

LEGEND			
	EXISTING	PROPOSED	
CURB AND GUTTER			STORM LINE
BARRIER CURB			CATCH BASIN TYPE 1
CONCRETE			CATCH BASIN TYPE 2
ASPHALT			SANITARY SEWER LINE
PAINT STRIPING			SANITARY SEWER MANHOLE
DIRECTIONAL ARROW			CLEANOUT (AS NOTED)
SAWCUT			POWER OVERHEAD
BOLLARD			POWER UNDERGROUND
SIGN			POWER METER
BUILDING LINE			UTILITY POLE
CONTOURS			JUNCTION BOX (TYPE 1,2,3)
WATER LINE			LUMINAIRE
FIRE HYDRANT			YARD LIGHT
WATER METER			TELEPHONE
WATER VALVE			GAS
FIRE DEPARTMENT CONN.			GAS METER
POST INDICATOR VALVE			GAS VALVE

PROJECT GROUND COVER	
ON-SITE	
NEW IMPERVIOUS SURFACES	3,731 SF (0.09 AC)
MODIFIED IMPERVIOUS SURFACES	11,657 SF (0.27 AC)
NEW AND MODIFIED IMPERVIOUS SURFACES	15,388 (0.36 AC)
EXISTING IMPERVIOUS SURFACES	12,239 SF (0.28 AC)
UTILITY TRENCHING	1,008 SF (0.02 AC)
TOTAL IMPERVIOUS AREA	28,635 SF (0.66 AC)
PERVIOUS AREA	8,428 SF (0.19 AC)
TOTAL AREA	37,063± SF (0.85± AC)

PRELIM. SITE PLAN

FOR CHEVRON SHERWOOD

SECTION 30, TOWNSHIP 2 SOUTH, RANGE 1 WEST W.M. CITY OF SHERWOOD, WASHINGTON COUNTY, OREGON

OWNER
CHEVRON STATION INC.
575 MARKET ST.
SAN FRANCISCO, CA 94105

ENGINEER
BARGHAUSEN CONSULTING ENGINEERS, INC.
18215 72ND AVE. SOUTH
KENT, WA 98032
TEL: (425) 251-6222
FAX: (425) 251-8782
CONTACT: CHRIS JENSEN, P.E.

SURVEYOR
BARGHAUSEN CONSULTING ENGINEERS, INC.
18215 72ND AVE. SOUTH
KENT, WA 98032
TEL: (425) 251-6222
FAX: (425) 251-8782
CONTACT: BRIAN GILLOOLY, P.L.S.

LAND USE:
SITE ZONE: RETAIL COMMERCIAL - RC

NEIGHBORING ZONING
NORTH: RC
SOUTH: CC/PUD-RC
EAST: RC
WEST: RC

BUILDING DATA:
CONVENIENCE STORE (RETAIL): 3,600 SF

OPEN STRUCTURES:
EXISTING FUEL CANOPY: 3,588 SF

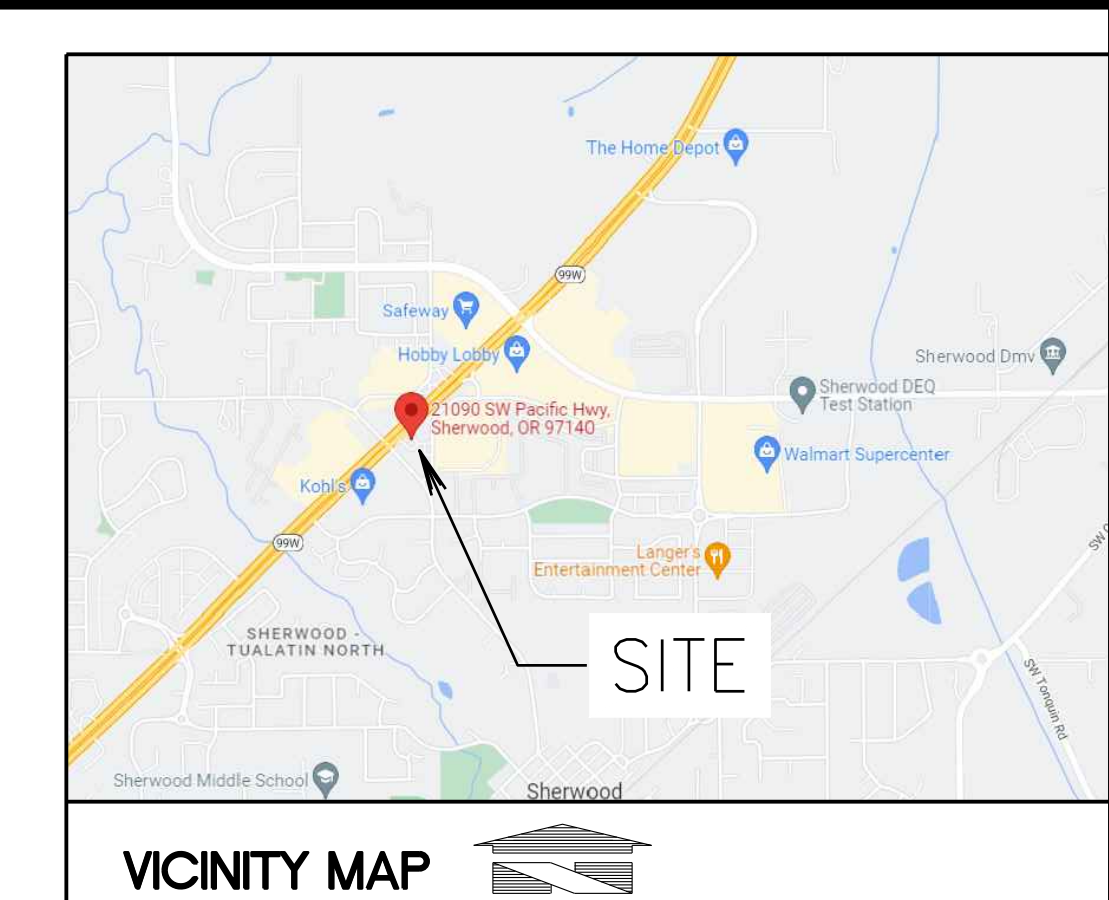
NET BUILDABLE AREA:
37,402 SF (0.85 AC)

BUILDING SETBACKS
FRONT SIDE - 0'
STREET SIDE - 0'
INTERIOR SIDE: 0'
REAR: 0'

LANDSCAPING CHAPTER 16.92:
VEHICLE AREA PERIMETER: 10' (MAY BE REDUCED TO 5' IF ADJACENT SITE OF SAME USE HAS 5' MINIMUM, REF. 16.92.030 A.(3))
PARKING LANDSCAPE: 45 SF LANDSCAPE PER SPACE = 765 SF
LANDSCAPING TYPE: HIGHWAY BUFFER
LANDSCAPE PROVIDED: 7,138 SF (INCL ADDITIONAL STALL LANDSCAPE)

PARKING:
SPACES REQUIRED: 4X3.1 = 12.4 (13)
SPACES PROVIDED: 12 (9'X20') w/3-FOOT BUMPER OVERHANG INCLUSIVE
ACCESSIBLE SPACES: 2 (ADDITIONAL @ FUTURE EV CHARGING AREA)
TOTAL SPACES PROVIDED: 14

BICYCLE PARKING REQUIRED: 2
BICYCLE PARKING PROVIDED: 2



SHEET INDEX

PRELIM. CIVIL:
C1.0 - PRELIM. SITE PLAN
1 OF 2 - BOUNDARY AND TOPOGRAPHIC SURVEY
2 OF 2 - BOUNDARY AND TOPOGRAPHIC SURVEY
C2.0 - PRELIM. TESC PLAN
C3.0 - PRELIM. GRADING AND UTILITY PLAN
C3.1 - PRELIM. DRAINAGE DETAILS

PRELIM. LANDSCAPE
L-1 - PRELIMINARY LANDSCAPE PLAN
L-2 - PRELIMINARY LANDSCAPE PLAN

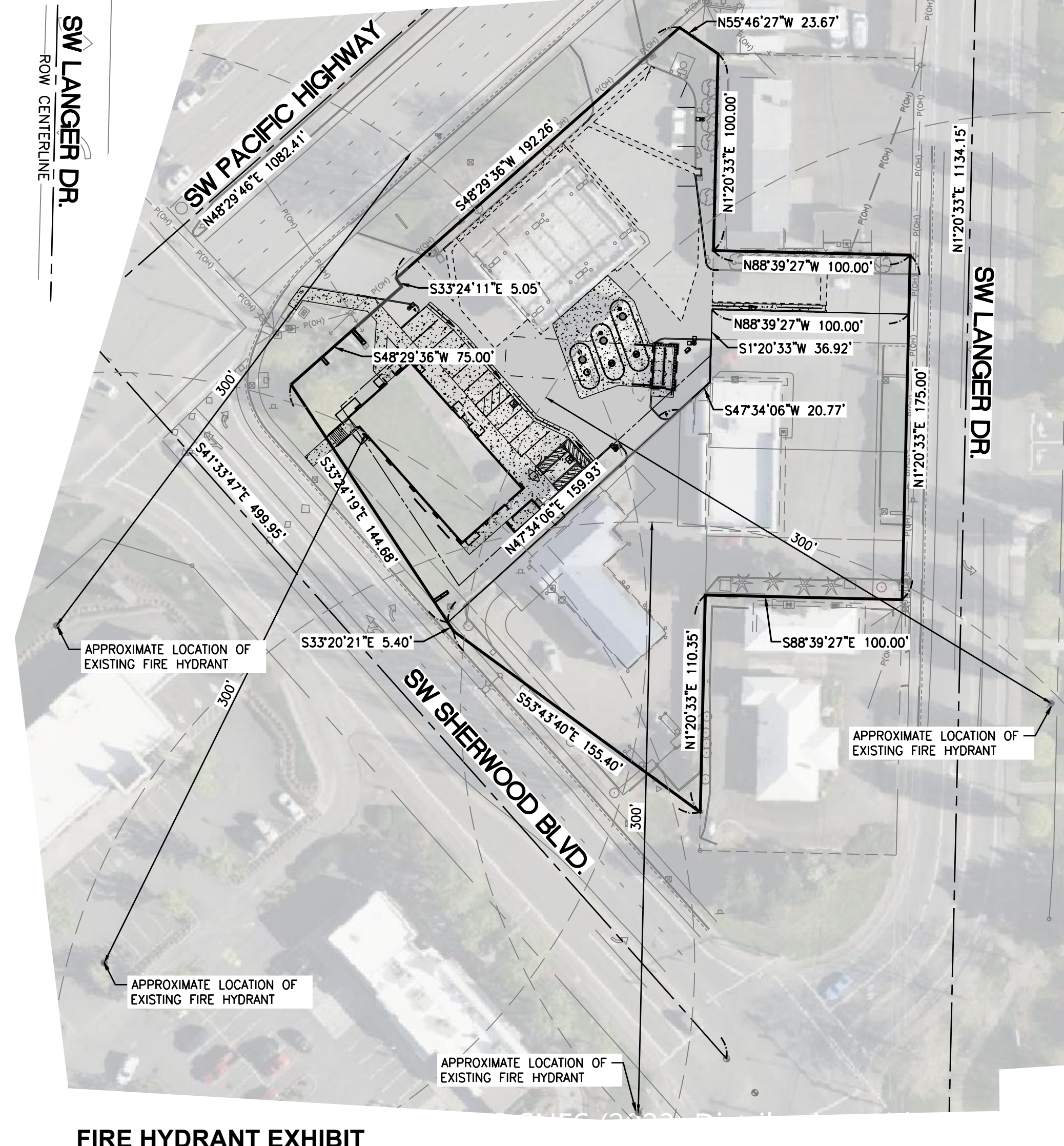
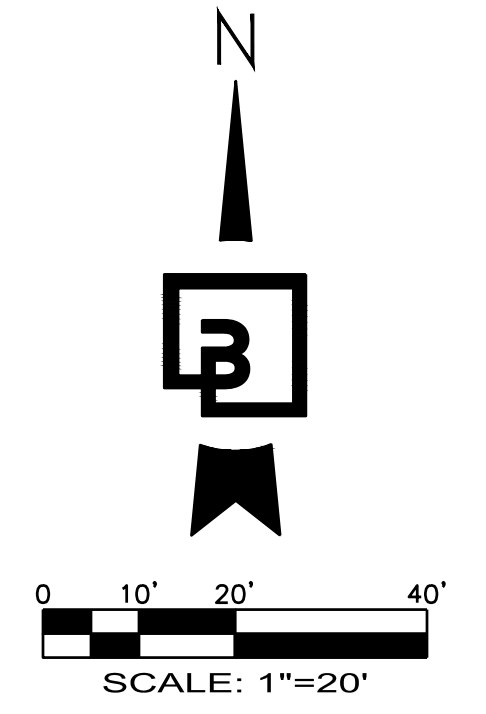
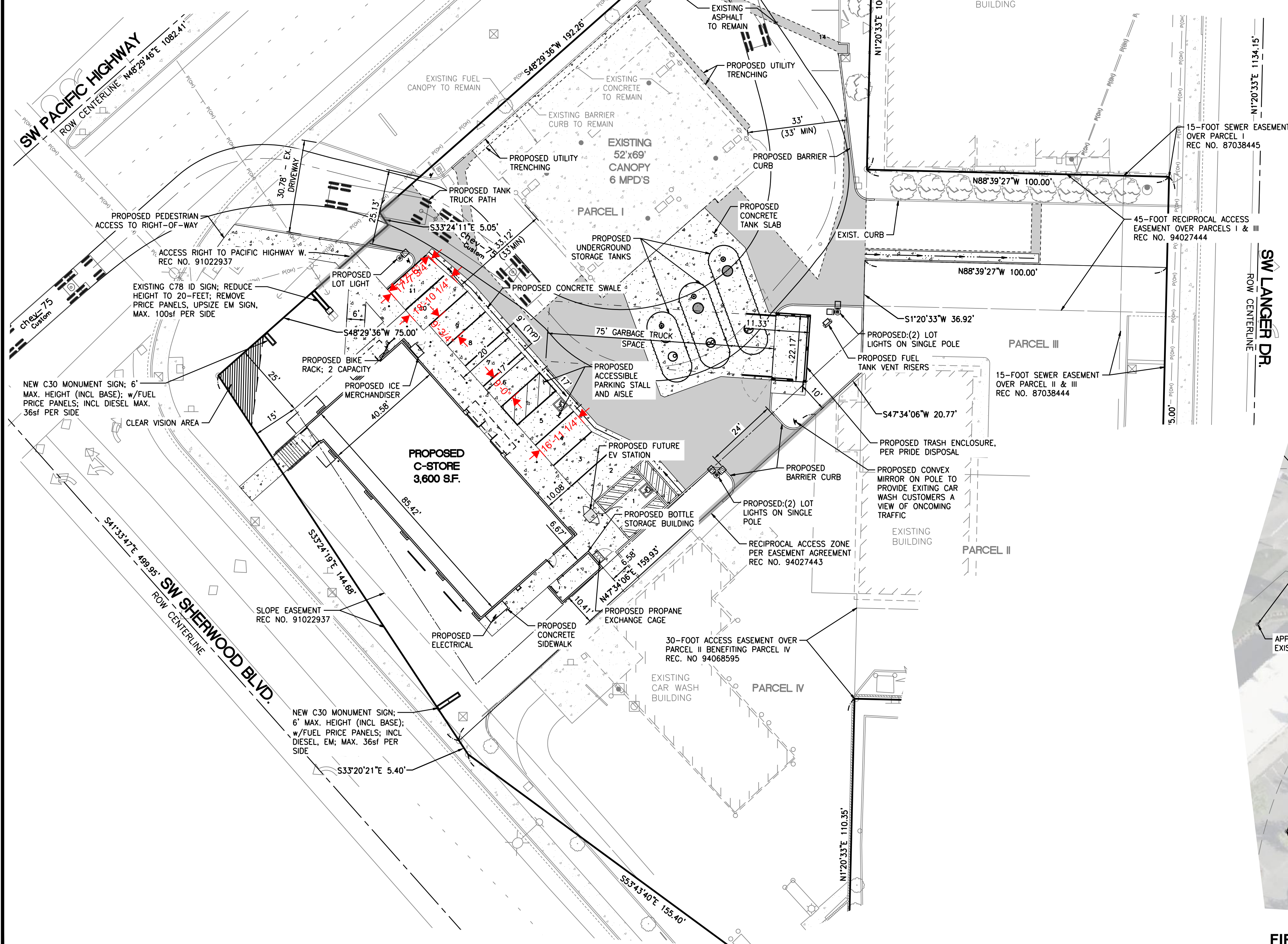
SITE INFORMATION

ADDRESS:
21090 SOUTHWEST PACIFIC HIGHWAY

LOT AREA:
37,063± S.F. (0.85 AC)

TAX PARCEL NUMBER:
25130DA01200

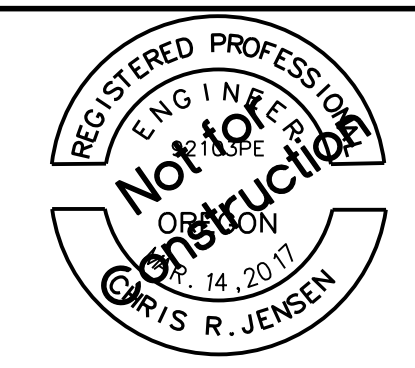
FEMA FLOOD ZONE:
THE SITE IS LOCATED WITHIN ZONE X PER FEMA FLOOD MAP 41067C0601F, DATED OCTOBER 10, 2018



FIRE HYDRANT EXHIBIT
SCALE: 1" = 50'

SITE PLAN REVISION	
No.	Date
2	7/25/23
1	4/24/23

Location:
STORE NO. 92138
EM320 w/ (6) MPD'S
21090 SW PACIFIC HIGHWAY
SHERWOOD, OREGON



Preparer:
Barghausen Consulting Engineers, Inc.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222
barghausen.com

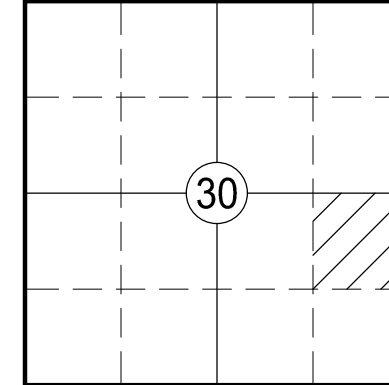
Client:
Chevron
CHEVRON U.S.A. INC.
6001 BOLLINGER CANYON RD.
SAN RAMON, CA 94583
www.Chevron.com
ph 925.842.1000

PRELIMINARY

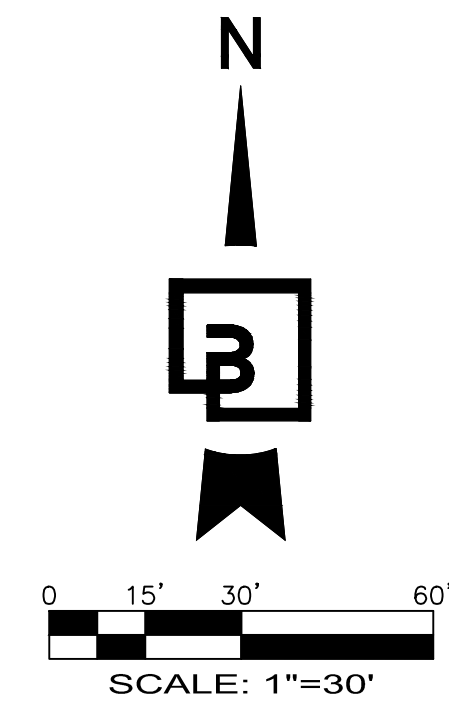
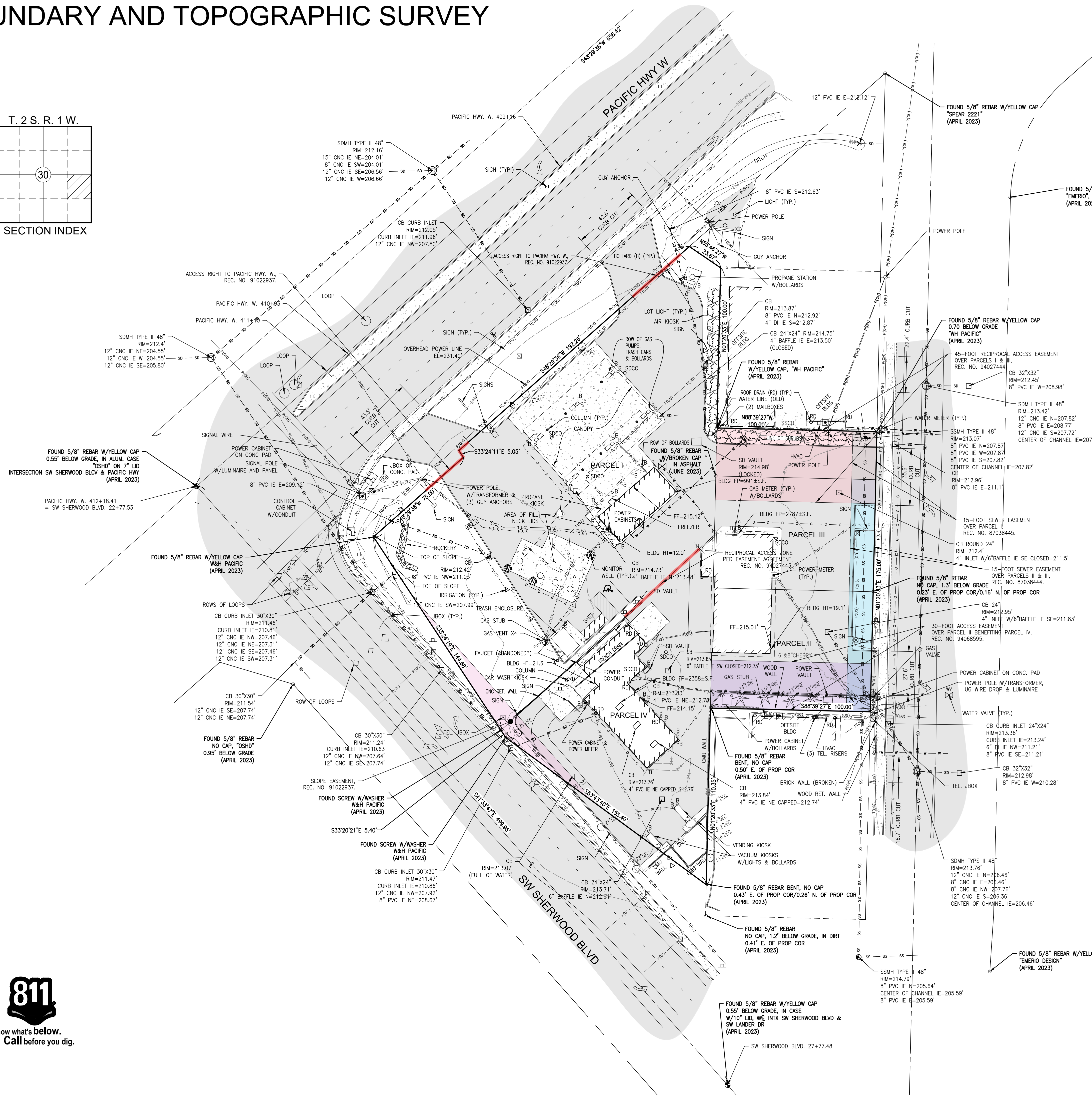
DESIGNED BY: JDF DRAWN BY: JDF
CHECKED BY: ADW APPROVED BY: CRJ
SCALE: VARIES PROJECT NO: 22558
SHEET TITLE:
PRELIM. SITE PLAN
SHEET NO:
C1.0

BOUNDARY AND TOPOGRAPHIC SURVEY

T. 2 S. R. 1 W.



SECTION INDEX



LEGEND

(NOTE: NOT ALL SYMBOLS MAY APPEAR ON THE MAP)

- SURVEY MONUMENT (AS NOTED)
- SECTION CORNER (AS NOTED)
- SET REBAR/CAP (AS NOTED)
- FOUND REBAR/CAP (AS NOTED)
- SET 2"x2" HUB/TACK LINE STAKE
- MAG/WASHER OR LEAD/TACK (AS NOTED)
- BENCHMARK
- LUMINAIRE (LUM.)
- YARD LIGHT
- ORNAMENTAL LIGHT
- TRAFFIC SIGNAL LIGHTS
- POWER METER
- POWER POLE
- JUNCTION BOX (AS NOTED)
- TELEPHONE MANHOLE
- CATCH BASIN (CB)
- STORM MANHOLE (SDMH)
- SANITARY SEWER MANHOLE (SSMH)
- CLEANOUT (AS NOTED)
- GAS METER
- GAS VALVE
- WATER VALVE (WV)
- FAUCET
- FIRE HYDRANT(FH) / CONNECTION(FDC)
- WATER MANHOLE
- WATER METER
- BLOW-OFF / AIRVAC
- MONITOR WELL
- SIGN
- IRRIGATION SPRINKLER
- DIRECTIONAL ARROW
- ADA SYMBOL
- CHAIN LINK FENCE
- WOOD FENCE
- HOGWIRE FENCE
- SILT FENCE
- METAL/IRON FENCE
- GUARD RAIL/CABLE FENCE
- WATER LINE
- GAS LINE
- STEAM LINE
- TELEPHONE LINE (OH) OR (UG)
- POWER LINE (OH) OR (UG)
- STORM LINE
- SEWER LINE
- ROCKERY
- KEYSTONE WALL
- DECIDUOUS TREE
- CONIFEROUS TREE
- MAJOR CONTOUR LINE
- MINOR CONTOUR LINE
- CONCRETE
- GRAVEL/SAND (AS NOTED)
- ASPHALT
- BUILDING LINE

- ABBREVIATIONS
- (RF) REFERENCE SURVEYS
 - (OH) OVERHEAD
 - (UG) UNDERGROUND
 - (TYP) TYPICAL
 - (C) CALCULATED
 - (M) MEASURED

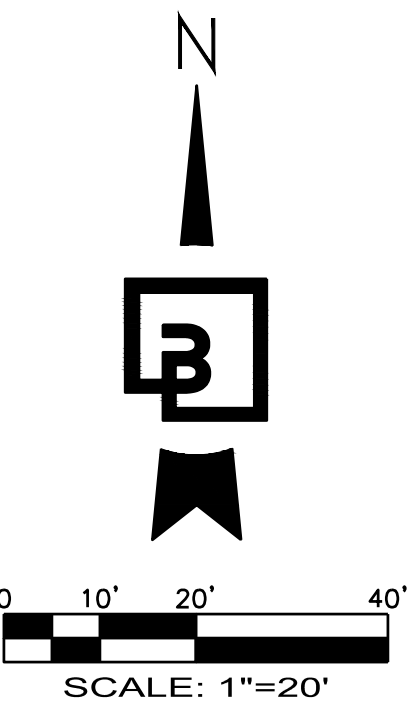
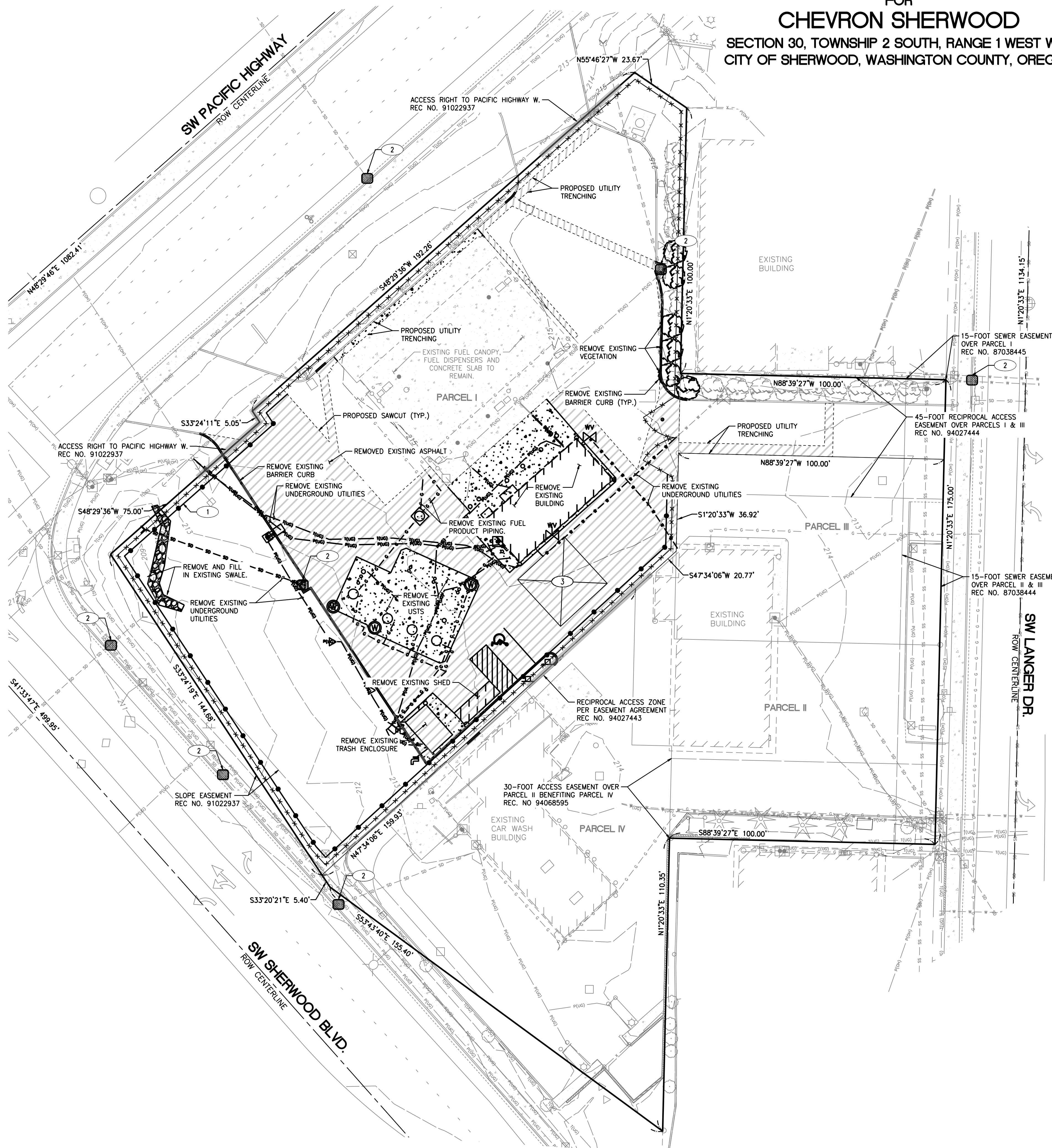


Revision		No.		Date		By		Cld.		I. Appr.	
<p>Title: BOUNDARY AND TOPOGRAPHIC SURVEY PTN. OF THE NE1/4 OF THE SE1/4 OF SEC. 30, TWP. 2 S., RGE. 1 W., W. M. CITY OF SHERWOOD, WASHINGTON COUNTY, OREGON</p>											
<p>For: CHEVRON STATIONS, INC.</p>											
<p>Scale: Horizontal 1"=30' Vertical</p>											
<p>Designed: Drawn: Checked: Approved: Date: 4/28/23</p>											
<p>Barghausen Consulting Engineers, Inc. 18215 72nd Avenue South Kent, WA 98032 425.251.6222 barghausen.com</p>											
<p>Job Number: 22558 Sheet: 2 of 2</p>											



File: P:\2023\22558\Survey\22558-461.dwg Date/Time: Apr 28, 2023 10:50am Scale: 1"=30' Author: MKC

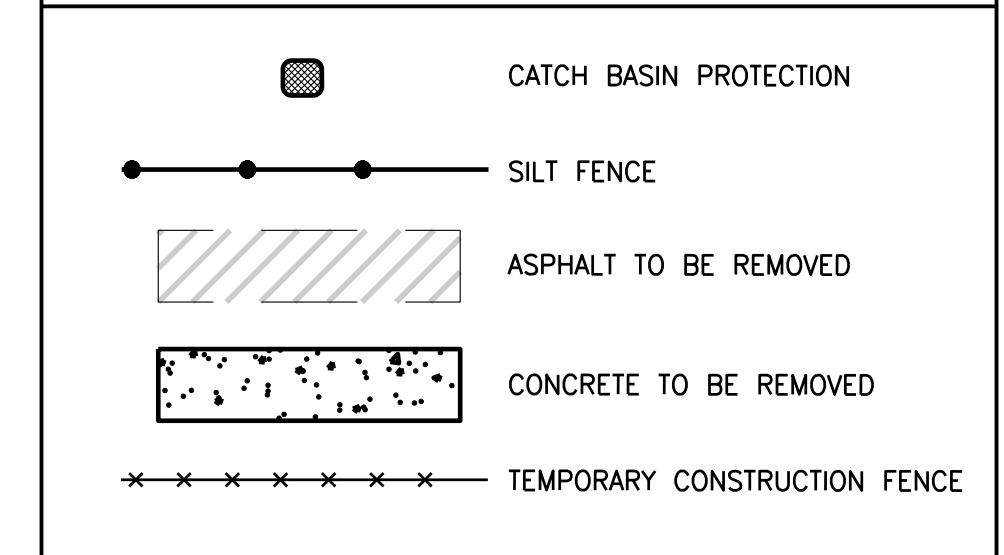
PRELIM. TESC PLAN
 FOR
CHEVRON SHERWOOD
 SECTION 30, TOWNSHIP 2 SOUTH, RANGE 1 WEST W.M.
 CITY OF SHERWOOD, WASHINGTON COUNTY, OREGON



EROSION CONTROL CALLOUTS:

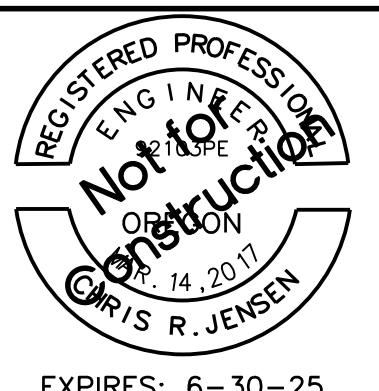
- 1 CONTRACTOR TO INSTALL SILT FENCE AROUND PERIMETER OF SITE AS REQUIRED TO PREVENT SILT-LADEN RUNOFF FROM LEAVING SITE, AND AS DIRECTED BY CITY INSPECTOR.
- 2 CONTRACTOR TO INSTALL STORM DRAIN PROTECTION AT ALL EXISTING AND PROPOSED CATCH BASINS AS REQUIRED TO PREVENT SILT-LADEN WATER FROM ENTERING STORM DRAINAGE SYSTEM PER 2019 CWS STANDARD. DRAWING 905-925. INCLUDE STORM DRAIN PROTECTION AT ALL EXISTING CATCH BASINS DOWNSLOPE AND WITHIN 500 FEET OF DISTURBED OR CONSTRUCTION AREA.
- 3 APPROXIMATE LOCATION OF CONSTRUCTION STAGING AREA. CONTRACTOR TO USE THIS AREA FOR TEMPORARY STOCKPILE STORAGE AND CONCRETE WASHOUT. ADJUST SIZE AND LOCATION OF AREA AS NEEDED DURING CONSTRUCTION.

EROSION CONTROL LEGEND:



Location:

STORE NO. 92138
EM3220 w/ (6) MPD'S
21090 SW PACIFIC HIGHWAY
SHERWOOD, OREGON



Preparer:

Barghausen Consulting Engineers, Inc.
 18215 72nd Avenue South
 Kent, WA 98032
 425.251.6222 barghausen.com

Client:

Chevron
CHEVRON U.S.A. INC.
 6001 BOLLINGER CANYON RD.
 SAN RAMON, CA 94583
 ph 925.842.1000 www.Chevron.com

DESIGNED BY: JDF DRAWN BY: JDF
 CHECKED BY: ADW APPROVED BY: CRJ
 SCALE: 1" = 20' PROJECT NO: 22558

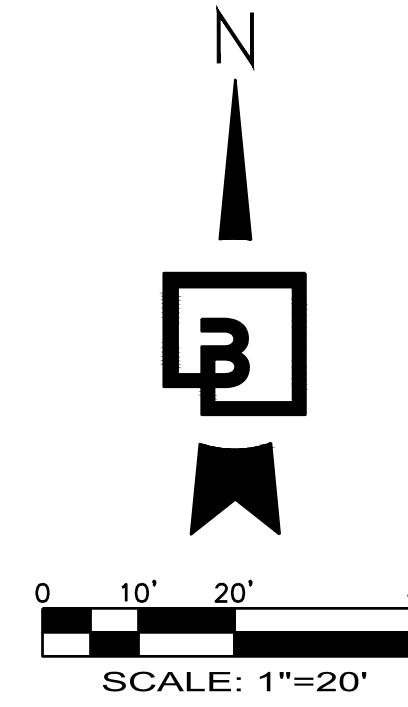
PRELIM. TESC PLAN

SHEET NO:
C2.0

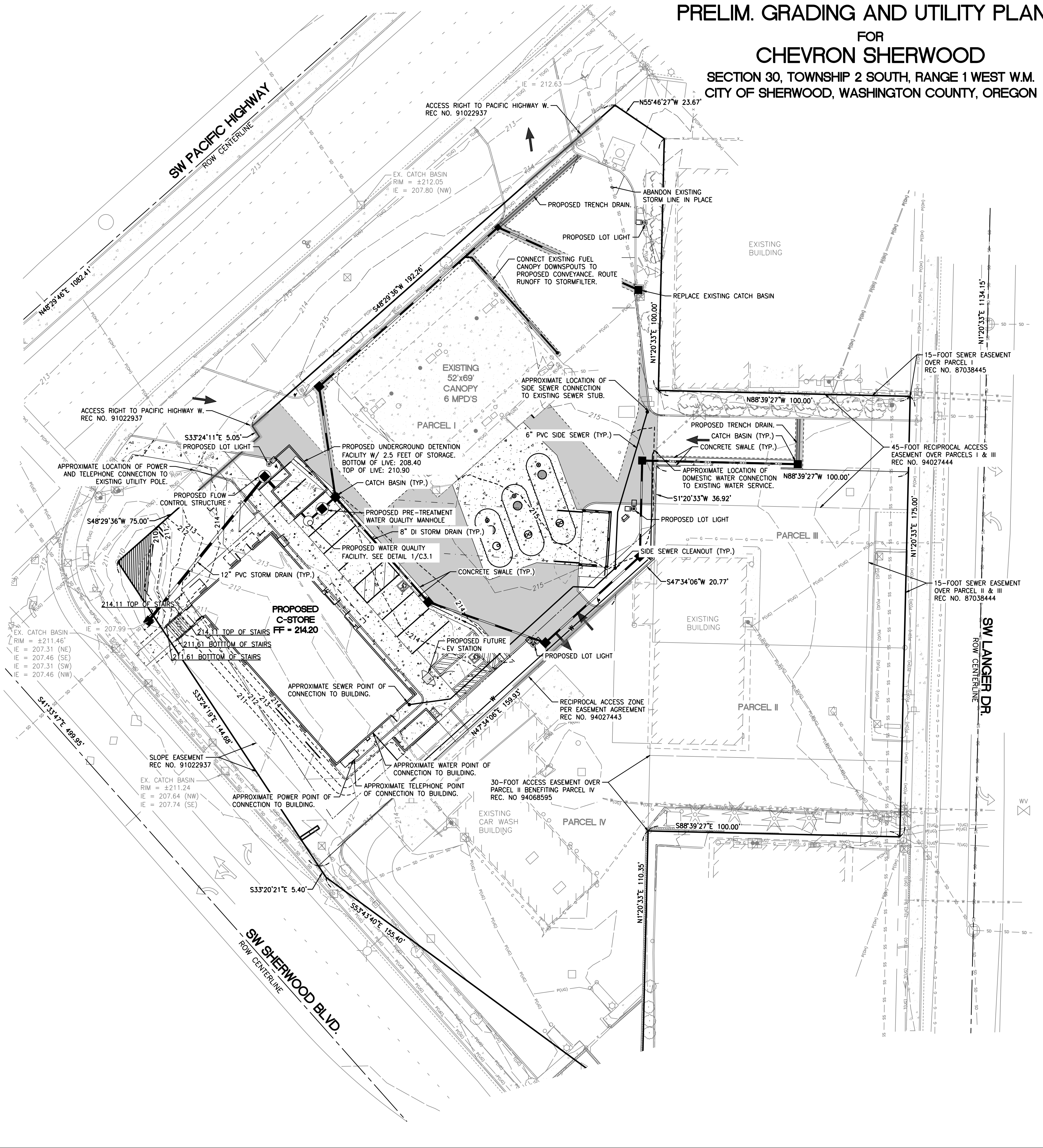
PRELIM. GRADING AND UTILITY PLAN

FOR CHEVRON SHERWOOD

SECTION 30, TOWNSHIP 2 SOUTH, RANGE 1 WEST W.M.
CITY OF SHERWOOD, WASHINGTON COUNTY, OREGON

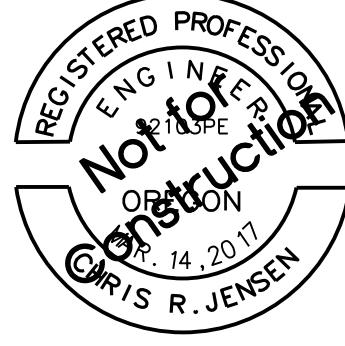


GRADING LEGEND:	
PROPOSED CONTOUR	----- 30 -----
EXISTING CONTOUR	————— 30 —————
SWALE FLOWLINE	————— 30 —————

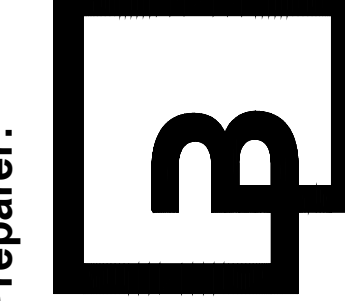


2	7/25/23	JDF	ADW	CRJ	SITE PLAN REVISION
1	4/24/23	JDF	ADW	CRJ	CITY COMMENTS
					Revision

Location:
STORE NO. 92138
EM3220 w/ (6) MPD'S
21090 SW PACIFIC HIGHWAY
SHERWOOD, OREGON



Preparer:
Barghausen Consulting Engineers, Inc.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222
barghausen.com



PRELIMINARY

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DESIGNED BY: JDF DRAWN BY: JDF
CHECKED BY: ADW APPROVED BY: CRJ
SCALE: 1" = 20' PROJECT NO: 22558

**PRELIM.
GRADING AND
UTILITY PLAN**

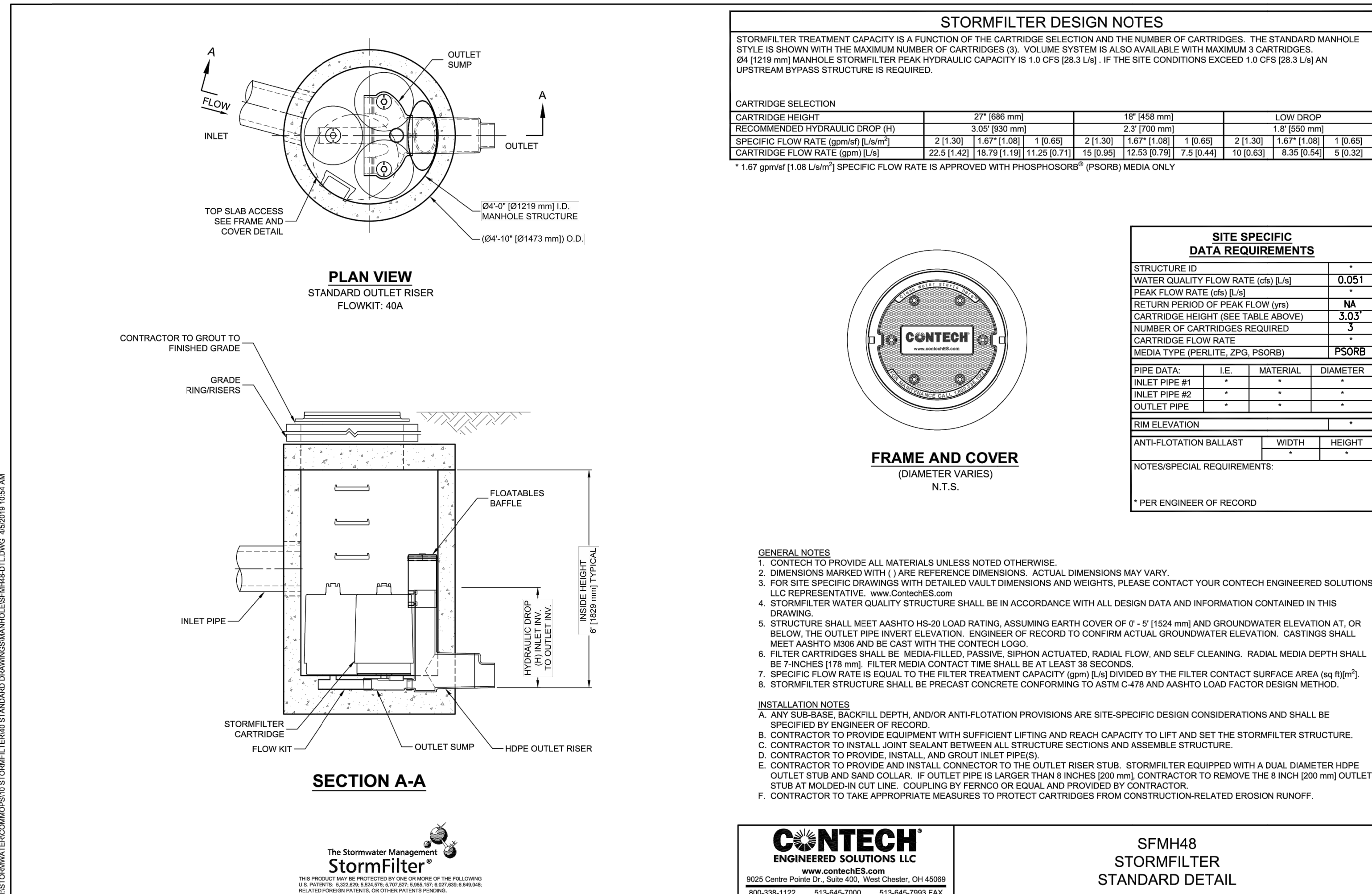
SHEET NO:
C3.0

PRELIM. DRAINAGE DETAILS

FOR

CHEVRON SHERWOOD

SECTION 30, TOWNSHIP 2 SOUTH, RANGE 1 WEST W.M. CITY OF SHERWOOD, WASHINGTON COUNTY, OREGON



PRELIM. WQ CALCULATIONS

PER THE 2019 CLEAN WATER SERVICES (CWS) DESIGN AND CONSTRUCTION MANUAL SECTION 4.08 THE AREA REQUIRING TREATMENT IS AS FOLLOWS:

AREA = NEW IMPERVIOUS + 3(MODIFIED IMPERVIOUS - (PERMANENTLY REMOVED IMPERVIOUS)), UP TO THE TOTAL EXISTING IMPERVIOUS SURFACE ON THE SITE (26,485 SF)

AREA = 3,731 + 3(11,657 - (1,154)) = 35,240 SF

AREA TREATED = 26,487 (REFER TO DEVELOPED BASIN MAP WITHIN PRELIM STORM REPORT)

THIS PROJECT PROPOSES TO PROVIDED WATER QUALITY TREATMENT BY INSTALLING A NEW STORMFILTER MANHOLE, SEE DETAIL 1/C3.1.

PER THE 2019 CLEAN WATER SERVICES (CWS) DESIGN AND CONSTRUCTION MANUAL SECTION 4.08.5 THE WATER QUALITY FLOW RATE IS AS FOLLOWS:

STORMFILTER (SFMH48)

$$WQ \text{ FLOWRATE} = \frac{(0.36 \text{ IN}) \times (\text{WATER QUALITY BASIN AREA SF}^*)}{(12 \text{ IN/FT}) \times (4 \text{ HR}) \times (60 \text{ MIN/HR}) \times (60 \text{ SEC/MIN})} = 0.051 \text{ CFS}$$

DESIGN WATER QUALITY FLOWRATE = 0.051 CFS ROUNDED 25 GPM

PER THE CONTECH STORMFILTER DETAIL 1/C3.1, 1 - 27" TALL CARTRIDGE PROVIDES 11.25 GPM OF WATER QUALITY FLOWRATE TREATMENT. THEREFORE, THIS DEVELOPMENT PROPOSED A 48" SFMH WITH 3 - 27" TALL CARTRIDGES TO PROVIDED WATER QUALITY TREATMENT FOR THIS DEVELOPMENT.

*PLEASE REFER TO EXHIBIT F OF THE PRELIM STORMWATER REPORT ASSOCIATED WITH THIS DEVELOPMENT FOR THE WATER QUALITY BASIN AREAS.

PROJECT GROUND COVER

ON-SITE	NEW IMPERVIOUS SURFACES	3,731 SF (0.09 AC)
MODIFIED IMPERVIOUS SURFACES	11,657 SF (0.27 AC)	
NEW AND MODIFIED IMPERVIOUS SURFACES	15,388 (0.36 AC)	
EXISTING IMPERVIOUS SURFACES	12,239 SF (0.28 AC)	
UTILITY TRENCHING	1,008 SF (0.02 AC)	
TOTAL IMPERVIOUS AREA	28,635 SF (0.66 AC)	
PERVIOUS AREA	8,428 SF (0.19 AC)	
TOTAL AREA	37,063± SF (0.85± AC)	

1
C3.1
CONTECH STORMFILTER - SFMH48
SCALE: NTS

No.	Date	By	Chd.	Appr.	Revision
2	7/25/23	JDF	ADM	CRJ	SITE PLAN REVISION
1	4/24/23	JDF	ADM	CRJ	CITY COMMENTS

Location:
STORE NO. 92138
EM3220 w/ (6) MPD'S
21090 SW PACIFIC HIGHWAY
SHERWOOD, OREGON

REGISTRED PROFESSIONAL ENGINEER
Chris R. Jensen
Exp. 14, 2017
EXPIRES: 6-30-25

Barghausen Consulting Engineers, Inc.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222
barghausen.com

Preparer:

PRELIMINARY

Client:

CHEVRON U.S.A. INC.
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SAN RAMON, CA 94583
ph 925.842.1000 www.Chevron.com

DESIGNED BY: JDF DRAWN BY: JDF
CHECKED BY: ADM APPROVED BY: CRJ
SCALE: N.A. PROJECT NO: 22558
SHEET TITLE:
PRELIM. DRAINAGE DETAILS
SHEET NO:
C3.1

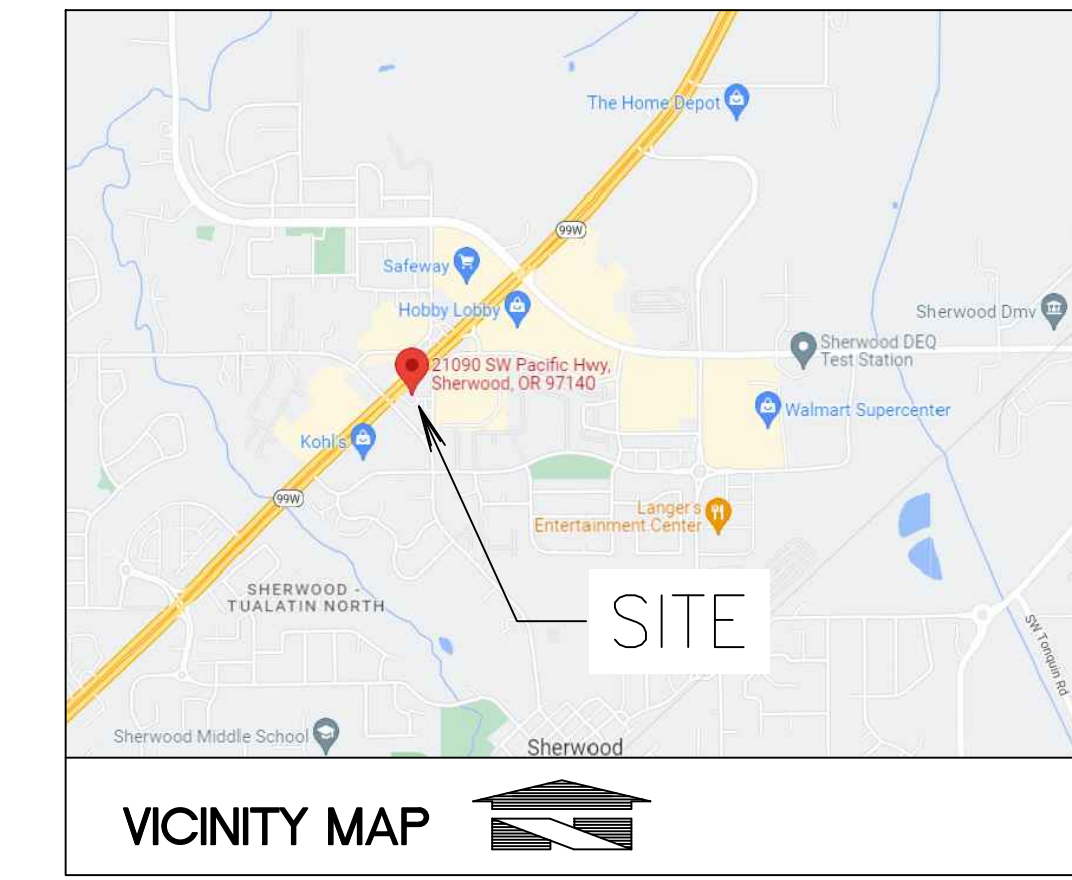


Know what's below.
Call before you dig.
Dial 811
Or 1-800-892-0123

PRELIMINARY LANDSCAPE PLAN

FOR CHEVRON SHERWOOD

SECTION 30, TOWNSHIP 2 SOUTH, RANGE 1 WEST W.M.
CITY OF SHERWOOD, WASHINGTON COUNTY, OREGON



VICINITY MAP

ADJUST NEW SHRUB LOCATIONS TO PRESERVE EXISTING SHRUBS TO THE MAXIMUM EXTENT POSSIBLE.

25' W. VISUAL CORRIDOR LANDSCAPE GROUPINGS OF MIN. 5 NATIVE EVERGREEN TREES, MIN. 50' APART

EXISTING SIGN

PROPOSED PEDESTRIAN ACCESS TO RIGHTOFWAY - SEE CIVIL PLANS

EXISTING LAWN TO REMAIN WHERE SCREENING LANDSCAPE CAN BE LOCATED ONSITE

PROPOSED MONUMENT SIGN. REQUIRED EVERGREEN TREES LOCATED TO AVOID BLOCKING VISIBILITY TO SIGN

25' W. VISUAL CORRIDOR LANDSCAPE
PROPOSED INFO SIGN

CLEAR VISION AREA

PROPOSED MONUMENT SIGN. NO TREES BLOCKING VISIBILITY TO SIGN.

SW PACIFIC HIGHWAY

SW SHERWOOD BLVD.

SW LANGER DR.

EAST SIDE OF HWY 99 HAS OVERHEAD POWER LINES
25' W. VISUAL CORRIDOR LANDSCAPE

EXISTING LAWN TO REMAIN WHERE SCREENING LANDSCAPE CAN BE LOCATED ONSITE

EXISTING CANOPY 6 MPD'S

SEE "GRADING - PARKING LOT PLANTERS" DETAIL

145 SQ FT PARKING LOT LANDSCAPING. NO TREE IN THIS PLANTER DUE TO LIGHT POLE. TREE LOCATED CLOSE TO PARKING LOT PLANTER

PROPOSED BIKE RACK - SEE ARCH. & CIVIL PLANS

PROPOSED PARKING LOT LIGHT, TYP.

EXISTING BUILDING

EXISTING BUILDING

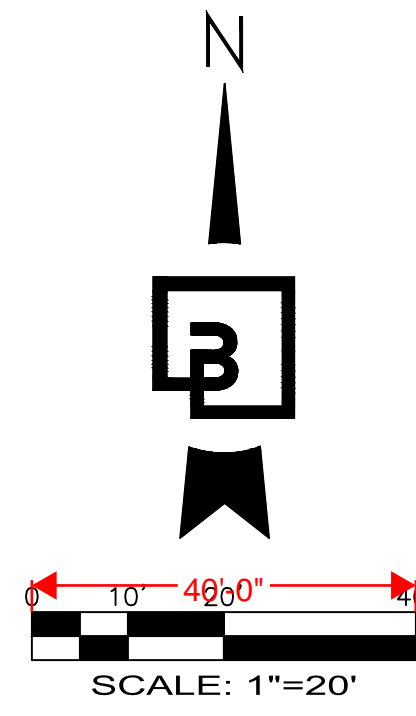
EXISTING BUILDING

EXISTING CAR WASH BUILDING

EMERGENCY EXIT DOOR

LAWN

15' W. NATIVE SCREENING LANDSCAPE



LANDSCAPE REQUIREMENTS

SITE ZONE: RETAIL COMMERCIAL - RC
NEIGHBORING ZONING: NORTH: RC, SOUTH: GC/PUD-RC, EAST: RC, WEST: RC
BUILDING DATA: CONVENIENCE STORE (RETAIL): 4,000 SF
LANDSCAPING CHAPTER 16.92: VEHICLE AREA PERIMETER: 10' (MAY BE REDUCED TO 5' IF ADJACENT SITE OF SAME USE HAS 5' MINIMUM, REF. 16.92.030 A.3))
LANDSCAPING TYPE: HIGHWAY BUFFER
LANDSCAPE PROVIDED: 7,138 SF (INCL. ADDITIONAL STALL LANDSCAPE)
PARKING LOT LANDSCAPING: 45 SQ FT PARKING LOT LANDSCAPING REQUIRED PER PARKING STALL
14 PARKING STALLS PROPOSED
45' x 14' = 630 SQ FT LANDSCAPING REQUIRED
1,345 SQ FT PROVIDED
PARKING LOT TREES: 14 STALLS PROPOSED PER 16.92.030.B.5.c.1, AND COMBINATION OF THE FOLLOWING IS REQUIRED:
ONE LARGE TREE PER 4 PARKING STALLS, OR ONE MEDIUM TREE PER 3 PARKING STALLS, OR ONE SMALL TREE PER 2 PARKING STALLS
14 / 3 = 4.6 MEDIUM TREES PROVIDED
7 TREES PROVIDED
EACH LANDSCAPE ISLAND TO BE PLANTED WITH AT LEAST 1 TREE (16.92.030.B.6.b)
MINIMUM 5% REQUIRED TO BE EVERGREEN
7 x 0.05% = 1 EVERGREEN TREE REQUIRED
2 EVERGREEN TREES PROVIDED
2 SHRUBS REQUIRED PER PARKING STALL
14 STALLS x 2 SHRUBS/STALL = 28 SHRUBS REQUIRED
MINIMUM 28 SHRUBS PROVIDED
REMAINING AREA TO BE PLANTED WITH GROUND COVER PLANTS. MULCH DOES NOT COUNT AS GROUND COVER (16.92.030.B.5.c.1 & 2)

SITE INFORMATION

ADDRESS: 21090 SOUTHWEST PACIFIC HIGHWAY
LOT AREA: 37,042± S.F. (0.85 AC)
TAX PARCEL NUMBER: 2S130DA01200
FEMA FLOOD ZONE: THE SITE IS LOCATED WITHIN ZONE X PER FEMA FLOOD MAP41067C0601F, DATED OCTOBER 10, 2018

LANDSCAPE LEGEND

SYMBOL	DESCRIPTION
	EXISTING TREE TO BE RETAINED. PROTECT DURING CONSTRUCTION
	EXISTING LANDSCAPING TO BE RETAINED. RETURN ANY IMPACTED AREAS TO PRE-CONSTRUCTION CONDITION AFTER WORK IS COMPLETED
	EXISTING SHRUBS AND GROUND COVER TO BE RETAINED. PROTECT DURING CONSTRUCTION
	EXISTING HEDGE TO BE RETAINED

PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAMES	CONDITION	SPACING	QUANTITY	REMARKS
TREES:					
	GLEDTISIA TRI. INERMIS 'MORRAINE' / THORNLESS HONEYLOCUST (MEDIUM TREE)	2" CALIPER B & B	AS SHOWN	4	NURSERY GROWN, UN-CUT LEADER, GROWN FOR STREET TREE USE
	MAGNOLIA GRANDIFLORA 'EDITH BOGUE' / EVERGREEN MAGNOLIA (MEDIUM TREE)	2" CALIPER B & B	AS SHOWN	3	NURSERY GROWN, UN-CUT LEADER, GROWN FOR STREET TREE USE
	ACER GINNALA / AMUR MAPLE (STREET TREE)	4" DBH B & B 12' HT.	AS SHOWN	2	NURSERY GROWN, UN-CUT LEADER, GROWN FOR STREET TREE USE
	PSEUDOTSUGA MENZIESII 'FASTIGIATA' / DOUGLAS FIR (NATIVE)	10' HT. B & B	AS SHOWN	20	NURSERY GROWN, UN-CUT LEADER
	ACER CIRCINATUM / VINE MAPLE (NATIVE)	10' HT. B & B	AS SHOWN	9	NURSERY GROWN, UN-CUT LEADER
SHRUBS:					
	ABELIA GRANDIFLORA / GLOSSY ABELIA (TO MATCH EXIST. HEDGE)	1-GALLON	AS SHOWN	9	FULL AND BUSHY
	VIBURNUM DAVIDII / DAVID VIBURNUM	1-GALLON	AS SHOWN	55	FULL AND BUSHY
	HELICTOTRICHON SEMP. 'SAPPHIRE' / BLUE OAT GRASS	1-GALLON	AS SHOWN	28	FULL AND BUSHY
	MAHONIA AQUIFOLIUM / TALL OREGON GRAPE (NATIVE)	1-GALLON	AS SHOWN	42	FULL AND BUSHY
	AZALEA SP. 'HINO-CRIMSON' / EVERGREEN AZALEA	1-GALLON	AS SHOWN	17	FULL AND BUSHY
	MYRICA CALIFORNICA (SYN. MORELLA CALIFORNICA) / PACIFIC WAXMYRTLE (NATIVE)	1-GALLON	AS SHOWN	12	FULL AND BUSHY
	SYMPHORICARPOS ALBUS / SNOWBERRY (NATIVE)	1-GALLON	AS SHOWN	87	FULL AND BUSHY
GROUND COVER:					
	ARCTOSTAPHYLOS UVA-URSI / KINKINNICK (NATIVE)	1 GALLON	30" O.C.	AS REQ'D	HOLD 12" FROM BORDERS, SHRUBS, AND TREES
	PACHYSANDRA TERMINALIS / KINKINNICK (FOR SHADE)	1 GALLON	30" O.C.	AS REQ'D	HOLD 12" FROM BORDERS, SHRUBS, AND TREES
	LAWN, SOD OR SEED				

No.	Date	By	Appr.	Revision
1	7/28/23	LP/JV	JMV	PRELIMINARY LANDSCAPE PLAN

Location:
STORE NO. 92138
EM3220 w/ (6) MPD'S
21090 SW PACIFIC HIGHWAY
SHERWOOD, OREGON



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DESIGNED BY: LP/JV DRAWN BY: LP/TR
CHECKED BY: LP/JV APPROVED BY: JMV
SCALE: AS NOTED PROJECT NO: 22558

PRELIMINARY LANDSCAPE PLAN

SHEET NO:
L-1

