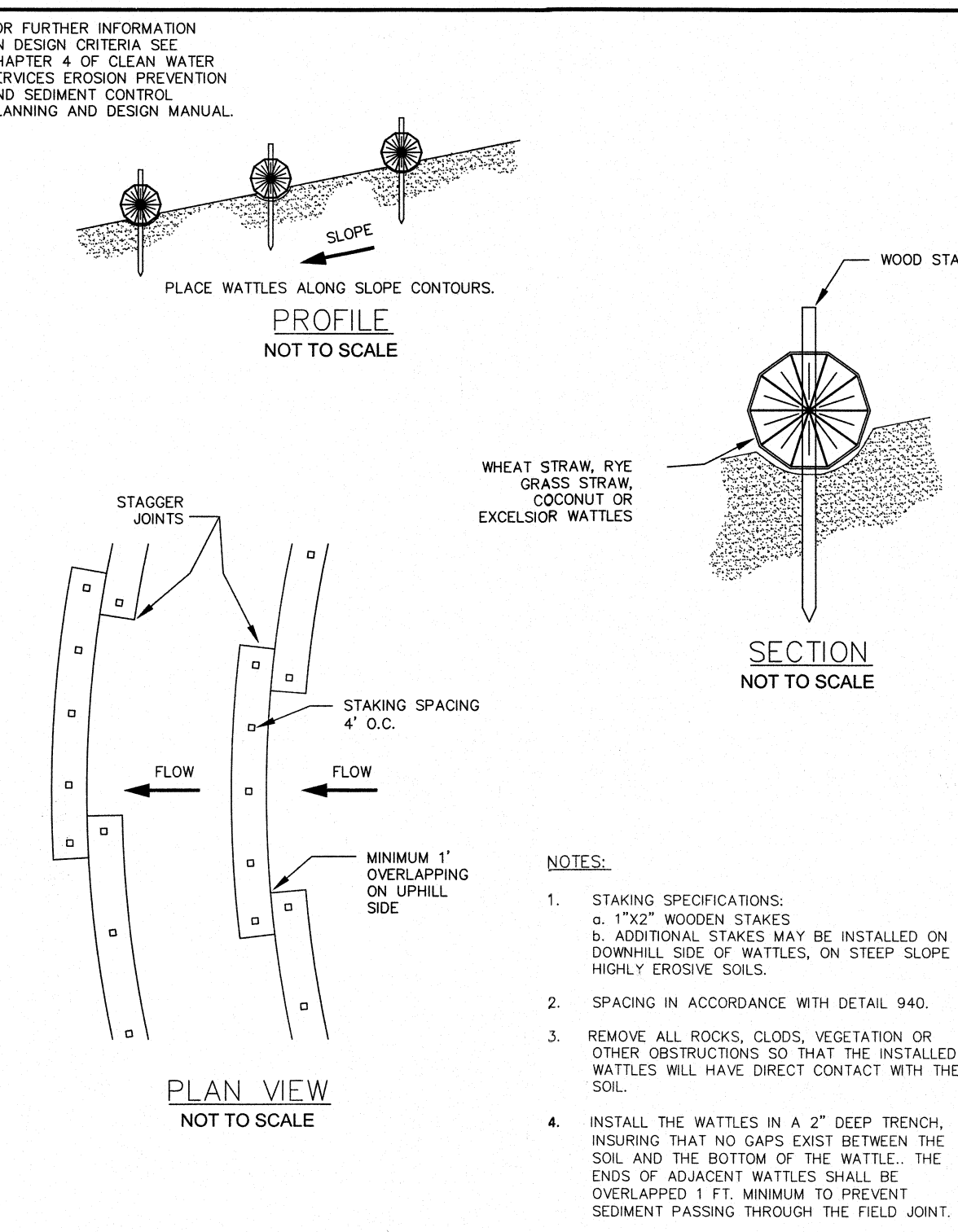
SEDIMENT FENCE

DRAWING NO. 875

REVISED 12-16



FOR FURTHER INFORMATION ON DESIGN CRITERIA SEE CHAPTER 4 OF CLEAN WATER SERVICES EROSION PREVENTION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL.



- NOTES:
- STAKING SPECIFICATIONS:
 - 1"x2" WOODEN STAKES
 - ADDITIONAL STAKES MAY BE INSTALLED ON DOWNHILL SIDE OF WATTLES, ON STEEP SLOPE OR HIGHLY ERODIBLE SOILS.
 - SPACING IN ACCORDANCE WITH DETAIL 940.
 - REMOVE ALL ROCKS, CLODS, VEGETATION OR OTHER OBSTRUCTIONS SO THAT THE INSTALLED WATTLES WILL HAVE DIRECT CONTACT WITH THE SOIL.
 - INSTALL THE WATTLES IN A 2" DEEP TRENCH, INSURING THAT NO GAPS EXIST BETWEEN THE SOIL AND THE BOTTOM OF THE WATTLE. THE ENDS OF ADJACENT WATTLES SHALL BE OVERLAPPED 1 FT. MINIMUM TO PREVENT SEDIMENT PASSING THROUGH THE FIELD JOINT.

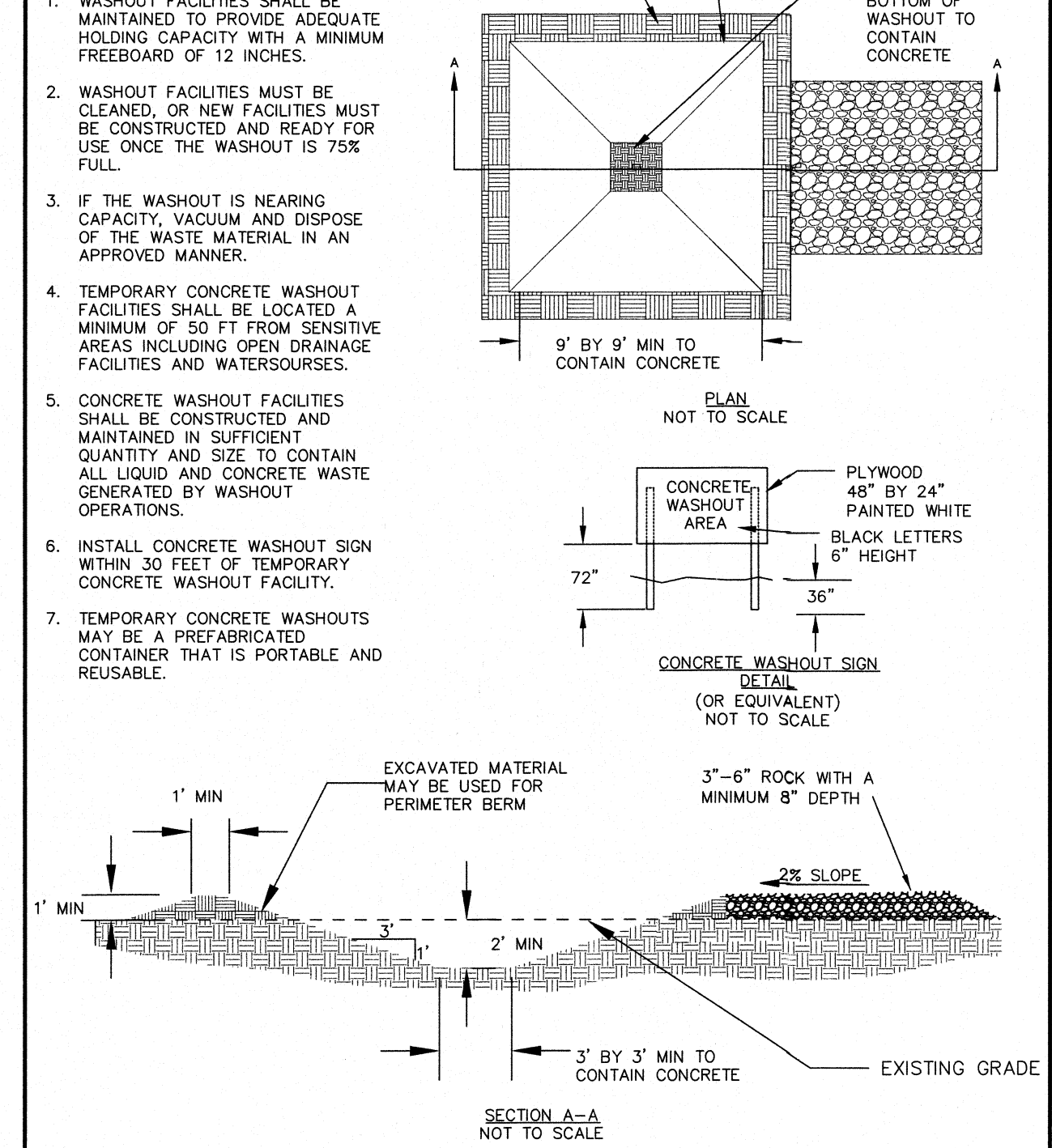
WATTLES

DRAWING NO. 880

REVISED 12-16



NOTES:



- NOTES:
- WASHOUT FACILITIES SHALL BE MAINTAINED TO PROVIDE ADEQUATE HOLDING CAPACITY WITH A MINIMUM FREEBOARD OF 12 INCHES.
 - WASHOUT FACILITIES MUST BE CLEANED, OR NEW FACILITIES MUST BE CONSTRUCTED AND READY FOR USE ONCE THE WASHOUT IS 75% FULL.
 - IF THE WASHOUT IS NEARING CAPACITY, VACUUM AND DISPOSE OF THE WASTE MATERIAL IN AN APPROVED MANNER.
 - TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE LOCATED A MINIMUM OF 50 FT FROM SENSITIVE AREAS INCLUDING OPEN DRAINAGE FACILITIES AND WATERSOURCES.
 - CONCRETE WASHOUT FACILITIES SHALL BE CONSTRUCTED AND MAINTAINED IN SUFFICIENT QUANTITY AND SIZE TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS.
 - INSTALL CONCRETE WASHOUT SIGN WITHIN 30 FEET OF TEMPORARY CONCRETE WASHOUT FACILITY.
 - TEMPORARY CONCRETE WASHOUTS MAY BE A PREFABRICATED CONTAINER THAT IS PORTABLE AND REUSABLE.

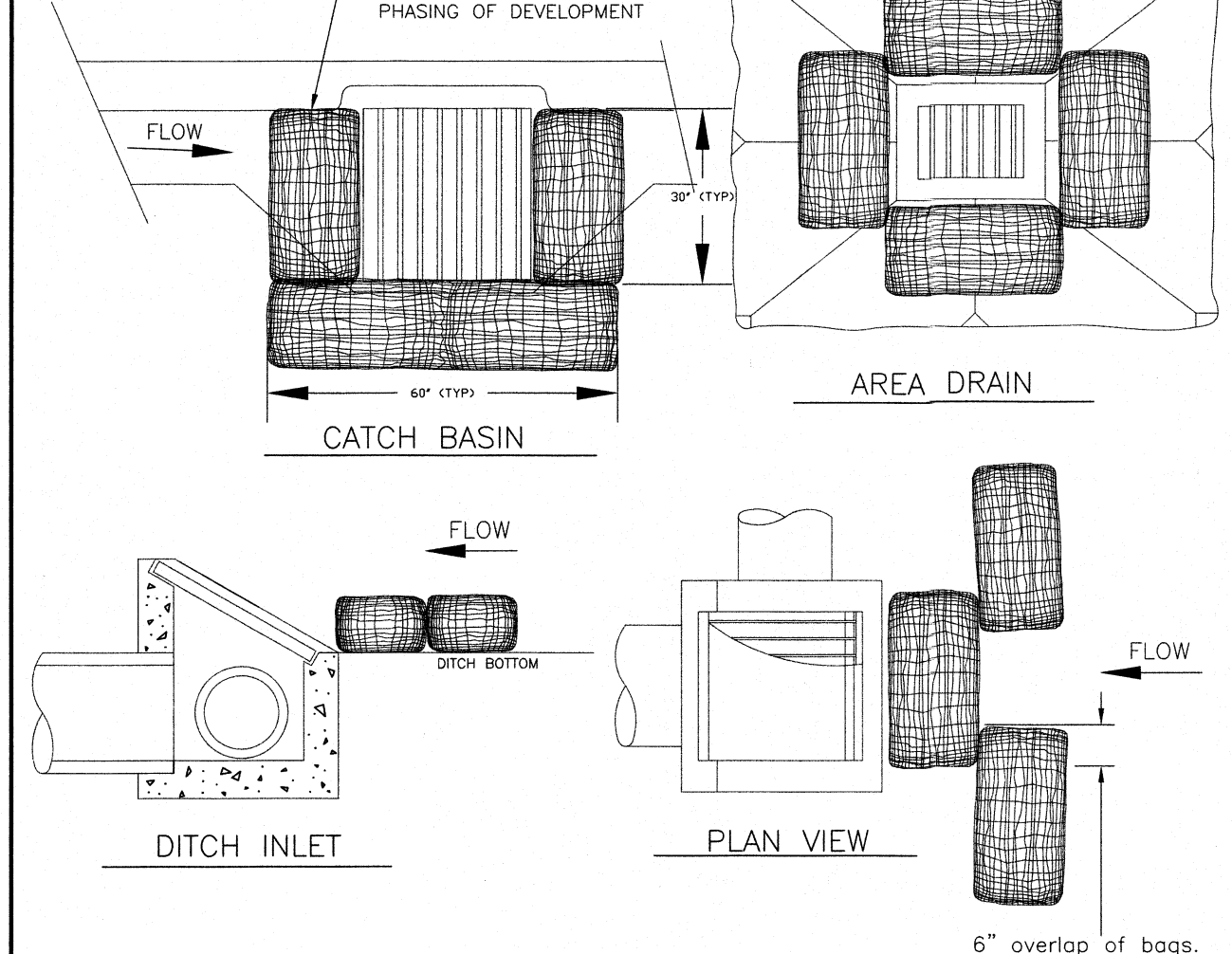
CONCRETE WASHOUT

DRAWING NO. 900

REVISED 12-16



FOR FURTHER INFORMATION ON DESIGN CRITERIA SEE CHAPTER 4 OF CLEAN WATER SERVICES EROSION PREVENTION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL.



- NOTES:
- ADDITIONAL MEASURES MUST BE CONSIDERED DEPENDING ON SOIL TYPES.
 - BIO-FILTER BAGS SHOULD BE STAKED WHERE APPLICABLE USING (2) 1"x2" WOODEN STAKES OR APPROVED EQUAL PER BAG.
 - WHEN USING 30" BIO-BAGS TO PROTECT A CATCH BASIN YOU MUST HAVE 4 BAGS AND THEY SHALL BE OVERLAPPED BY 6".

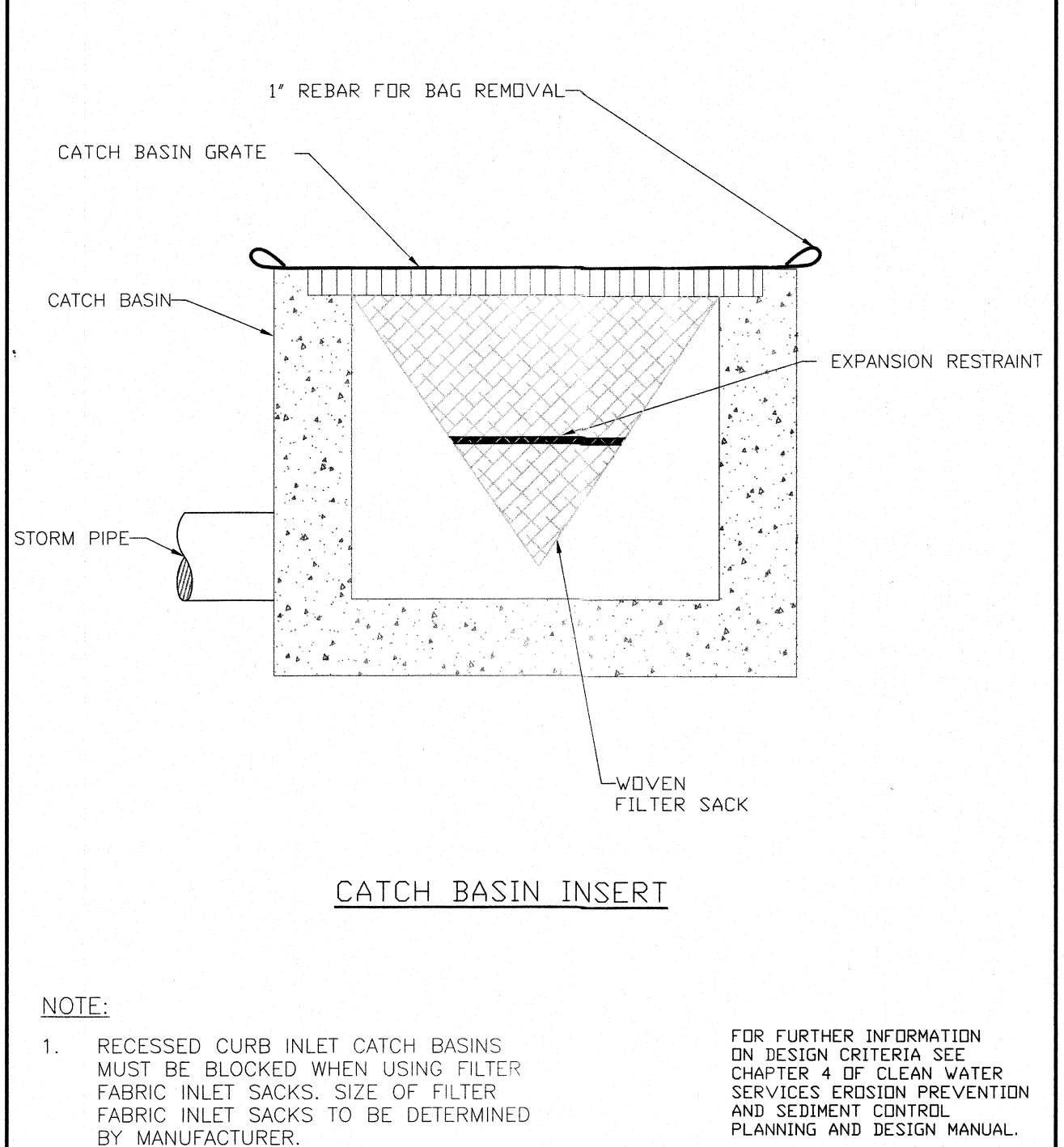
INLET PROTECTION TYPE 4

DRAWING NO. 915

REVISED 12-16



FOR FURTHER INFORMATION ON DESIGN CRITERIA SEE CHAPTER 4 OF CLEAN WATER SERVICES EROSION PREVENTION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL.



- NOTE:
- RECESSED CURB INLET CATCH BASINS MUST BE BLOCKED WHEN USING FILTER FABRIC INLET SACKS. SIZE OF FILTER FABRIC INLET SACKS TO BE DETERMINED BY MANUFACTURER.

INLET PROTECTION TYPE 5

DRAWING NO. 920

REVISED 12-16

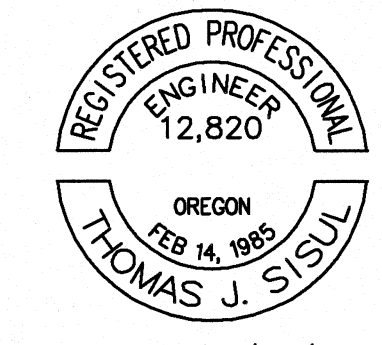


REVISIONS	BY

NW PROPERTY MANAGEMENT
 NW PRECISION DESIGN

Erosion Control Details

SISUL ENGINEERING
 375 PORTLAND AVENUE
 GLADSTONE, OREGON 97027
 (503) 657-0188
 DRAWING: 721-058 BASE.dwg



EXPIRES: 6/30/

DATE	JAN. 2022
SCALE	AS NOTED
DRAWN	JDM
JOB	SGL21-058
SHEET	C6
OF OF SHEETS	

REVISIONS	BY

NW PROPERTY MANAGEMENT
NW PRECISION DESIGN

Construction Details

SISUL ENGINEERING
3775 PORTLAND AVENUE
CLATSOP COUNTY, OREGON 97027
(503) 857-0188
DRAWING: 221-058 BASE.dwg

DATE JAN. 2022
SCALE AS NOTED
DRAWN JDM
JOB SGL21-058
SHEET **C7**
OF OF SHEETS

COMMERCIAL DRIVEWAY DETAIL
RD-42
N.T.S.
MAR '16

NOTES:
1. CONCRETE SHALL HAVE 6" MINIMUM DEPTH AND A COMPRESSIVE STRENGTH OF 4000 PSI @ 28 DAYS.
2. CURB JOINT SHALL BE A TROWELED JOINT WITH A MINIMUM 3/8" RADIUS ALONG BACK OF CURB.
3. EXPANSION JOINTS SHALL BE 3/4" PRE-MOLDED ASPHALT IMPREGNATED MATERIAL, CEDAR OR EQUIVALENT EXTENDING FROM TOP OF BASE TO FINISHED GRADE.
4. CONCRETE SHALL HAVE A BROOM FINISH AND EDGE ALL JOINTS.
5. WEEPHOLES ARE NOT TO BE PLACED IN WINGS.
6. IF CURBING IS BEING REMOVED TO INSTALL DRIVEWAY AND GUTTER SHOULD BECOME SEPARATED FROM THE DRIVING SURFACE IN EXCESS OF 1/4", THEN THE GUTTER SHALL ALSO BE REMOVED AND REPLACED.
7. WINGS OF THE COMMERCIAL DRIVEWAY WHICH ARE A PORTION OF THE SIDEWALK SHALL NOT EXCEED A SLOPE OF 8.33% (1:12).
8. ODOT STANDARD DRAWINGS FOR COMMERCIAL DRIVEWAYS MAY BE USED WHEN PRE-APPROVED BY CITY ENGINEER.
9. SLOPE OF THE DRIVEWAY MAY BE AWAY FROM THE CURB WHEN PRE-APPROVED BY THE CITY ENGINEER.

SIDEWALK DETAIL
RD-26
N.T.S.
MAR '16

NOTES:
1. CONCRETE SHALL BE COMMERCIAL MIX, MIN. COMPRESSIVE STRENGTH OF 3,300 PSI @ 28 DAYS, WITH A 4" MAX SLUMP.
2. SIDEWALK PANELS TO BE SQUARE (6' LONG X 6' WIDE TYP.).
3. EXPANSION JOINTS TO BE PLACED AT SIDES OF DRIVEWAY APPROACHES, UTILITY VAULTS, CURB RAMP, AND/OR POINTS OF TANGENCY IN CURB AS SHOWN ON THE STANDARD DRAWINGS FOR SIDEWALK RAMP, AND AT SPACING NOT TO EXCEED 45'.
4. FOR SIDEWALKS ADJACENT TO THE CURB AND POURED AT THE SAME TIME AS THE CURB, THE JOINT BETWEEN THEM SHALL BE A TROWELED JOINT WITH A MINIMUM 3/8" RADIUS.
5. SIDEWALKS SHALL HAVE A MINIMUM THICKNESS OF 4". IF MOUNTABLE CURB IS USED, OR IF SIDEWALK IS INTENDED AS PORTION OF A RESIDENTIAL DRIVEWAY IT SHALL HAVE A 6" MINIMUM THICKNESS, COMMERCIAL 8".
6. CONCRETE SHALL HAVE A BROOM FINISH, ALL JOINTS SHALL BE EDGED WITH 3" SHINE.
7. WIDTH OF PLANTER STRIP AND SIDEWALK IS MEASURED FROM FACE OF CURB.
8. IF DRAIN BLOCKOUTS IN CURBS ARE APPROVED, THEY SHALL BE EXTENDED PERPENDICULAR TO CURB TO 1" PAST BACK OF SIDEWALK WITH A 3" DIAMETER ADS PIPE. CONTRACTION JOINT SHALL BE PLACED OVER PIPE.

MONOLITHIC CURB AND GUTTER
RD-22
N.T.S.
MAR '16

NOTES:
1. MONOLITHIC CURB AND GUTTER SHALL BE USED ON ALL NEW ROADWAY SECTIONS, EXCEPT AT ROADWAY MEDIANS AND AT MOUNTABLE CURB SECTIONS (SEE STD DET RD-21 & RD-24 FOR THESE CONDITIONS).
2. CONCRETE SHALL BE COMMERCIAL MIX, WITH A 28-DAY COMPRESSIVE STRENGTH OF 3,300 PSI, WITH A 4" MAX SLUMP.
3. EXPANSION JOINTS TO BE PROVIDED AT EACH:
A. POINT OF TANGENCY.
B. GOLD JOINT.
C. SIDE OF INLET STRUCTURES.
D. SIDE OF DRIVEWAYS.
4. EXPANSION JOINT MATERIAL SHALL BE PRE-MOLDED, ASPHALT IMPREGNATED, NON-EXTRUDING, WITH A THICKNESS OF 3/4".
5. CONTRACTION JOINTS SHALL HAVE:
A. SPACING OF NOT MORE THAN 15 FEET.
B. DEPTH OF JOINT OF AT LEAST 1 1/2".
6. BASE ROCK SHALL BE 3/4"-0" COMPACTED TO 95% OF MAXIMUM DENSITY PER AASHTO T-180. BASE ROCK SHALL BE TO SUBGRADE OF STREET STRUCTURES OR 6", WHICHEVER IS GREATER, AND SHALL EXTEND 12" BEHIND CURB.
7. FOR CURB AND GUTTER REQUIREMENTS ON SHED AND SUPERELEVATED ROAD SECTIONS, SEE STD DET RD-23.
8. COMMERCIAL DRIVEWAY DROPS SHALL BE 8" THICK, RE-BAR REINFORCED, AND 4,000 PSI AT 28 DAYS.

PAVEMENT SECTION
RD-20
N.T.S.
MAR '16

NOTES:
1. MATERIALS AND PLACEMENT OF THE HOT MIXED ASPHALT CONCRETE PAVEMENT (ACP) SHALL CONFORM TO THE REQUIREMENTS DELINEATED IN SECTION 00744 - ASPHALT CONCRETE PAVEMENT (ACP), OF THE ODOT/APWA, OREGON STANDARD SPECIFICATIONS FOR CONSTRUCTION (LATEST EDITION), EXCEPT AS MODIFIED BY CITY AND NOTED IN THE CITY'S ENGINEERING DESIGN AND STANDARD DETAILS MANUAL (LATEST EDITION).
2. THE TOP LIFT OF HMAC SHALL BE PLACED PRIOR TO CITY FINAL ACCEPTANCE OF PUBLIC INFRASTRUCTURE IMPROVEMENTS.
3. CRUSHED AGGREGATE USED FOR BASE ROCK AND LEVELING COURSE SHALL CONFORM TO THE REQUIREMENTS DELINEATED IN SECTION 02630 - BASE AGGREGATE, OF THE ODOT/APWA, OREGON STANDARD SPECIFICATIONS FOR CONSTRUCTION (LATEST EDITION).

FUNCTIONAL CLASSIFICATION	SECOND LIFT HMAC THICKNESS	FIRST LIFT HMAC THICKNESS	LEVELING COURSE THICKNESS	BASE ROCK COURSE THICKNESS
LOCAL	2"	2"	2"	8"
NEIGHBORHOOD	2"	2"	2"	9"
COMMERCIAL	2"	3"	3"	9"
COLLECTOR	2"	3"	3"	9"
ARTERIAL	2"	3"	4"	10"

STANDARD MANHOLE
SS-1
N.T.S.
MAR '16

NOTES:
1. ALL PRE-CAST MANHOLE SECTIONS SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-478.
2. ALL POURED IN PLACE CONCRETE SHALL HAVE A 28 DAY STRENGTH OF 3000 PSI AND SLUMP OF LESS THAN 4".
3. ALL JOINTS SHALL BE SEALED WITH PRE-FORMED GASKETS SUCH AS KENT-SEAL NO. 2, RAM-NECK, OR AN APPROVED EQUAL CONFORMING TO FEDERAL SPECIFICATION SS-200210.
4. ALL PIPE CONNECTIONS TO MANHOLE SHALL BE WATER-TIGHT.
5. PIPE CONNECTIONS OF 24" OR GREATER SHALL REQUIRE A MANHOLE AND CHANNEL DETAIL.
6. PIPE CONNECTIONS OF FOUR OR MORE MANHOLES SHALL REQUIRE A MANHOLE CONNECTION AND CHANNEL DETAIL.
7. PROVIDE A MINIMUM OF 8" OF INTACT (UNDISTURBED) MANHOLE WALL BETWEEN PIPE BREAKOUTS AS MEASURED ON THE INSIDE FACE OF THE MANHOLE.
8. BREAKOUT OF WALL FOR PIPE SHALL BE 2" MINIMUM AND 4" MAXIMUM CLEAR OF PIPE WALL.
9. THIS DETAIL LIMITED TO MAXIMUM INTERIOR DROP OF 24" FOR SANITARY CONNECTION AND 48" FOR STORM CONNECTION.
10. TAMPER PROOF MANHOLE FRAME AND COVER SHALL BE USED IN ALL EASEMENT AND OFF STREET AREAS. TAMPER PROOF/WATERPROOF COMBINATION MANHOLE FRAME AND COVER SHALL BE USED IN FLOOD ZONE AND/OR AREAS PRONE TO FLOODING.

MAILBOX - SINGLE UNIT
RD-61
N.T.S.
MAR '16

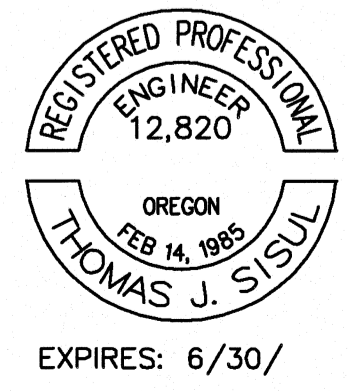
NOTE:
1. MAILBOX PLACEMENT SPECIFICATIONS:
- FRONT FACE OF MAILBOX TO BE SET BACK 6" FROM FACE OF CURB (FLUSH WITH BACK OF CURB).
- BASE OF MAILBOX TO BE 48" ABOVE HMAC PAVEMENT GRADE AT GUTTER (42" ABOVE TOP OF CURB).
- MAINTAIN 4" MIN CLEARANCE BETWEEN BACK OF SINGLE MAILBOX AND BACK OF WALK.
- PLACEMENT AND INSTALLATION SHALL MEET ALL CURRENT USPS, MUTCD AND ADA GUIDELINES.
2. WIDENED SIDEWALK OUTSIDE OF PUBLIC RIGHT OF WAY SHALL HAVE A SIDEWALK EASEMENT DEDICATED TO THE CITY OF SHERWOOD.

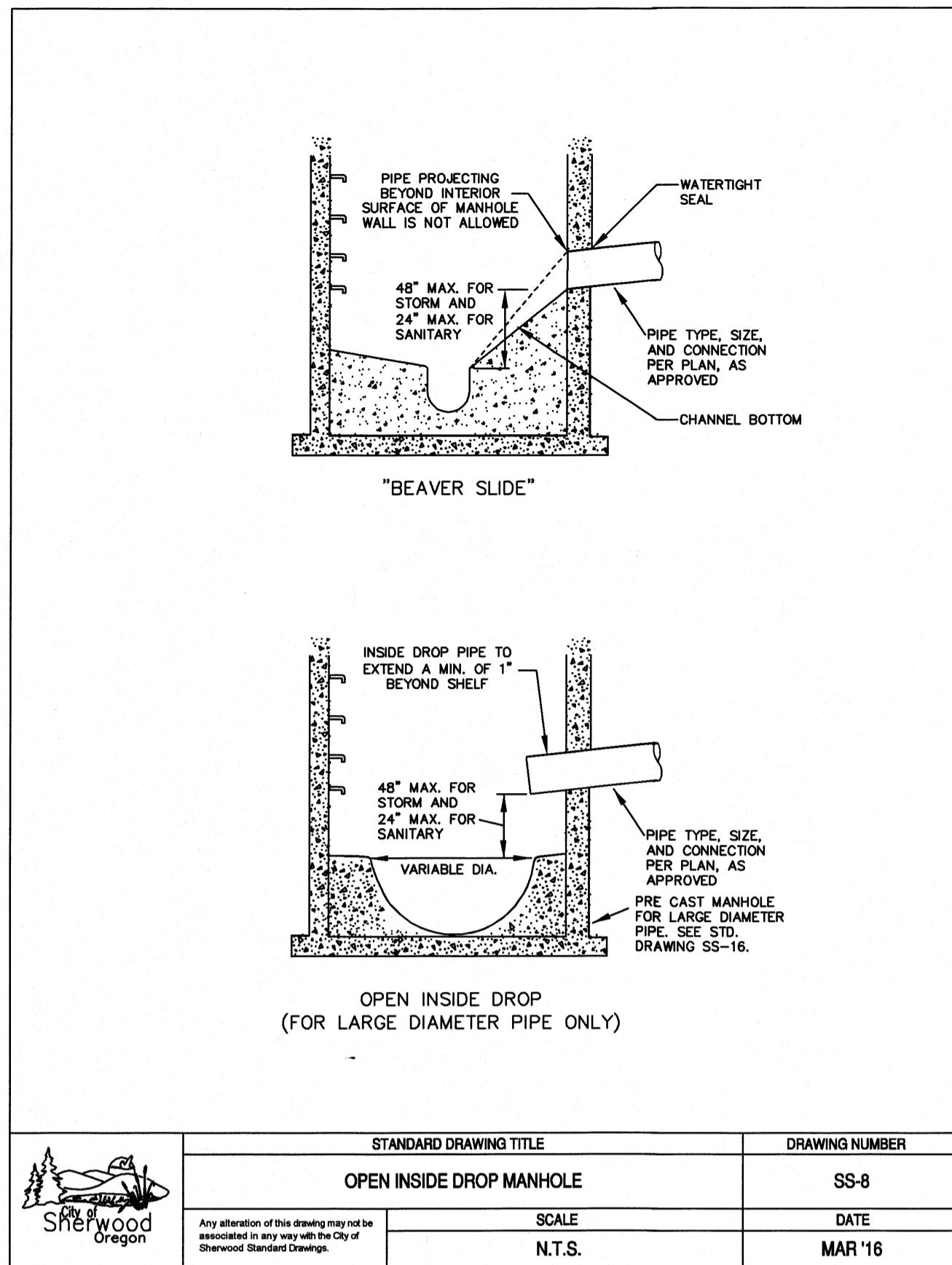
PIPE TRENCH BACKFILL
RD-47
N.T.S.
MAR '16

NOTES:
1. THESE TRENCH BACKFILL REQUIREMENTS APPLY TO ALL PUBLIC UTILITY PIPES. FOR ADDITIONAL REQUIREMENTS, SEE CITY STANDARD DESIGN MANUAL SECTION 21019.
2. SAWCUT EXISTING PCC PAVEMENT FULL DEPTH. SAWCUT EXISTING HMAC PAVEMENT ACCORDING TO CITY STANDARD DETAILS.
3. 12" FOR TRENCHES WIDER THAN 12", 6" FOR TRENCHES LESS THAN 12".
4. MATCH EXISTING PAVEMENT MATERIAL(S). THICKNESS SHALL BE AS FOLLOWS:
4.1. FOR EXISTING HMAC: RESURFACE TO A MINIMUM OF 3" OF LEVEL 2, 1/2" DENSE HMAC OR EXISTING AC THICKNESS PLUS 2", WHICHEVER IS GREATER, BUT DO NOT EXCEED 6". COMPACT AC IN 2" MAX LIFTS TO 95% OF MAXIMUM DENSITY (RICE).
4.2. FOR EXISTING PCC: EXISTING PAVEMENT THICKNESS PLUS 2", BUT NOT LESS THAN 8". ON ARTERIAL AND COLLECTOR STREETS, CONCRETE PATCHING MATERIAL SHALL BE HIGH EARLY STRENGTH CLASS 5000 PSI PCC APPROVED BY CITY ENGINEER.
5. ALL CUT EDGES OF AC SHALL BE SAND SEALED WITH CRS-1 OR CRS-2 EMULSIFIED ASPHALT OR EQUIVALENT.

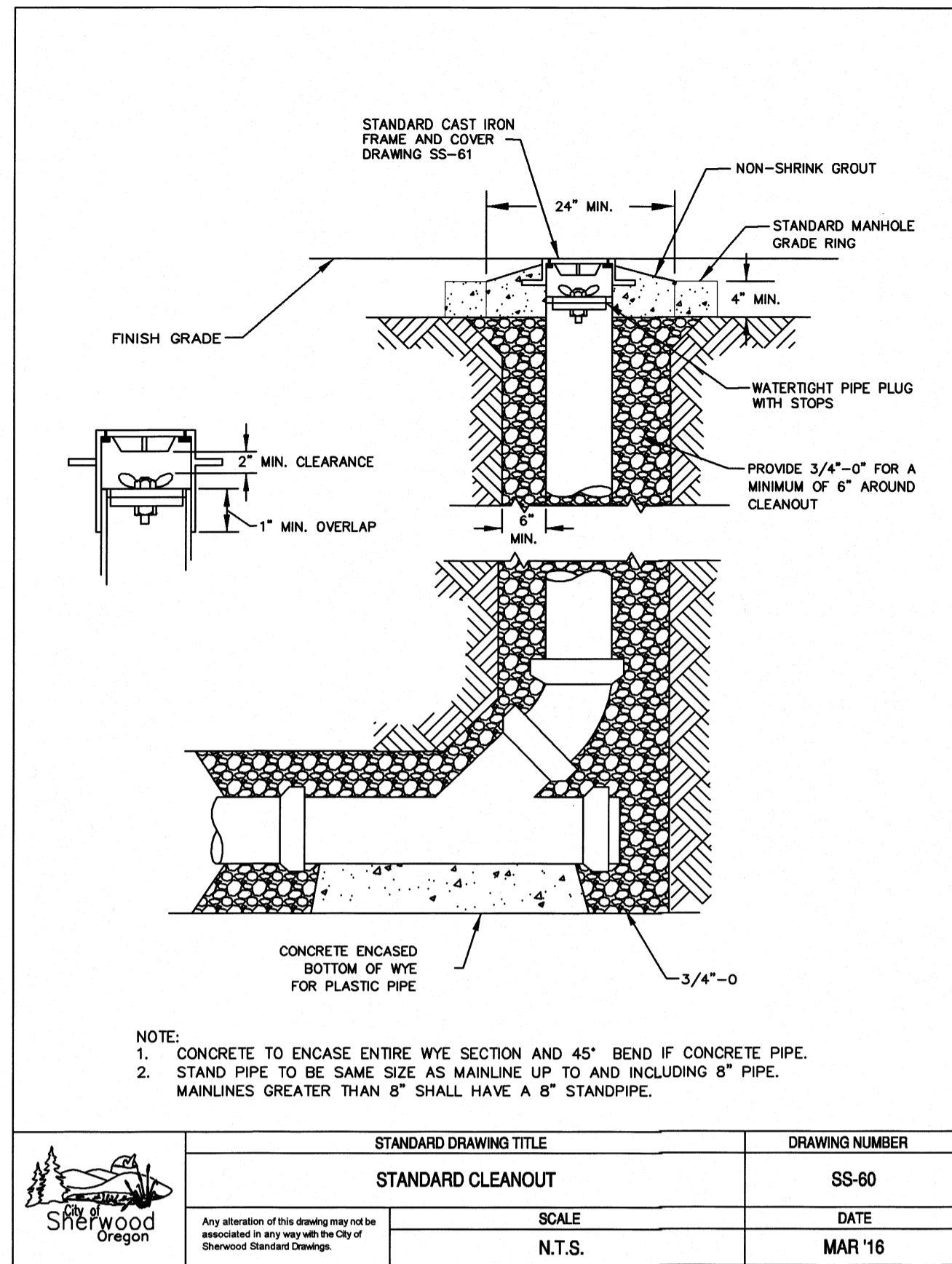
PIPE TRENCH RESTORATION
RD-45
N.T.S.
MAR '16

NOTES:
1. T-CUT IS 12" MINIMUM FOR TRENCHES WIDER THAN 12".
2. IF NEW EDGE OF PAVEMENT IS LESS THAN 3' FROM ANOTHER PATCH, CURB, EDGE OF STREET OR LONGITUDINAL CRACK, REPLACE THE PAVEMENT IN BETWEEN.
3. IF MORE THAN ONE EXISTING PATCH EDGE IS WITHIN THE 3' ZONE, REMOVE PAVEMENT TO THE FAR EDGE OF THE PRE-EXISTING PATCH.
4. NEW EDGE OF PAVEMENT (EDGE LINE) SHALL NOT LIE IN A WHEEL PATH. WIDTH OF T-CUT SHALL BE WIDENED WHERE NECESSARY TO MOVE THE EDGE LINE OUT OF THE WHEEL PATH.
5. SEE STD DET RD-20 FOR TYPICAL STREET PAVEMENT SECTION.
6. SEE STD DET RD-47 FOR TYPICAL TRENCH BACKFILL REQUIREMENTS.

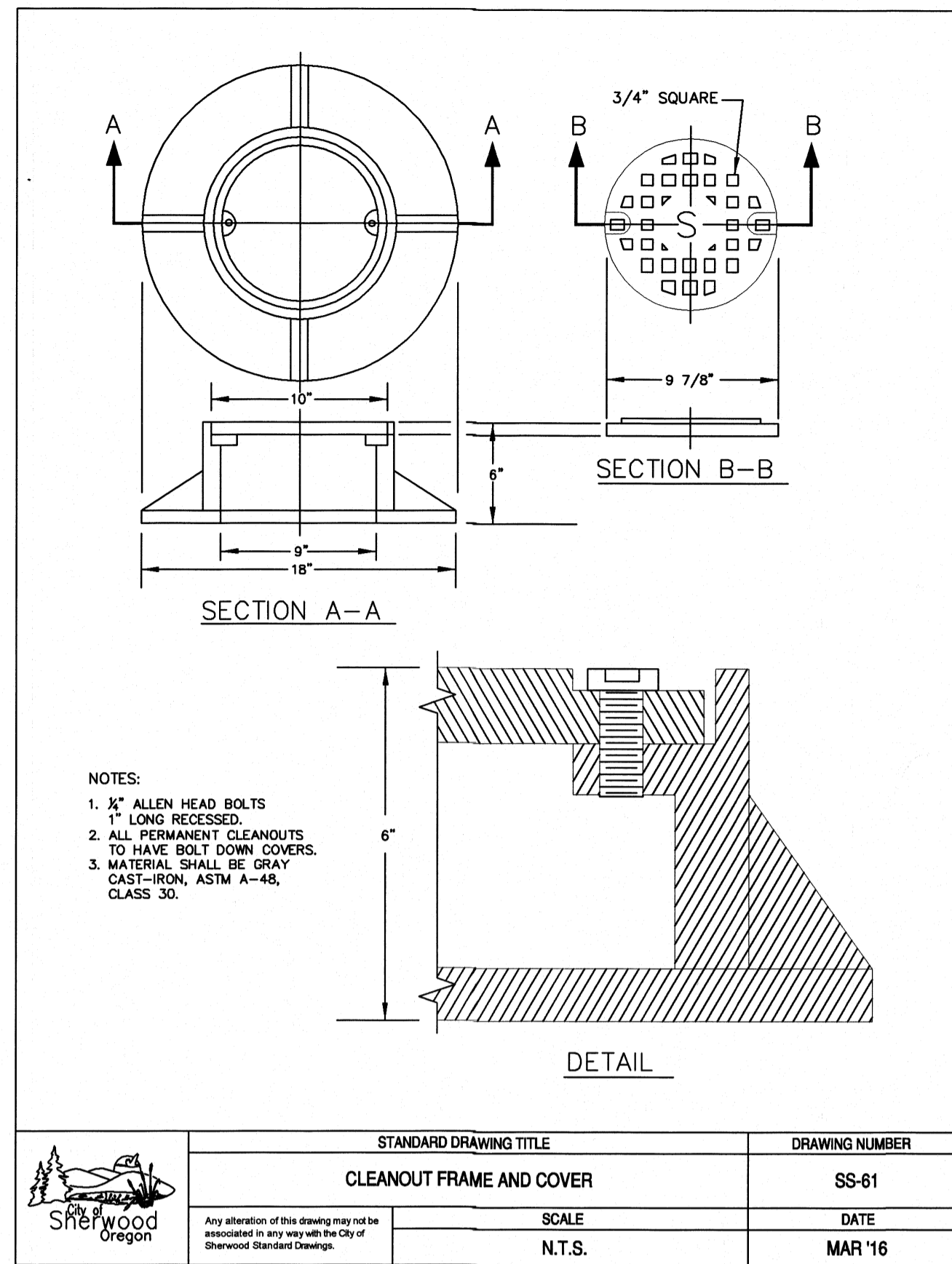




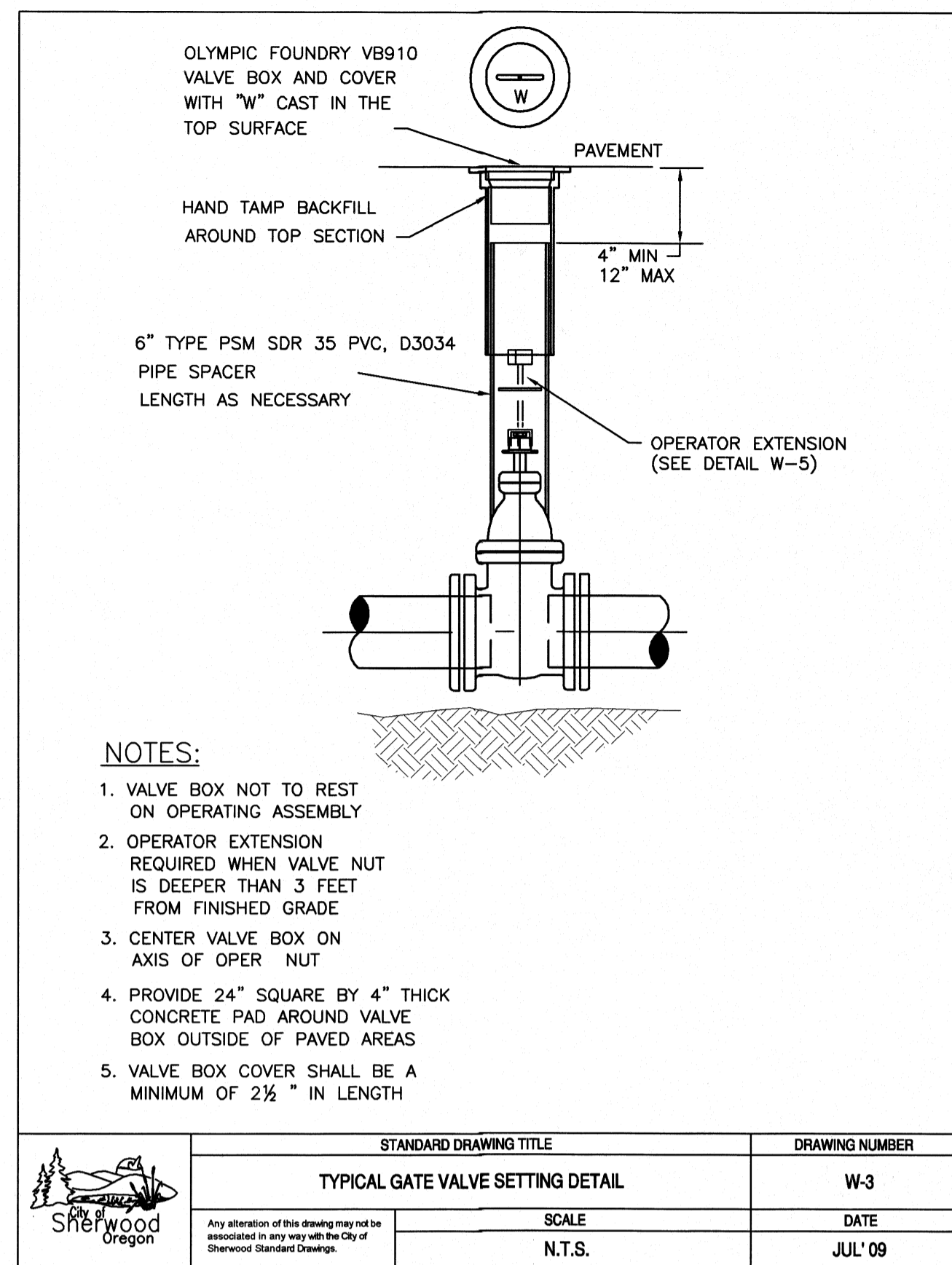
STANDARD DRAWING TITLE	DRAWING NUMBER
OPEN INSIDE DROP MANHOLE	SS-8
SCALE	DATE
N.T.S.	MAR '16



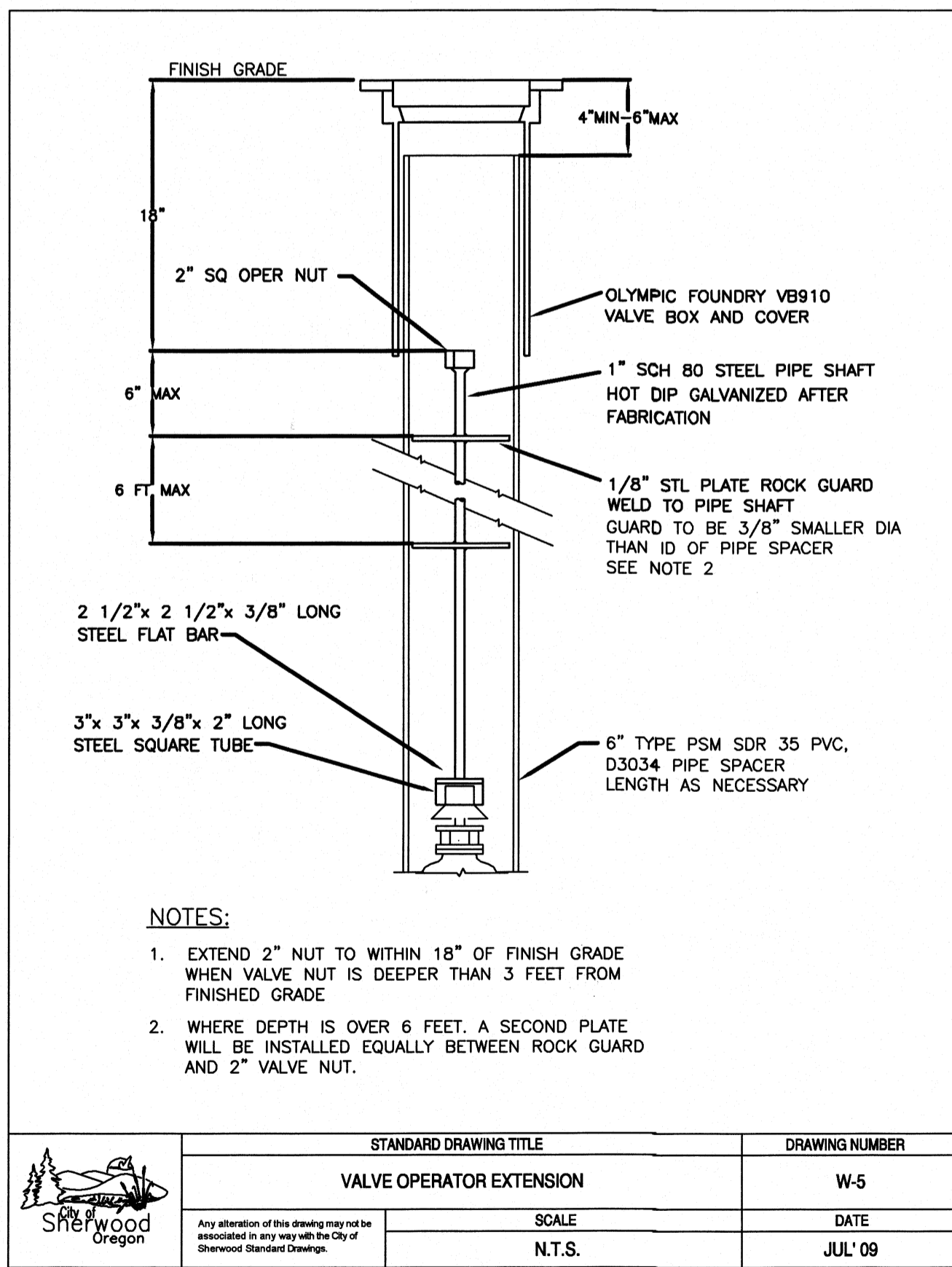
STANDARD DRAWING TITLE	DRAWING NUMBER
STANDARD CLEANOUT	SS-60
SCALE	DATE
N.T.S.	MAR '16



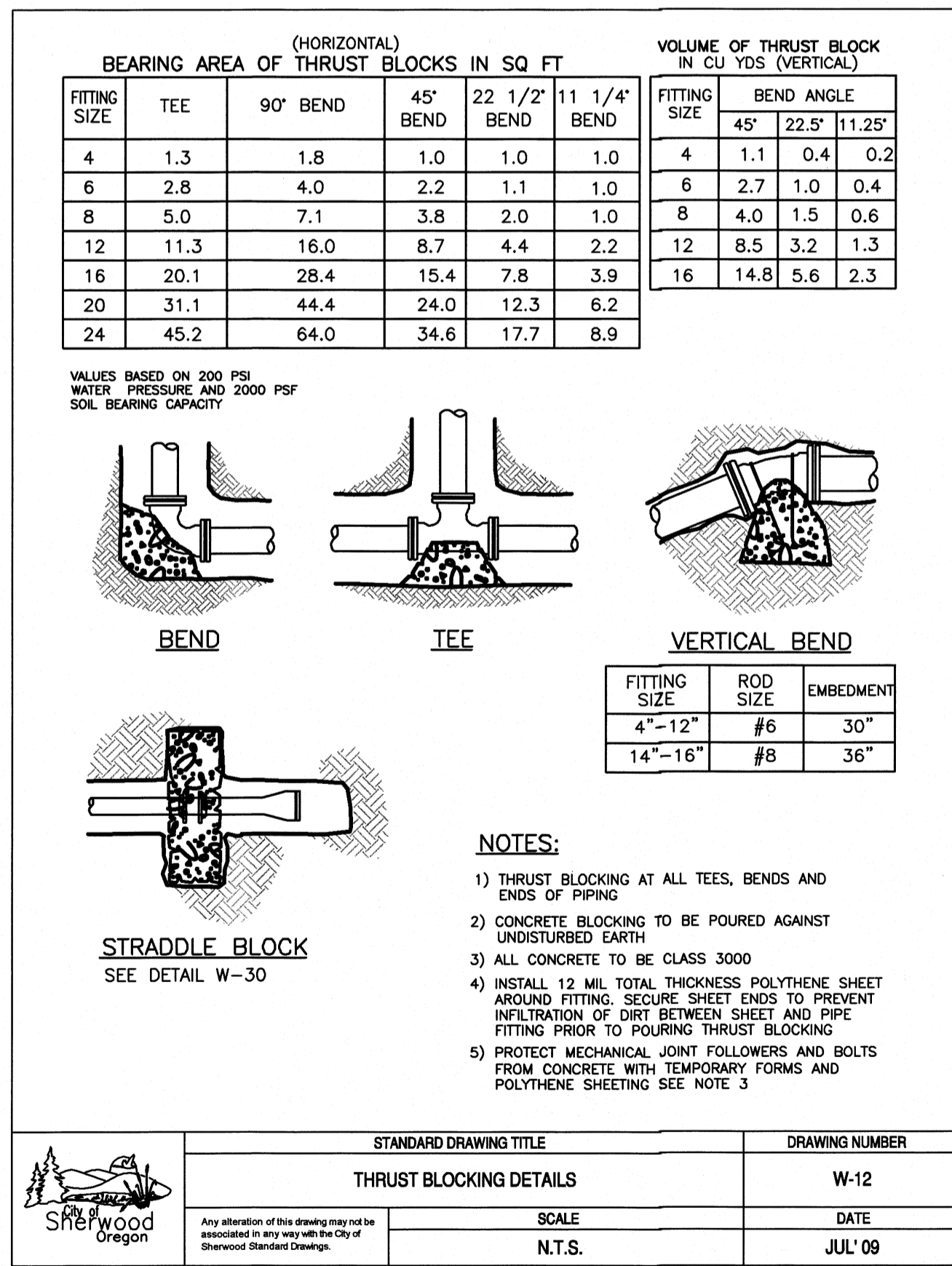
STANDARD DRAWING TITLE	DRAWING NUMBER
CLEANOUT FRAME AND COVER	SS-61
SCALE	DATE
N.T.S.	MAR '16



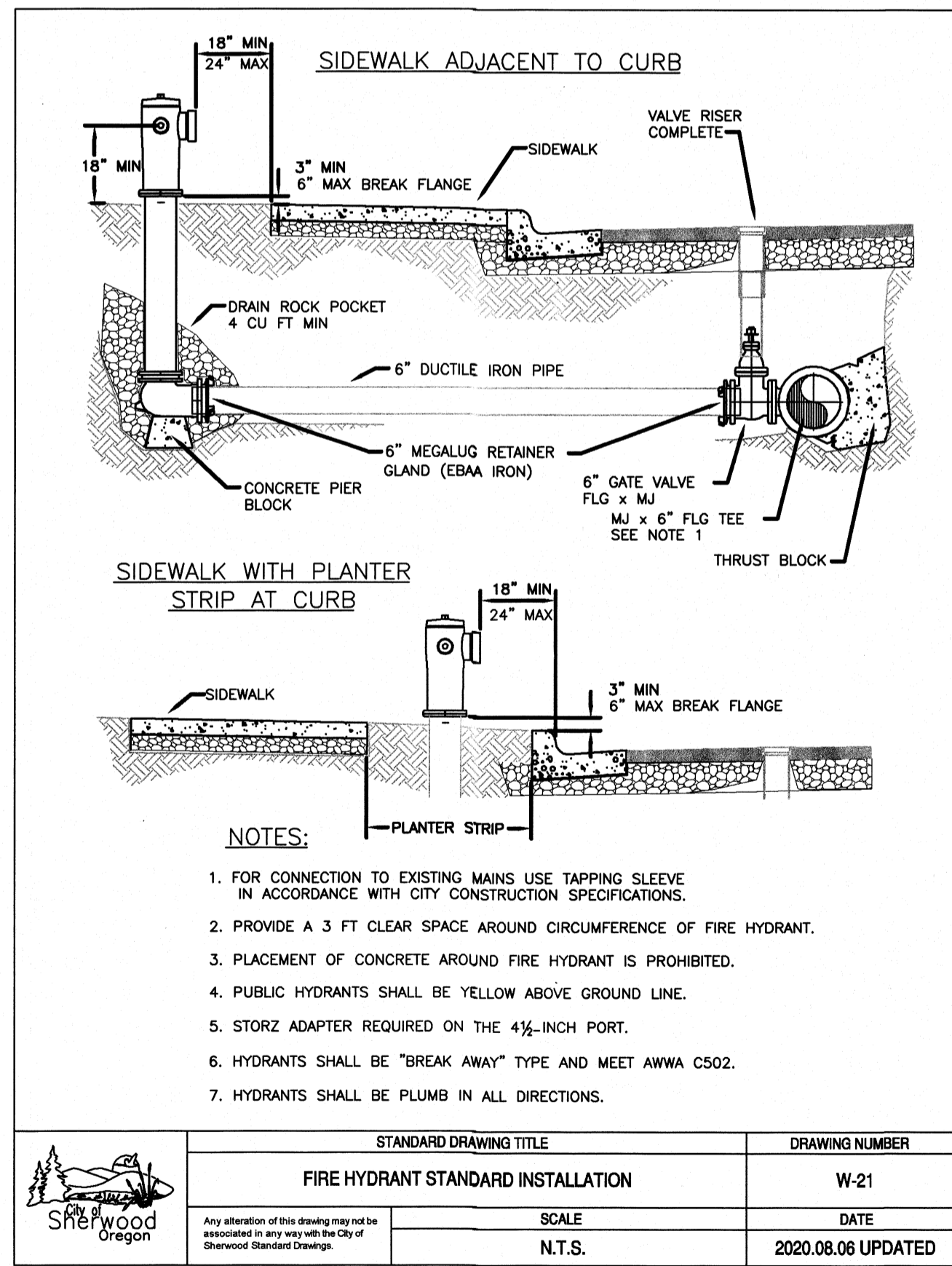
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TYPICAL GATE VALVE SETTING DETAIL	W-3
SCALE	DATE
N.T.S.	JUL '09



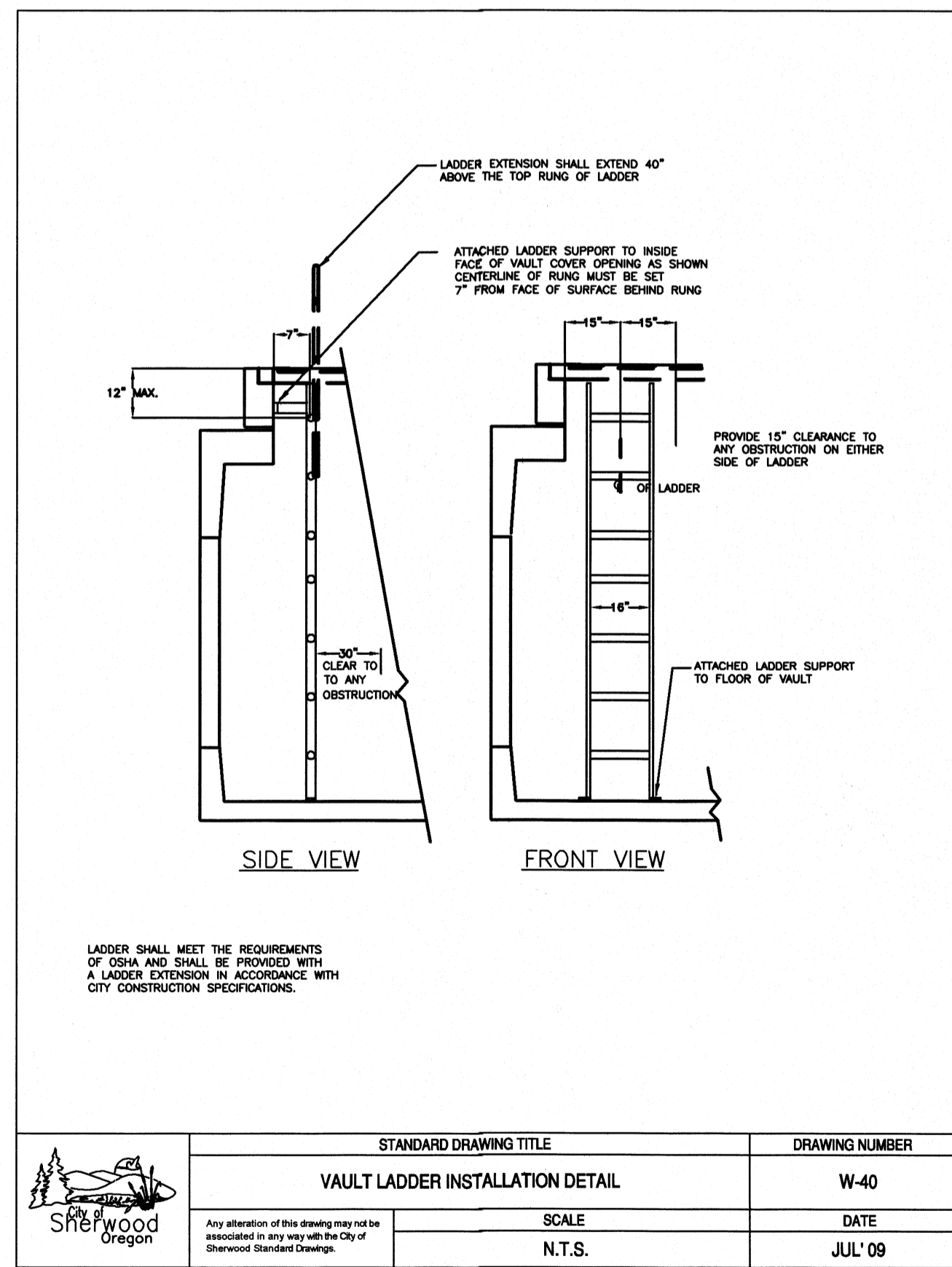
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VALVE OPERATOR EXTENSION	W-5
SCALE	DATE
N.T.S.	JUL '09



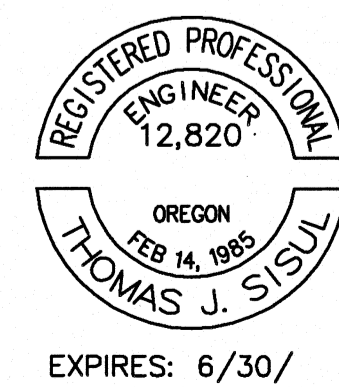
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THRUST BLOCKING DETAILS	W-12
SCALE	DATE
N.T.S.	JUL '09



STANDARD DRAWING TITLE	DRAWING NUMBER
FIRE HYDRANT STANDARD INSTALLATION	W-21
SCALE	DATE
N.T.S.	2020.08.06 UPDATED



STANDARD DRAWING TITLE	DRAWING NUMBER
VAULT LADDER INSTALLATION DETAIL	W-40
SCALE	DATE
N.T.S.	JUL '09



REVISIONS	BY

ISUL ENGINEERING
 375 PORTLAND AVENUE
 CLATSOP COUNTY, OREGON 97027
 (503) 857-0188
 DRAWING: 221-058 BASE.PWG

Construction Details
NW PROPERTY MANAGEMENT
 NW PRECISION DESIGN

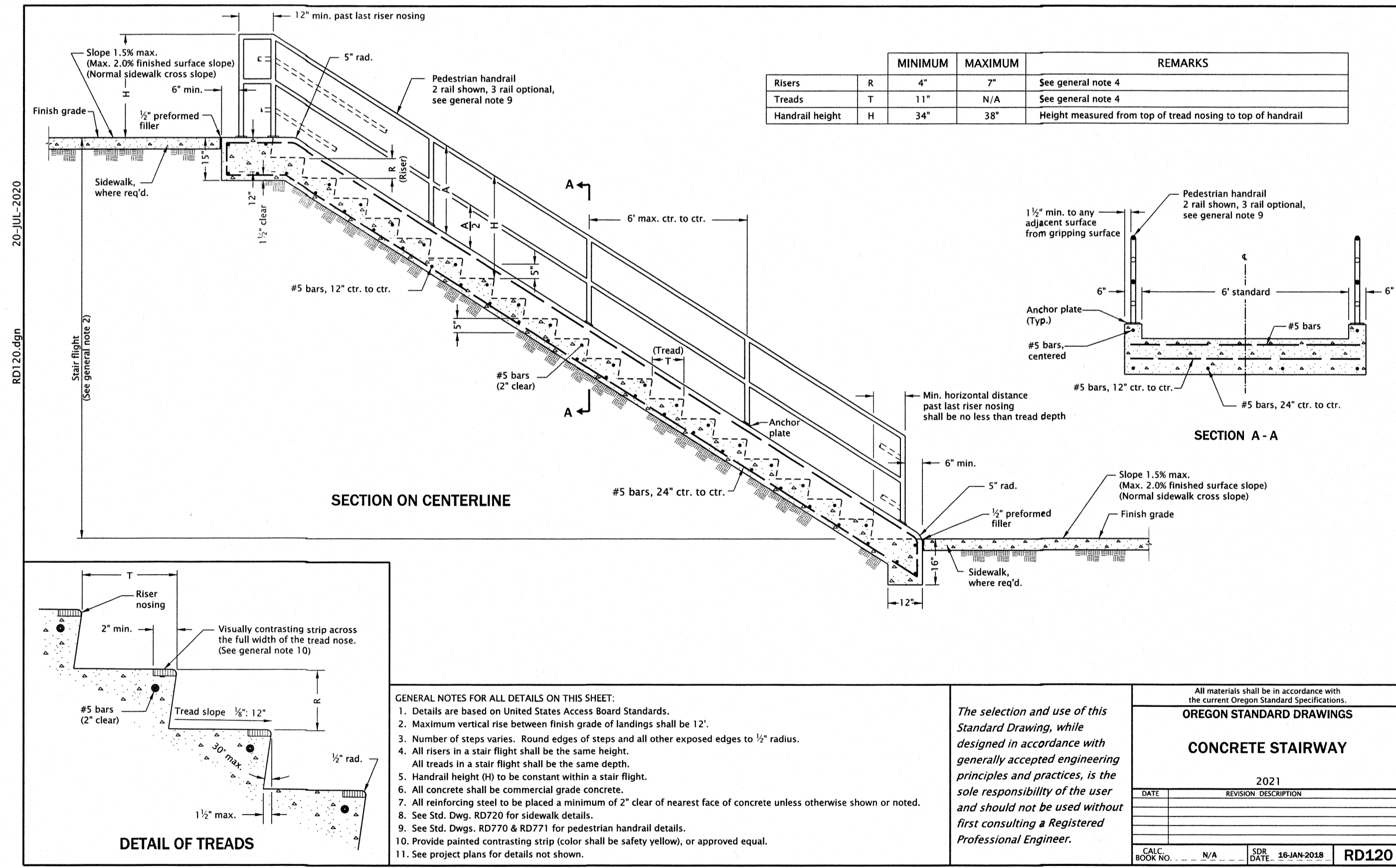
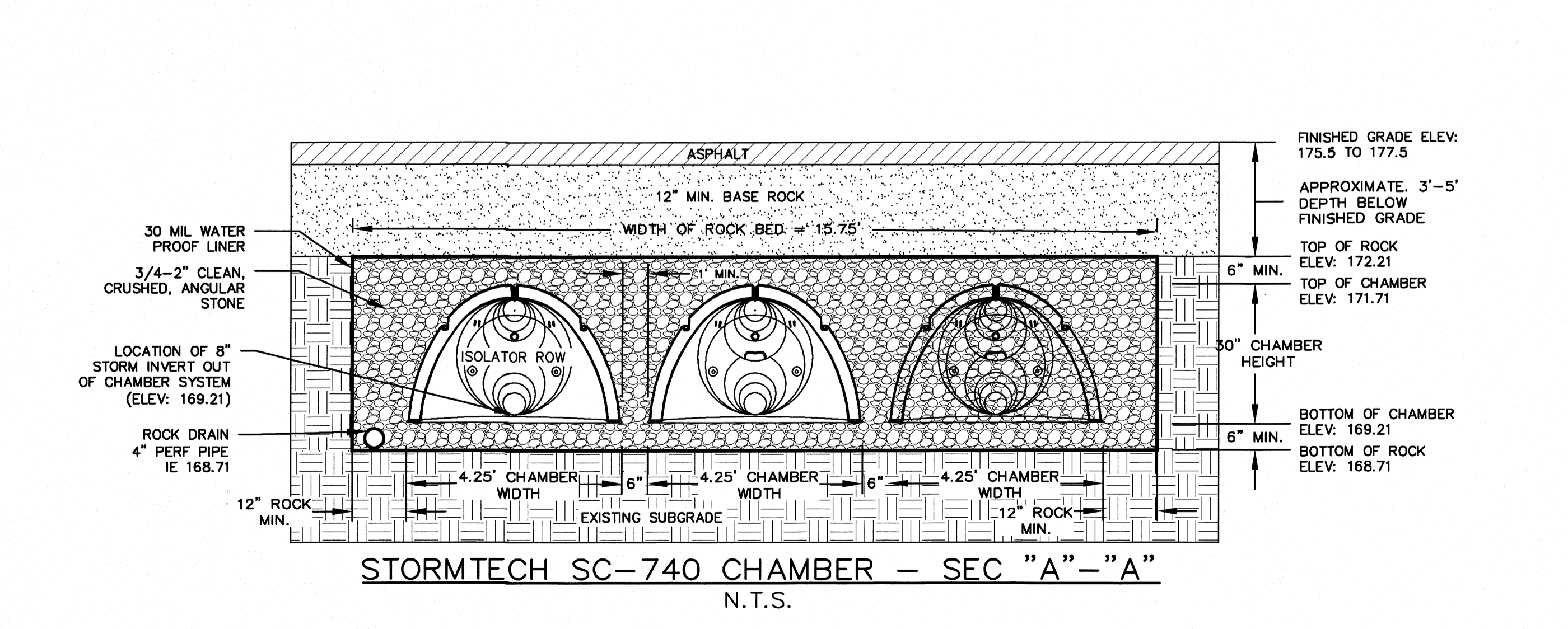
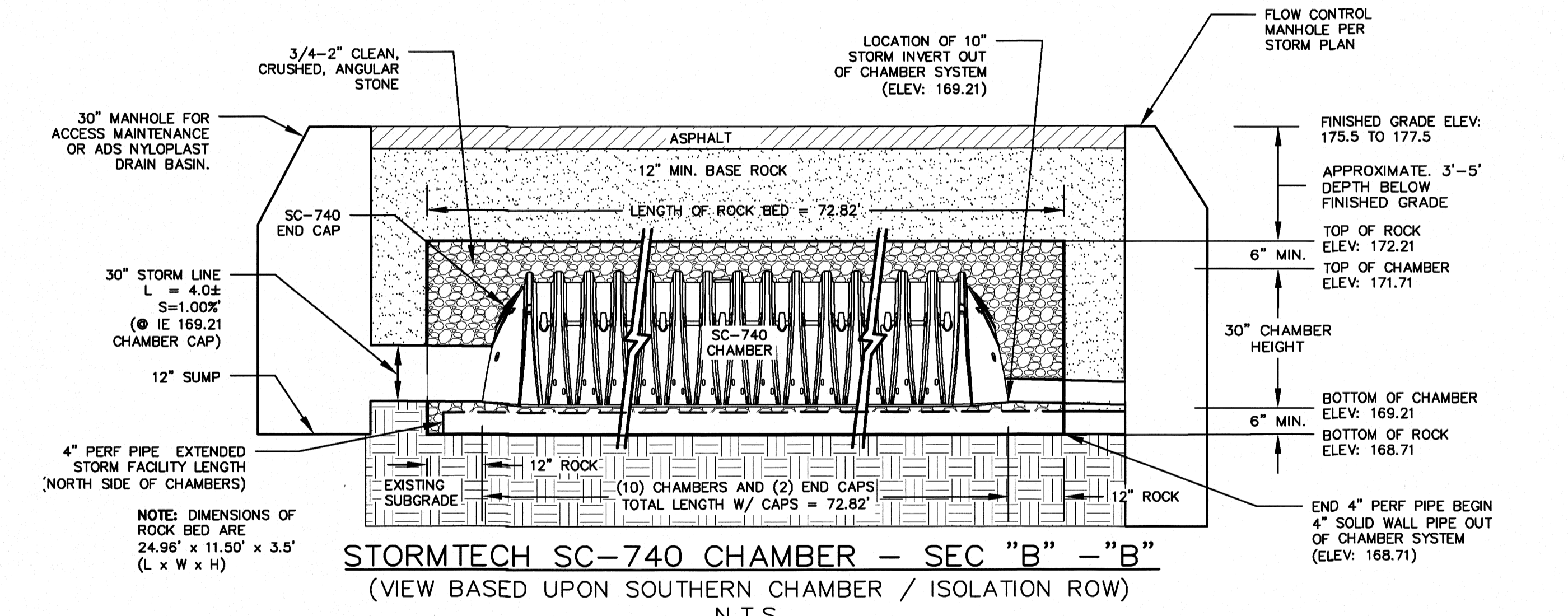
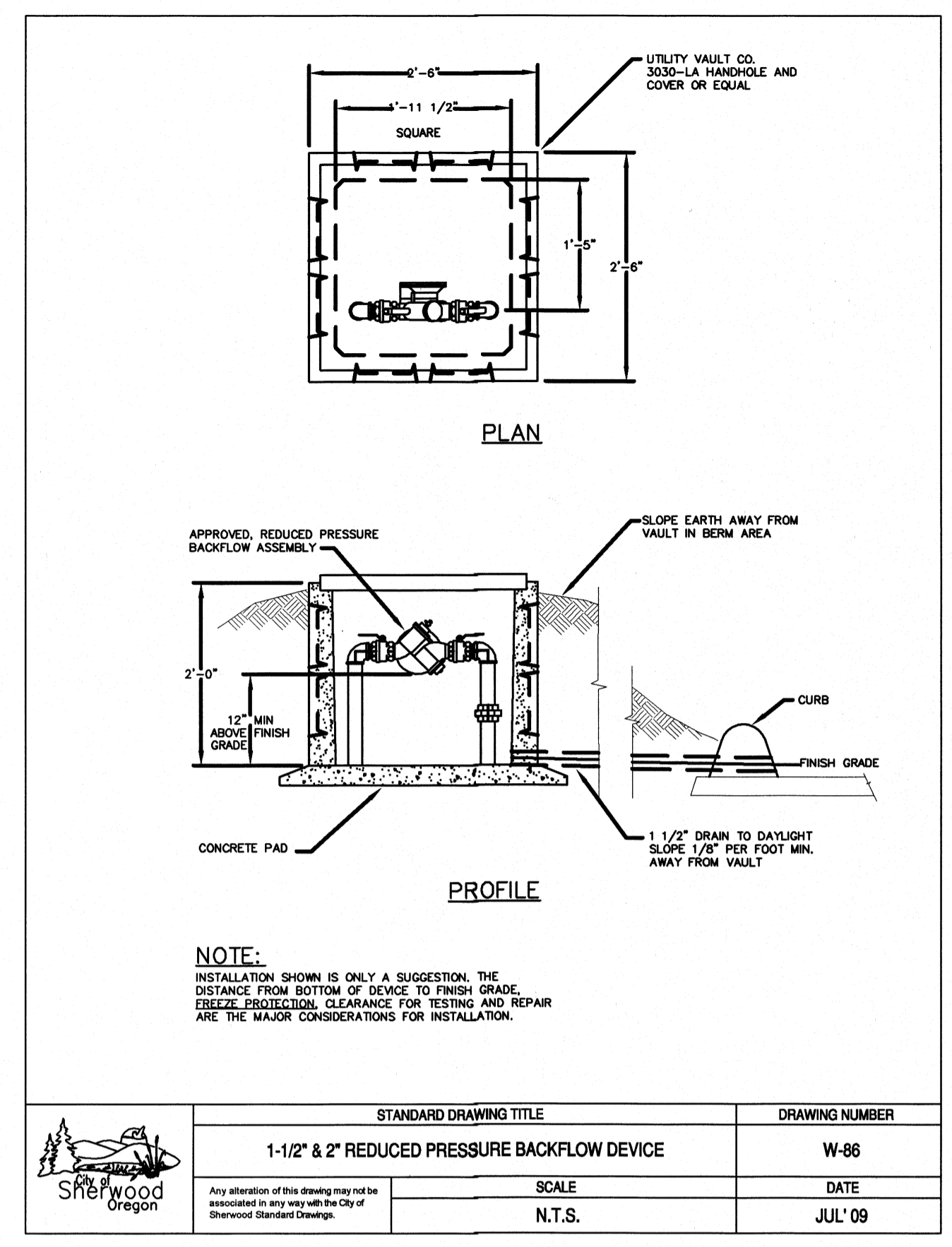
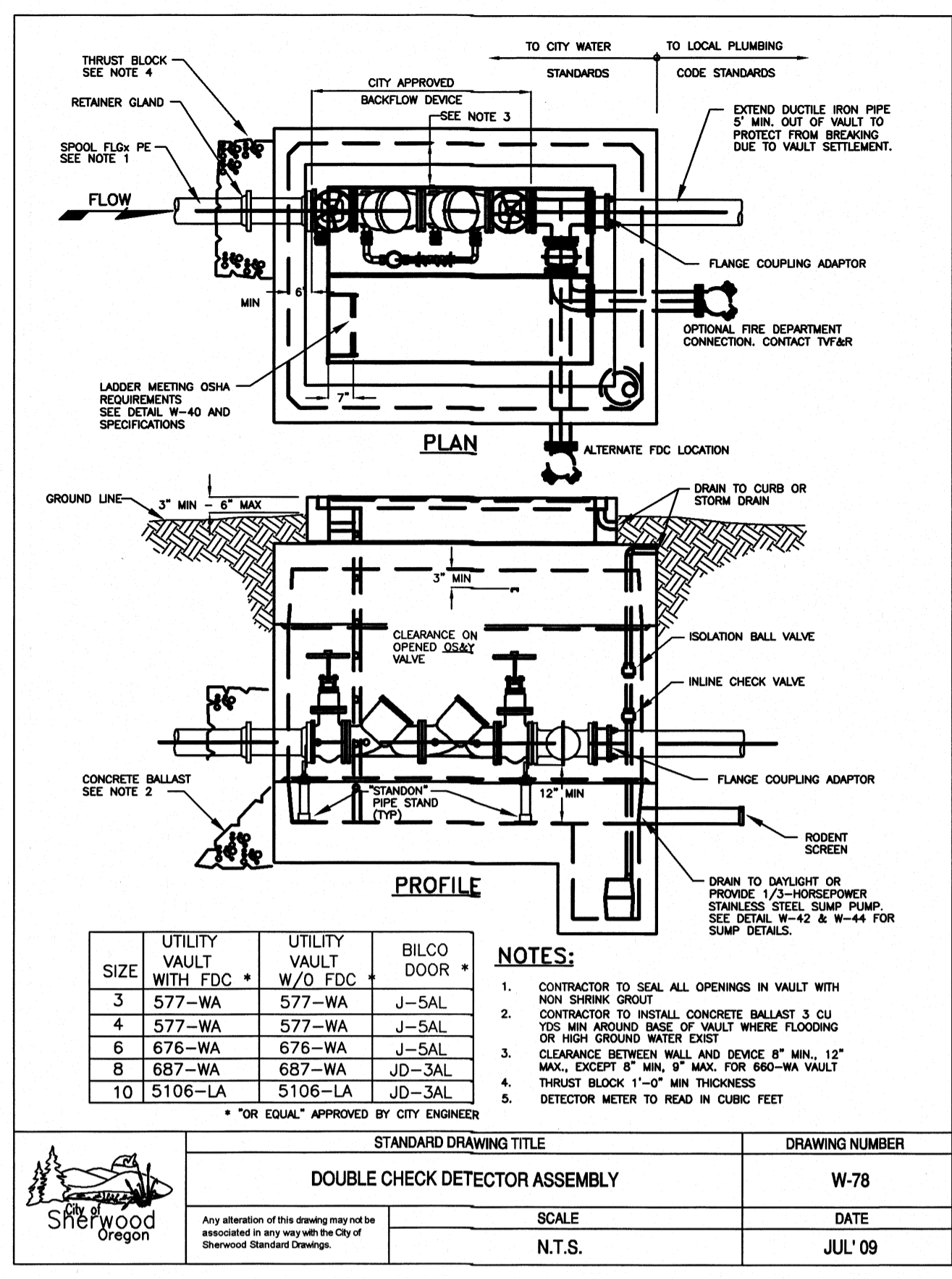
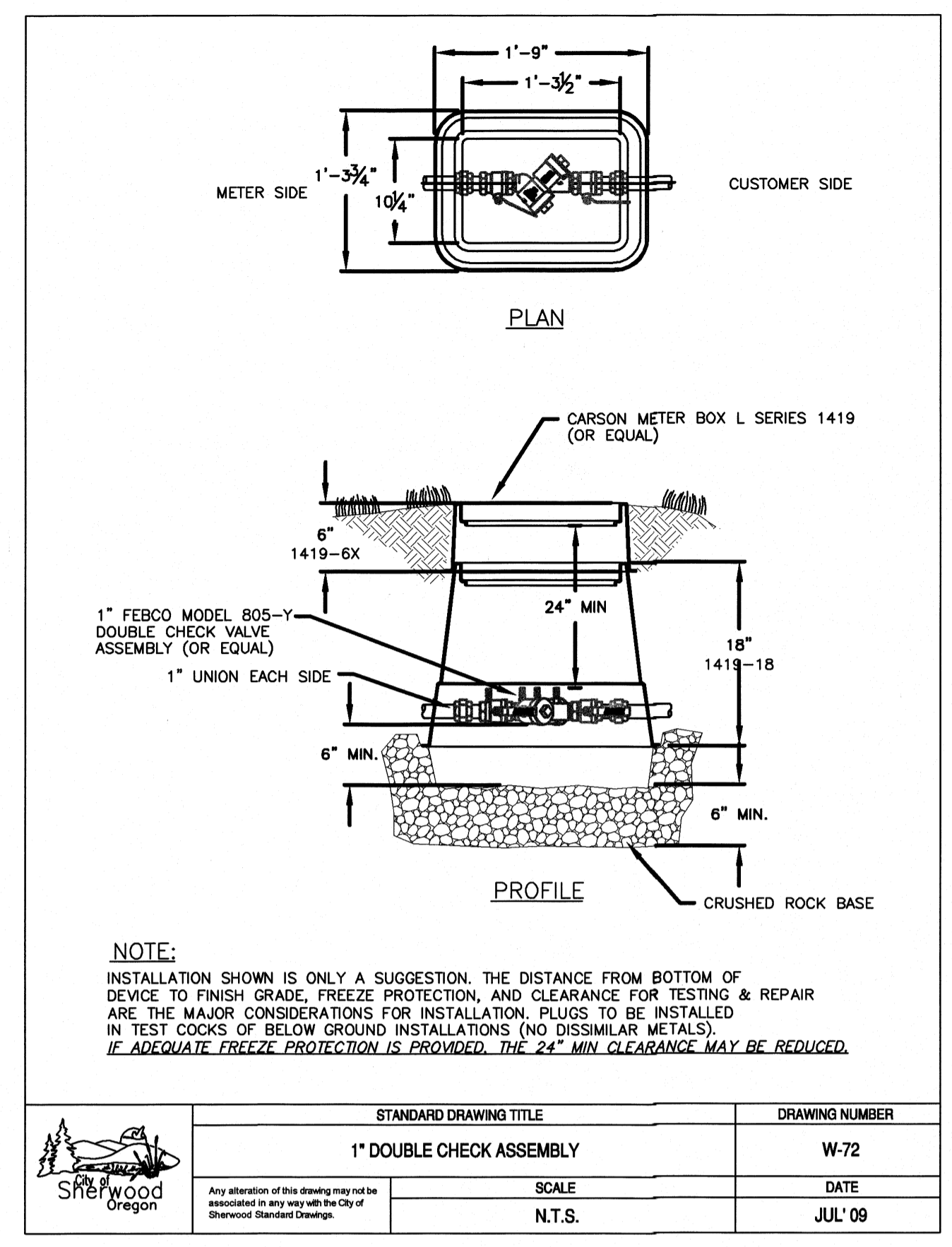
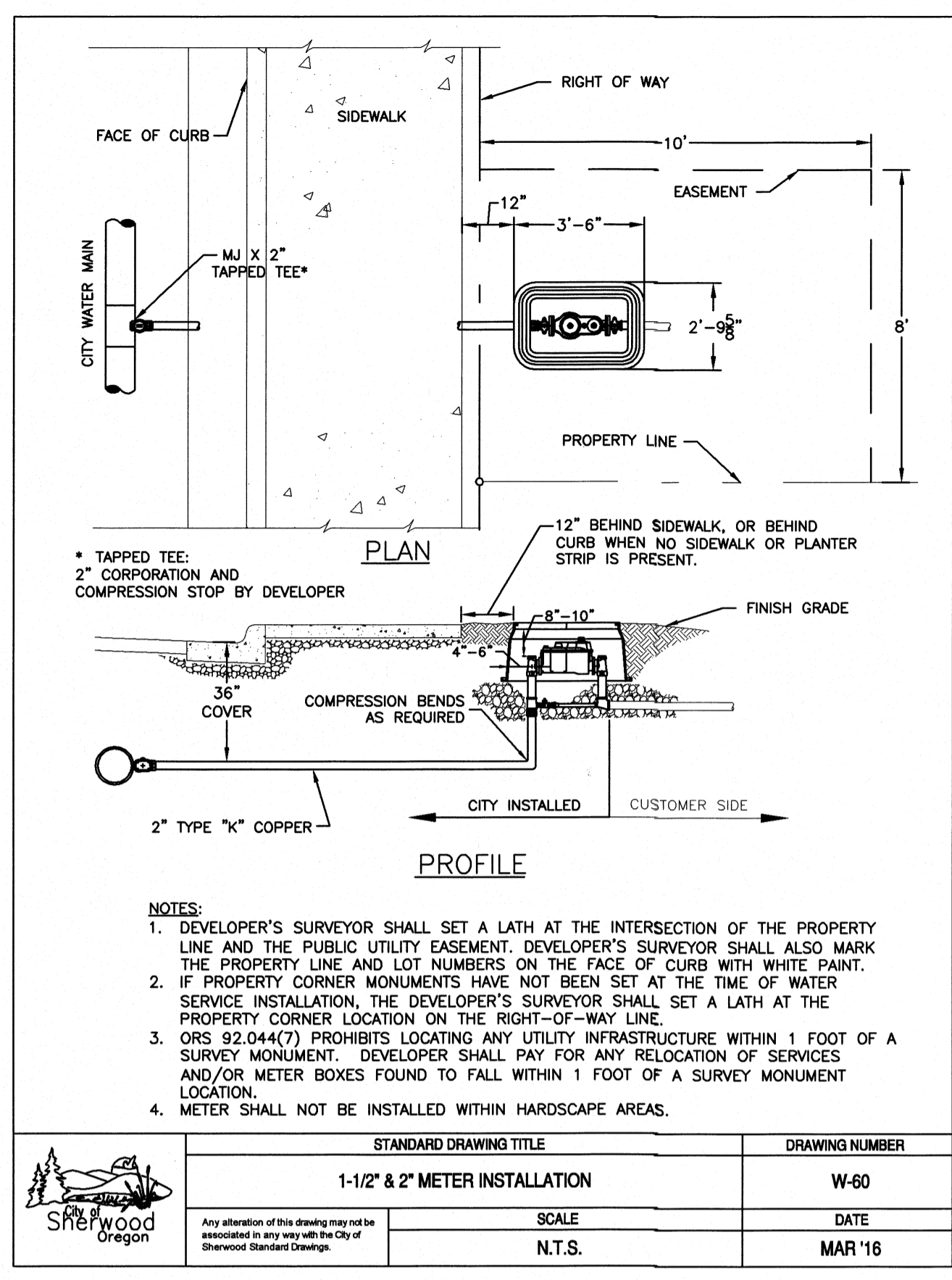
DATE JAN. 2022
 SCALE AS NOTED
 DRAWN JDM
 JOB SGL21-058
 SHEET C8 OF 8 SHEETS

REVISIONS	BY
REVISED SITE PLAN 5-25-23	JMF

NW PROPERTY MANAGEMENT
 NW PRECISION DESIGN
 Construction Details

SISUL ENGINEERING
 375 PORTLAND AVENUE
 CLATSOP COUNTY, OREGON 97027
 (503) 857-0188
 DRAWING: 221-058 BASE.dwg

DATE JAN. 2022
 SCALE AS NOTED
 DRAWN JDM
 JOB SGL21-058
 SHEET 09 OF 09 SHEETS



Effective Date: June 1, 2023 - November 30, 2023

REGISTERED PROFESSIONAL ENGINEER 12,820 THOMAS J. SISUL

EXPIRES: 6/30/

LANDSCAPE REQUIREMENTS

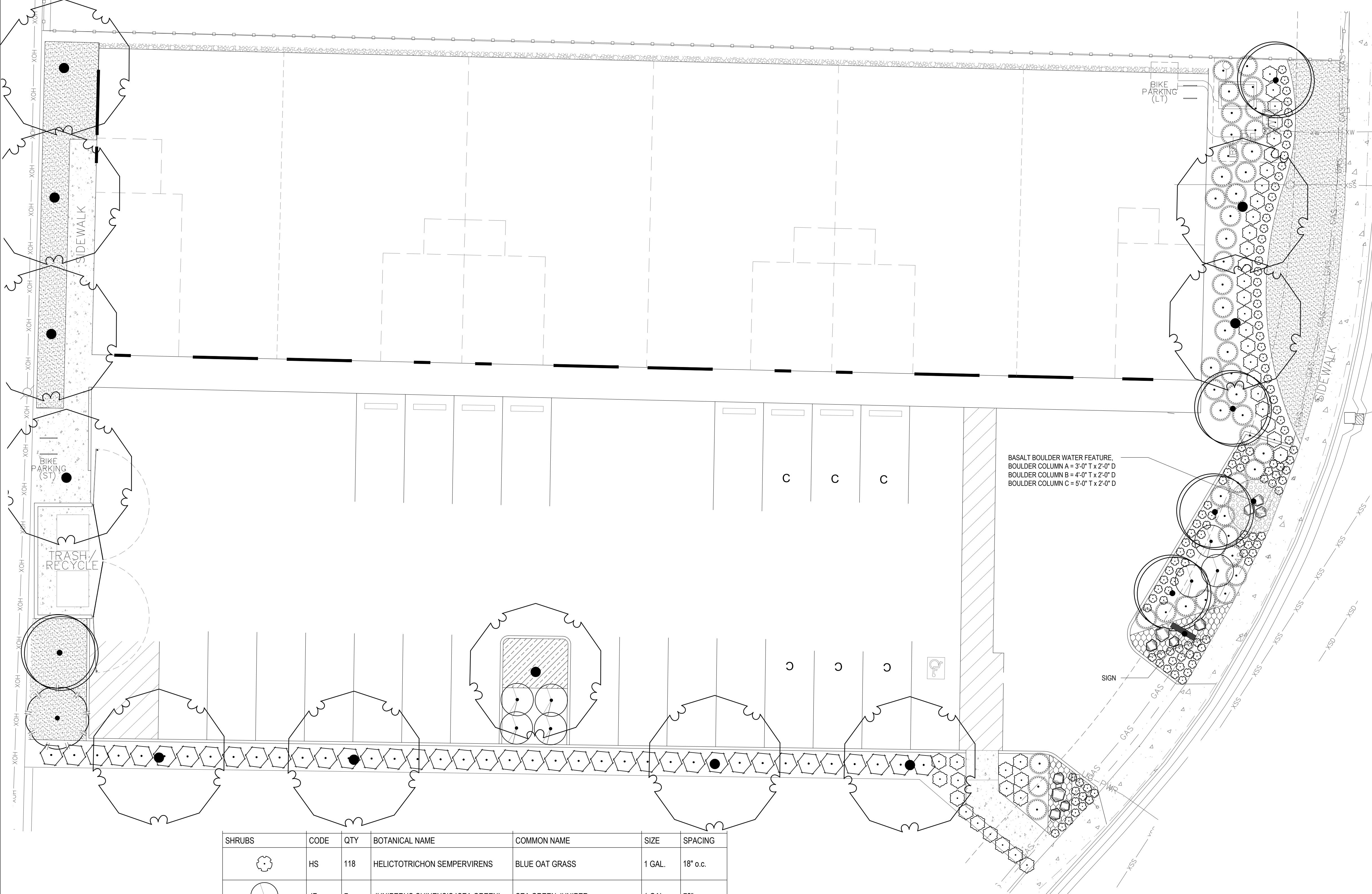
TOTAL SITE AREA	= 31,146 SF	
LANDSCAPE AREA PROPOSED 13.6% OF SITE	= 4,236 SF	
PARKING AREA LANDSCAPING REQUIRED	= 45 SF PER PKG.	
PARKING SPACES PROPOSED	= 24	
PARKING AREA LANDSCAPE REQUIRED	= 1,080 SF	
PARKING AREA LANDSCAPE PROPOSED	= 1,230 SF	
PARKING LOT TREES PROPOSED	QUANTITY	PKG SPACES
1 LARGE PER 4 SPACES	= 5	20
1 SMALL PER 2 SPACES	= 2	4
TOTAL PKG LOT TREES	= 7	24
MIN. 5% EVERGREEN	= 1	
EVERGREEN PROPOSED	= 1	
TOTAL PARKING LOT SHRUBS REQUIRED		
2 SHRUBS PER SPACE IF FRONT 2'		
IS NOT LANDSCAPED	= 48	
PARKING LOT SHRUBS PROPOSED	= 64	
TREE CANOPY REQUIRED (30%)	= 9,343 SF	
TREE CANOPY PROPOSED (46%)	= 14,380 SF	

LEGEND

	COLUMNAR BASALT BOULDERS
	2" - 6" WASHED, RIVER ROCK AT WATER FEATURE

TREE SUMMARY

NO EXISTING TREES ON SITE

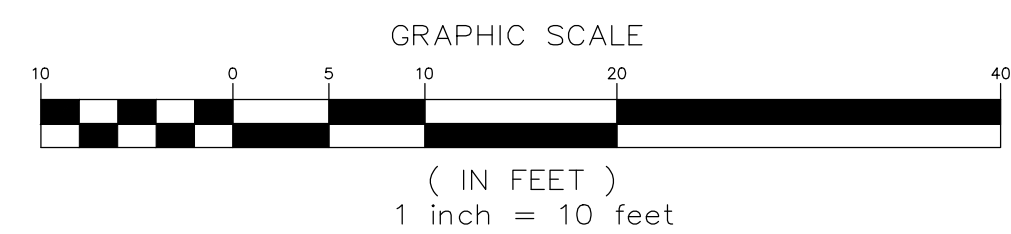
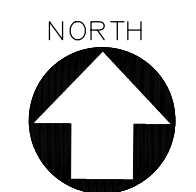


BASALT BOULDER WATER FEATURE.
BOULDER COLUMN A = 3'-0" T x 2'-0" D
BOULDER COLUMN B = 4'-0" T x 2'-0" D
BOULDER COLUMN C = 5'-0" T x 2'-0" D

SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
	HS	118	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	1 GAL.	18" o.c.
	JF	7	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	1 GAL.	72" o.c.
	LP2	39	LONICERA PILEATA	PRIVET HONEYSUCKLE	1 GAL.	48" o.c.
	NP	41	NANDINA DOMESTICA 'FIREPOWER'	FIREPOWER HEAVENLY BAMBOO	1 GAL.	36" o.c.
	PA2	44	PENNISETUM ALOPECUROIDES	FOUNTAIN GRASS	1 GAL.	48" o.c.
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
	AB2	129	AJUGA REPTANS 'BRONZE BEAUTY'	BRONZE BEAUTY BUGLEWEED	4" POT	12" o.c.
	MR	29	MAHONIA REPENS	CREEPING MAHONIA	1 GAL.	24" o.c.
		1,100 SF	LAWN			

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	PA	5	PRUNUS AMANOGAWA CANOPY = 50 SF	CHERRY	2" CAL.
	QP	11	QUERCUS PALUSTRIS CANOPY = 1,256 SF	PIN OAK	2" CAL.
EVERGREEN TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	CL	1	X CUPRESSOCYPARIS LEYLANDII CANOPY - 314 SF	LEYLANDI CYPRESS	2" CAL.



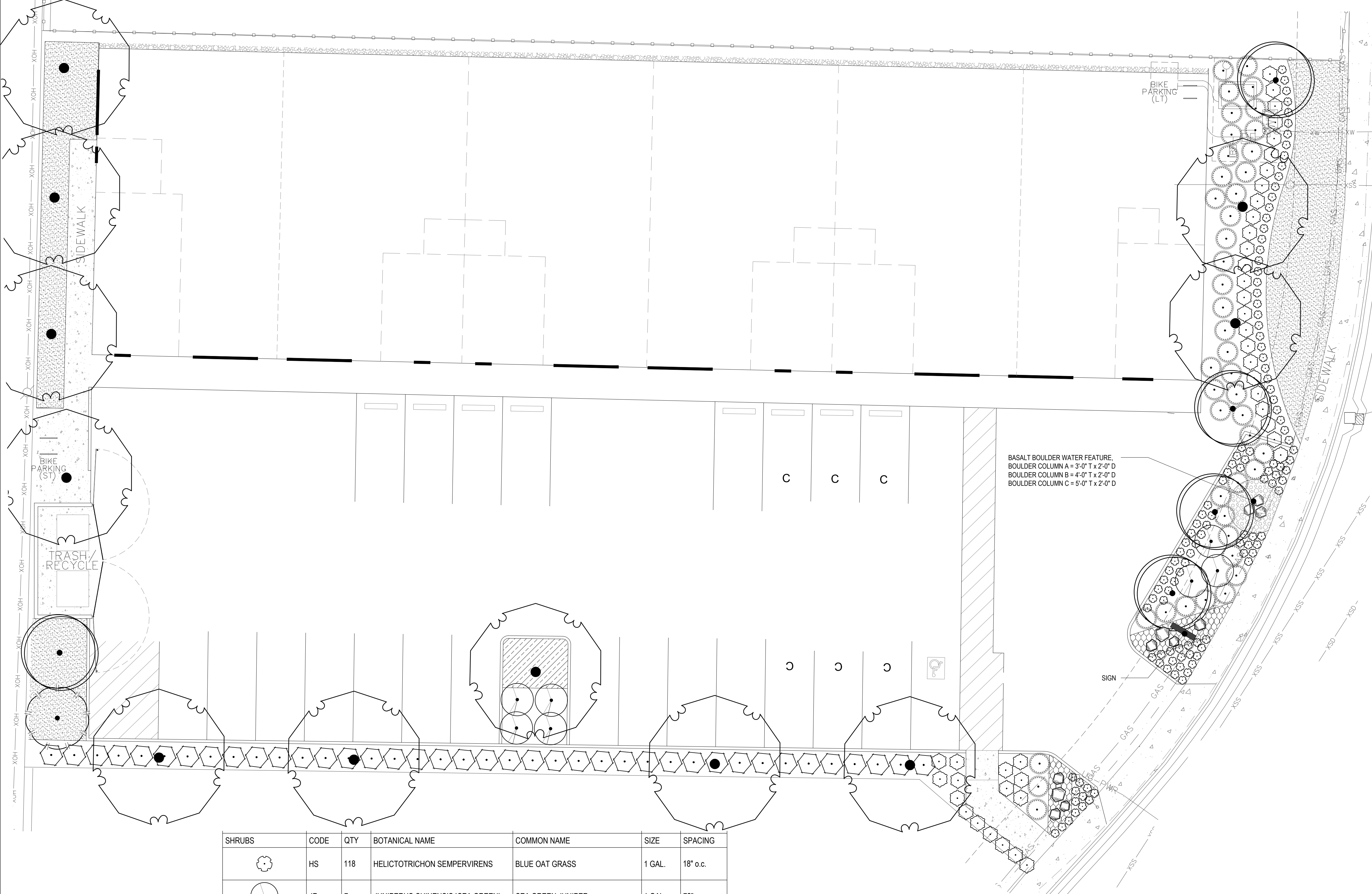
LANDSCAPE REQUIREMENTS

TOTAL SITE AREA	= 31,146 SF
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PARKING AREA LANDSCAPING REQUIRED	= 45 SF PER PKG.
PARKING SPACES PROPOSED	= 24
PARKING AREA LANDSCAPE REQUIRED	= 1,080 SF
PARKING AREA LANDSCAPE PROPOSED	= 1,230 SF
PARKING LOT TREES PROPOSED	QUANTITY PKG SPACES
1 LARGE PER 4 SPACES	= 5 20
1 SMALL PER 2 SPACES	= 2 4
TOTAL PKG LOT TREES	= 7 24
MIN. 5% EVERGREEN	= 1
EVERGREEN PROPOSED	= 1
TOTAL PARKING LOT SHRUBS REQUIRED	= 48
2 SHRUBS PER SPACE IF FRONT 2' IS NOT LANDSCAPED	
PARKING LOT SHRUBS PROPOSED	= 64
TREE CANOPY REQUIRED (30%)	= 9,343 SF
TREE CANOPY PROPOSED (46%)	= 14,380 SF

LEGEND

	COLUMNAR BASALT BOULDERS
	2" - 6" WASHED, RIVER ROCK AT WATER FEATURE

TREE SUMMARY
NO EXISTING TREES ON SITE



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		1,100 SF	LAWN			

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	PA	5	PRUNUS AMANOGAWA CANOPY = 50 SF	CHERRY	2" CAL.
	QP	11	QUERCUS PALUSTRIS CANOPY = 1,256 SF	PIN OAK	2" CAL.
EVERGREEN TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	CL	1	X CUPRESSOCYPARIS LEYLANDII CANOPY - 314 SF	LEYLANDI CYPRESS	2" CAL.

