

Moser Pass
Case File: LU 2020-020 PUD/SUB
Final Development Plan

To: Planning Commission

Application Submitted: September 27, 2023
Application Complete: January 3, 2024
120-Day Deadline: May 5, 2024
Public Hearing: February 27, 2024

From:


Joy Chang
Senior Planner

Proposal: On March 7, 2023, City Council adopted Ordinance 2023-001 approving a Planned Unit Development (PUD) and Subdivision to be known as Moser Pass PUD (Case File LU 2022-020 SUB/PUD). The applicant now proposes a Final Development Plan and Final Subdivision Plat for the PUD. Like the approved project, the Final Development/Subdivision Plat proposes a 30-lot residential subdivision and PUD with a community park on a 12.36-acre property. The property is zoned Very Low Density Residential (VLDR) and is in the Southeast Sherwood Master Plan area. The applicant is proposing a minimum lot size of 10,000 SF and overall density of approximately 3.06-units per acre.

Pursuant to the Development Code, Section 16.40.30 the Planning Commission reviews Final Development Plans for PUDs for compliance with the preliminary approval. Furthermore, if the PUD involves the subdivision of land, a final plat must be prepared and submitted for final approval, pursuant to Chapter 16.120.

The applicant's materials for Final Development Approval include a narrative, detailed final development plan, landscape plans, preliminary plat, proposed and Annexation to Denali Subdivision CC&Rs. During this phase of the project, the Planning Commission reviews the specific conditions of approval ordered at the preliminary phase of the project to ensure that it meets the intention of the preliminary approval.

I. BACKGROUND

A. **Applicant/Owner:**

J.T. Roth Construction
12600 SW 72nd #200
Portland OR 97223

Applicant's Representative:

Jennifer Arnold, Emerio Design
1500 Valley River Drive, Suite 100
Eugene, OR 97401
503-746-8812 or jarnold@emeriodesign.com

- B. Location:** 22900 SW Murdock Road (Tax Lot 2S133BC001700), northeast corner of SW Murdock Rd. and SW Upper Roy St.
- C. Parcel Size:** The site is comprised of 12.36 acres.
- D. Existing Development and Site Characteristics:** The subject site contains a single-family residence and several outbuildings. Vegetation cover at the rear of the property includes a mixture of trees, shrubs, and grass. A 0.17-acre wetland is located near the north property line and is proposed for removal and mitigation within the Tualatin River basin.
- E. Site History:** The subject site is identified as the “Moser” property and is located at the north end of the SE Sherwood Master Plan study area. The property has been occupied by a single-family residence and several outbuildings for many years. A mature forest was located behind the home towards the middle and eastern edges of the property until it was removed by the previous owner between 2006 and 2007. The site is located north of the former Ken Foster Farm site and is not known to have soil contaminants.

The site was issued a tree removal permit (AD 2022-067) and a grading permit to prepare the site for development. The site was used for parking for the Sherwood Street of Dreams event that took place on the adjacent Denali Summit development in July 2022. The grading permit allowed the site to be used for parking and required protection of the on-site wetland. The tree removal permit allowed removal of 20 of the existing 70 on-site trees.

The City Council approved a 30-lot Planned Unit Development and Subdivision (LU 2022-020 SUB/PUD) on March 7, 2023 under Ordinance 2023-001.

- F. Zoning Classification and Comprehensive Plan Designation:** Very Low Density Residential Planned Unit Development (VLDR-PUD) for residential use and single family homes.
- G. Adjacent Zoning and Land Use:** The surrounding properties to the north and south are zoned VLDR and the properties to west and across SW Murdock Road are zoned Low Density Residential Planned Unit Development (LDR-PUD). The land use is residential.
- H. Review Type:** According to § 16.40.030, upon approval of the PUD overlay zoning district and preliminary development plan by the Council, the applicant is required to prepare a detailed Final Development Plan as per this Chapter, for review and approval by the Commission. The Final Development Plan shall comply with all conditions of approval as per Section 16.40.020. In addition, if the PUD involves the subdivision of land, a final plat must be prepared and submitted for final approval, pursuant to Chapter 16.120.
- I. Neighborhood Meeting:** A neighborhood meeting is not required for Final Development Plan Applications.
- J. Public Notice:** Notice of this land use application was posted at the site on February 7, 2024 and in five public locations throughout the City on February 7, 2024. Notice was

also mailed to property owners within 1,000 feet of the site and any other party who expressed an interest in receiving mailed notice on February 7, 2024, in accordance with Section 16.72.020 of the Sherwood Zoning and Community Development Code (SZCDC). Notice was also published in the Times newspaper on February 8 and February 22, 2024.

K. Review Criteria: SZCDC§16.40 Planned Unit Development and §16.120 Subdivisions

II. PUBLIC COMMENTS

Public notice was mailed, posted on the property, and posted in five locations throughout the City on February 7, 2024. Staff did receive one email correspondence from Jesse Delia dated February 14, 2024. They are requesting the applicant and/or the city to install a crosswalk or a 4-way stop sign at the intersection of SW Upper Road St. and Murdock Road. As part of the preliminary approval for the Moser Pass SUB/PUD, intersection improvements at SW Murdock Rd/SW Upper Roy St. are required to be constructed consisting of a crosswalk and rapid flashing beacon (Condition C6), meeting their request. Additional comments from the community are welcome up to the close of the public hearing.

III. AGENCY/DEPARTMENTAL COMMENTS

Staff sent e-notice to affected agencies on January 29, 2024. All original documents are contained in the planning file and are a part of the official record on this case. The following information briefly summarizes those comments:

Sherwood Engineering Department: Staff has reviewed the proposal and states the following:

- The storm sewer location adjacent to SW Murdock Rod is in the process of being determined, if the street trees are not allowed in the landscape strip due to the storm sewer location, the required Street Trees will be placed outside the storm sewer location.
- The size of Storm Water Facility, Tract B, may get smaller in size. If Tract B is reduced in size, the abutting lots will increase their square footages that meets the minimum lot size of the zone.
- Engineering plans may need to change resulting in a change in easements that impact the final plat. Change in easement would not change lot configuration nor lot sizes.

No new conditions were recommended on behalf of the Engineering Department. **(Exhibit C).**

IV. REQUIRED FINDINGS

16.40.020 - Preliminary Development Plan

A. Generally

A PUD Preliminary Development Plan shall be submitted for the review and approval in accordance with Chapter 16.72. PUDs shall be considered: a.) on sites that are unusually constrained or limited in development potential, as compared to other land with the same underlying zoning designation, because of: natural features such as floodplains, wetlands, and extreme topography, or man-made features, such as parcel configuration and surrounding development; b.) on parcels of land within the Urban Renewal District where flexibility and creativity in design may result in greater public benefit than strict adherence to the code; or c.) in other areas deemed appropriated by Council during the adoption of a concept plan required by a Metro UGB expansion.

STAFF ANALYSIS: The applicant received approval of the PUD on March 7, 2023 under Ordinance 2023-001.

16.40.030 - Final Development Plan

A. Generally

Upon approval of the PUD overlay zoning district and preliminary development plan by the Council, the applicant shall prepare a detailed Final Development Plan as per this Chapter, for review and approval of the Commission. The Final Development Plan shall comply with all conditions of approval as per Section 16.40.020. In addition, the applicant shall prepare and submit a detailed site plan for any non-single-family structure or use not addressed under Section 16.40.020(B)(6), for review and approval, pursuant to the provisions of Chapter 16.90. The site plan shall be processed concurrently with the Final Development Plan.

B. Final Subdivision Plat

If the PUD involves the subdivision of land, a final plat must be prepared and submitted for final approval, pursuant to Chapter 16.120.

STAFF ANALYSIS: Site designs may change a little between approval at the entitlement stage and construction level documents. Some flexibility is built into the system to accommodate these kinds of small changes. Planning regularly reviews building permits to assure they are consistent with the approved entitlements. The review of a Final PUD should find that the approved project, and the project as proposed are substantially in conformance with each other. The same is true for the Final Subdivision Plat review, which is similar to the PUD Final Development Plan. More specifically this means that any of the proposed changes between the approved version of the project and the final version should continue to satisfy the original criteria used to support the project.

The submittal materials show that changes from the Preliminary Development Plans to the Final Development Plans are minor. Through additional surveys, the proposed square footage and lot dimensions of the lots are more accurate. The Very Low Density – PUD development standards are still satisfied as shown below.

The applicant has prepared and submitted a final plat for final approval, pursuant to Chapter 16.120. As stated above, the plat is consistent with the preliminary plans (e.g. number of lots, open space tracts, right-of-way dedication, etc.). Per City Engineering (Exhibit C), public improvements plans may require minor changes that would impact the final plat (easements and the sizing of Tract B). Potential changes to the plat, based on the review of public improvement plans, will not alter the project in a way that jeopardizes any of the criteria used for the original approval.

One change of note is the labeling of the Open Space Tracts. The preliminary plans showed a pedestrian path as "Tract E". The pedestrian path still exists as a pedestrian easement instead of an open space tract. The new community park is now considered Tract E and the proposal does not have a Tract F. Some Conditions of Approvals are impacted by the relabeling.

Regarding the requirement that the project comply with conditions of approval, conditions are divided into thresholds, or 'triggers.' These include triggers such as 'prior to building permit' or 'prior to occupancy of a structure.' It is important to walk through which conditions apply at this stage, and which conditions are required to be satisfied prior to this approval. The "General Conditions" are intended to be informational, such as listing expiration dates and such. These generally act more like notifications to the applicant. Other milestones are triggered by specific events. Most of these events come *after* a Final Plan is approved. Therefore, they cannot apply at this stage. For example, the applicant cannot proceed with any site disturbance until the Final Development Plan and the Final Engineering Public Improvement Plans are approved. Therefore, only conditions listed in the Conditions of Approval for LU 2022-020 SUB/PUD subsection B (Prior to Final Subdivision Plat / Final Development Plan Approval) are required to be satisfied to comply with the requirements of the code section listed above (16.40.030).

FINDING: Based on the discussion above and below, the applicant meets this criterion.

Based on the Notice of Decision, the applicant must demonstrate compliance with the following general and specific PUD Detailed Final Development Plan and Subdivision Plat requirements:

B. PRIOR TO FINAL SUBDIVISION PLAT / FINAL DEVELOPMENT PLAN APPROVAL

1. Prior to Final Plat and Final Development Plan approval, provide a revised plat that demonstrates how the minimum lot depth and minimum lot width at front property line standards are met.

ANALYSIS: The minimum lot depth for the VLDR-PUD is 80-feet and minimum lot width at front property line is 25-feet. Per the submitted Plat, Applicant's Exhibit 4, all proposed lots (Lots 1-30) meet the minimum lot depth and lot width.

FINDING: Based on the discussion above, this condition is met.

2. Prior to Final Plat approval, the applicant shall obtain Final Development Plan approval from the Planning Commission.

ANALYSIS: This application is for a Final Development Plan approval. The Planning Commission is scheduled to hold a public hearing February 27, 2024 and if approved, the condition will be satisfied.

FINDING: Based on the discussion above, this condition is met.

3. Prior to Final Plat Approval, show a clear vision area on the corners of each street intersection in accordance with SZCDC § 16.58.010 Clear Vision Areas.

ANALYSIS: The applicant provided a Clear Vision Sheet, Applicant's Exhibit E, showing the clear vision areas meeting the standards of Section 16.58.010.

FINDING: Based on the discussion above, this condition is met.

4. Prior to Final Development Plan approval, the existing access easement shall be extinguished on the subject property, or the plans shall be revised to maintain existing access within the easement.

ANALYSIS: The applicant is maintaining the existing access easement to the abutting neighbor. The applicant provided a "Supplemental Declaration for Denali Annexing Moser Pass at Denali" into the existing CC&Rs for Denali Subdivision that states the following on Page 3 of the document.

3. *Vehicular Access Easement. A vehicular access easement accessing a neighboring property to the east crosses Tract B, Tract C and portions of Lots 7-10 as shown on the plat. The Denali Homeowners Association shall maintain that portion of the easement on Tract C and the owners of Lots 7-10 shall maintain the easement crossing their individual properties. The owners of Lots 7-10 are prohibited from interfering with the easement and shall not install permanent structures, retaining walls, fencing or landscaping over the easement area.*

FINDING: Based on the discussion above, this condition is met.

5. Prior to Final Development Plan approval, provide a final Landscape Plan (including open space improvements) and Forest Restoration Plan.

ANALYSIS: The applicant provided a final Landscape Plan stamped by Clement M. Walsh, a licensed landscape architect, that included open space improvements (Applicant's Exhibit 2). A Forest Restoration Plan (AKA Moser Pass at Denali Vegetated Corridor Master Plan) was also submitted (Applicant's Exhibit C) with a certification from Nicolas Tompulis, Associate Consulting Arborist from Bartlett Tree Experts stating he approved the Forest Restoration plan (Applicant's Exhibit 2).

FINDING: Based on the discussion above, this condition is met.

6. Prior to Final Plat Approval, the applicant shall provide draft CC&Rs that demonstrate how the open space plantings, including the restored forest area, will be maintained by the developer or future HOA.

ANALYSIS: The applicant provided a “Supplemental Declaration for Denali Annexing Moser Pass at Denali” into the existing CC&Rs for Denali Subdivision that states that the open space tracts will be maintained by the Denali Homeowners Association. Specifically, page 3 of the document states the following:

1. *Common Area. The Common Area of Moser Pass at Denali shall consist of Tracts A, C, D and E. Tracts C, D and E shall be available for public use. Tract A is a road frontage visual corridor. Tracts C and D are open space. Tract E is a park. Except for the restroom facility on Tract E, the Common Area Tracts of Moser Pass at Denali shall be maintained by the Denali Homeowners Association as provided in the Declaration. If the Association fails to maintain the Common Area, the City of Sherwood may use code enforcement to ensure proper maintenance. Tract B is not Common Area, but a water quality facility which will be conveyed to the City of Sherwood. There shall be no entrance to Tract B except by authorized maintenance personnel. The restroom facility on Tract E shall be purchased, installed, maintained, repaired and replaced by the City of Sherwood. The City of Sherwood shall be responsible for setting the hours, operation, cleaning and maintenance schedule of the restroom. Tracts A, C, D and E shall be conveyed to the Denali Homeowners Association.*

FINDING: Based on the discussion above, this condition is met.

7. Prior to final plat approval, submit draft deeds for City review dedicating Open Space Tracts Tracts C, D, E, and F to the future HOA. The deeds shall be recorded with the final plat.

ANALYSIS: The applicant has submitted a draft deed dedicating Open Space Tracts (Tracts C, D, and E) to the future HOA (Applicant’s Exhibit B). The preliminary plans showed Tract E as a pedestrian path. The pedestrian path was removed as an open space “Tract” and is now reflected as a pedestrian easement on the plat. The new community park is now considered Tract E and the proposal does not have a Tract F. The final deed will be recorded with the plat.

FINDING: Based on the discussion above, this condition is met.

8. Prior to final plat approval, submit draft CC&Rs to the City that describe how Open Space Tracts Tracts C, D, E, and F will be maintained by the future HOA. The final CC&Rs shall be recorded with the final plat.

ANALYSIS: The applicant provided a “Supplemental Declaration for Denali Annexing Moser Pass at Denali” into the existing CC&Rs for Denali Subdivision that states that the open space tracts will be maintained by the Denali Homeowners Association. Specifically, page 3 of the document previously shown above. The final CC&Rs will be recorded with the plat. As previously noted, the preliminary plans showed Tract E as a pedestrian path. The pedestrian path was removed as an open space “Tract” and is now reflected as a pedestrian easement on the plat. The new community park in now considered Tract E and the proposal does not have a Tract F.

FINDING: Based on the discussion above, this condition is met.

9. Prior to final plat approval, the plat and CC&Rs shall clearly state that the open space Tracts Tracts C, D, E, and F are available for public use.

ANALYSIS: The applicant provided a “Supplemental Declaration for Denali Annexing Moser Pass at Denali” into the existing CC&Rs for Denali Subdivision that states that the open space tracts are available for public use. Specifically, page 3 of the document states the following:

1. *Common Area. The Common Area of Moser Pass at Denali shall consist of Tracts A, C, D and E. Tracts C, D and E shall be available for public use. Tract A is a road frontage visual corridor. Tracts C and D are open space. Tract E is a park. Except for the restroom facility on Tract E, the Common Area Tracts of Moser Pass at Denali shall be maintained by the Denali Homeowners Association as provided in the Declaration. If the Association fails to maintain the Common Area, the City of Sherwood may use code enforcement to ensure proper maintenance. Tract B is not Common Area, but a water quality facility which will be conveyed to the City of Sherwood. There shall be no entrance to Tract B except by authorized maintenance personnel. The restroom facility on Tract E shall be purchased, installed, maintained, repaired and replaced by the City of Sherwood. The City of Sherwood shall be responsible for setting the hours, operation, cleaning and maintenance schedule of the restroom. Tracts A, C, D and E shall be conveyed to the Denali Homeowners Association.*

As previously noted, the preliminary plans showed Tract E as a pedestrian path. The pedestrian path was removed as an open space “Tract” and is now reflected as a pedestrian easement on the plat. The new community park in now considered Tract E and the proposal does not have a Tract F.

FINDING: Based on the discussion above, this condition is met.

10. Prior to Final Plat Approval, submit draft CC&Rs demonstrating how visual corridor Tract A will be owned and maintained by the future HOA.

ANALYSIS: The applicant provided a “Supplemental Declaration for Denali Annexing Moser Pass at Denali” into the existing CC&Rs for Denali Subdivision

that states that the Tract A, visual corridor, will be maintained by the Denali Homeowners Association. Specifically, page 3 of the document states the following:

1. Common Area. The Common Area of Moser Pass at Denali shall consist of Tracts A, C, D and E. Tracts C, D and E shall be available for public use. Tract A is a road frontage visual corridor. Tracts C and D are open space. Tract E is a park. Except for the restroom facility on Tract E, the Common Area Tracts of Moser Pass at Denali shall be maintained by the Denali Homeowners Association as provided in the Declaration. If the Association fails to maintain the Common Area, the City of Sherwood may use code enforcement to ensure proper maintenance. Tract B is not Common Area, but a water quality facility which will be conveyed to the City of Sherwood. There shall be no entrance to Tract B except by authorized maintenance personnel. The restroom facility on Tract E shall be purchased, installed, maintained, repaired and replaced by the City of Sherwood. The City of Sherwood shall be responsible for setting the hours, operation, cleaning and maintenance schedule of the restroom. Tracts A, C, D and E shall be conveyed to the Denali Homeowners Association.

FINDING: Based on the discussion above, this condition is met.

11. Prior to Final Plat Approval, any septic system within the subject property shall be abandoned/removed in accordance with all applicable regulations.

ANALYSIS: The applicant provided documentation of the septic tank decommission/abandonment dated August 31, 2023 (Applicant's Exhibit F).

FINDING: Based on the discussion above, this condition is met.

12. Prior to Final Plat Approval, any well within the subject property shall be abandoned/removed in accordance with all applicable regulations.

ANALYSIS: The applicant provided well decommissioning documentation (Applicant's Exhibit 3) certifying the well has been abandoned October 9, 2023.

FINDING: Based on the discussion above, this condition is met.

13. Prior to Final Development Plan Approval, a new park identified as Tract F shall be provided in the location of Lots 30 – 32. The design of the park and amenities described below shall be owned and maintained by the HOA unless indicated otherwise. The park and amenity design shall receive approval by the Planning Commission as part of the Final Development Plan

a. Park shall include trees and landscaping

ANALYSIS: Sheet L101 of the Applicant's Exhibit 2 includes trees and landscaping as part of the community park.

b. Park shall include lighting

ANALYSIS: A Lighting Plan has been submitted showing lighting for the community park (Applicant's Exhibit C).

c. Park shall include a minimum flat area of 20,000 SF that is ADA accessible from the public street. Required amenities can be located in flat area.

ANALYSIS: The community park, Tract E, is 32,746 square feet exceeding the minimum area of 20,000 square feet. The proposed park is adjacent to a public street and can be made ADA accessible. The proposed park does include park amenities as shown on the Applicant's Exhibit D.

d. Park shall include a sports court / facility based on an identified need or community desire in the 2021 Parks Master Plan.

ANALYSIS: The proposed park does include a basketball court as shown on the Applicant's Exhibit D.

e. Park shall include a gazebo or other covered structure with tables and seating (minimum 600 SF)

ANALYSIS: The proposed park does include a covered gazebo with a structure area of 600 square feet as shown on the Applicant's Exhibit D.

f. Park shall include minimum of two benches outside the covered structure

ANALYSIS: The proposed park does include two park benches, outside the covered structure, along the pedestrian path as shown on the Applicant's Exhibit D.

g. Park shall include a new restroom to match the existing restroom at Cannery Square, or a similar design approved by the Planning Commission. The developer shall be responsible for the installation of underground electrical and plumbing and construction of a concrete pad in the final location of the restroom. The City shall be responsible for purchasing, installing, and long-term maintenance of the restroom. The City shall be responsible for setting the hours of operation, cleaning, and maintenance schedule of the restroom.

ANALYSIS: The proposed park does include a new restroom matching the existing restroom at the Cannery Square as shown on the Applicant's Exhibit D. Coordination with City of Sherwood Public Works Department will be on-going.

h. Parallel on-street parking shall be provided along the south side of Upper Roy street adjacent to the park

ANALYSIS: Parallel on-street parking will be provided along the south side of SW Curry Ridge Drive (formally proposed Upper Road St.) adjacent to the park as reflected on the Applicant's Exhibit D.

- i. Park area can be reduced on a per square foot basis for any off-street parking and drive aisles provided that meet the dimensional requirements of SZCDC 16.94.020(B)

ANALYSIS: Per Applicant’s Exhibit D, off-street parking is not proposed for the community park. This Condition of Approval is not being considered.

OVERALL FINDING: Based on the analysis above, this condition is met.

- 14. Prior to Final Plat Approval, submit draft CC&Rs that demonstrate how Tract F will be owned and maintained by the future HOA. The CC&Rs shall be recorded with the final plat.

ANALYSIS: The applicant provided a “Supplemental Declaration for Denali Annexing Moser Pass at Denali” into the existing CC&Rs for Denali Subdivision that states that the Tract E, community park, will be owned and maintained by the Denali Homeowners Association. Specifically, page 3 of the document states the following:

- 1. *Common Area. The Common Area of Moser Pass at Denali shall consist of Tracts A, C, D and E. Tracts C, D and E shall be available for public use. Tract A is a road frontage visual corridor. Tracts C and D are open space. Tract E is a park. Except for the restroom facility on Tract E, the Common Area Tracts of Moser Pass at Denali shall be maintained by the Denali Homeowners Association as provided in the Declaration. If the Association fails to maintain the Common Area, the City of Sherwood may use code enforcement to ensure proper maintenance. Tract B is not Common Area, but a water quality facility which will be conveyed to the City of Sherwood. There shall be no entrance to Tract B except by authorized maintenance personnel. The restroom facility on Tract E shall be purchased, installed, maintained, repaired and replaced by the City of Sherwood. The City of Sherwood shall be responsible for setting the hours, operation, cleaning and maintenance schedule of the restroom. Tracts A, C, D and E shall be conveyed to the Denali Homeowners Association.*

As previously noted, the preliminary plans showed Tract E as a pedestrian path. The pedestrian path was removed as an open space “Tract” and is now reflected as a pedestrian easement on the plat. The new community park is now considered Tract E and the proposal does not have a Tract F.

FINDING: Based on the above discussion, this condition is met.

V. RECOMMENDATION

Based on a review of the applicable code provisions, agency comments, and staff review, staff finds that the Final Development plan meets the applicable review criteria. Therefore, Staff recommends that the Planning Commission **APPROVE** the Moser Pass PUD Final Development Plan and Final Subdivision Plat (**Case File LU 2022-020 SUB/PUD**).

VI. EXHIBITS

- A. Applicant's materials submitted on September 27, 2023 and January 3, 2024 (Binder)
- B. On-going Conditions of Approval
- C. City of Sherwood Engineering email correspondence of February 12, 2024
- D. Jesse Delia email correspondence dated February 14, 2024

**APPLICANT'S MATERIALS
EXHIBIT A**



Home of the Tualatin River National Wildlife Refuge

Case No. _____
Fee _____
Receipt # _____
Date _____
TYPE _____

City of Sherwood Application for Land Use Action

Type of Land Use Action Requested: (check all that apply)

- Annexation
- Plan Amendment (Proposed Zone _____)
- Planned Unit Development
- Site Plan (square footage of building and parking area)
- Variance (list standards to be varied in description)
- Conditional Use
- Partition (# of lots _____)
- Subdivision (# of lots _____)
- Other: Final Plat & Development Plan Approval

By submitting this form the Owner, or Owner's authorized agent/ representative, acknowledges and agrees that City of Sherwood employees, and appointed or elected City Officials, have authority to enter the project site at all reasonable times for the purpose of inspecting project site conditions and gathering information related specifically to the project site.

Note: See City of Sherwood current Fee Schedule, which includes the "Publication/Distribution of Notice" fee, at www.sherwoodoregon.gov. Click on Government/Finance/Fee Schedule.

Owner/Applicant Information:

Applicant: Emerio Design - Jennifer Arnold Phone: 503-746-8812
 Applicant Address: 1500 Valley River Drive Suite 100, Eugene, OR 97401 Email: jamold@emeriodesign.com
 Owner: JT Roth Construction Phone: 503-639-2639
 Owner Address: 12600 SW 72nd Ave Suite 200, Tigard, OR 97223 Email: kenzier@jtrothinc.com
 Contact for Additional Information: Same as Applicant

Property Information:

Street Location: 22900 SW Murdock Rd.
 Tax Lot and Map No: 2S133BC0; Tax Lot 1700
 Existing Structures/Use: Residential
 Existing Plan/Zone Designation: VLDR
 Size of Property(ies) 12.36 acres

Proposed Action:

Purpose and Description of Proposed Action:

Seeking final development plan approval from the Planning Commission for LU2022-020 SUB/PUD
Seeking final plat approval from the Planning Department for LU2022-020 SUB/PUD

Proposed Use: Approved residential subdivision

Proposed No. of Phases (one year each): 1 phase

LAND USE APPLICATION FORM

Authorizing Signatures:

I am the owner/authorized agent of the owner empowered to submit this application and affirm that the information submitted with this application is correct to the best of my knowledge.

I further acknowledge that I have read the applicable standards for review of the land use action I am requesting and understand that I must demonstrate to the City review authorities compliance with these standards prior to approval of my request.

Jennifer Arnold
Digitally signed by Jennifer Arnold
DN: C=US, E=jarnold@emeriodesign.com,
O=Emerio Design, CN=Jennifer Arnold
Date: 2023.09.13 15:35:52-07'00'

9/13/2023

Applicant's Signature

Date



9/14/23

Owner's Signature

Date

The following materials must be submitted with your application or it will not be accepted at the counter. Once taken at the counter, the City has up to 30 days to review the materials submitted to determine if we have everything we need to complete the review. Applicant can verify submittal includes specific materials necessary for the application per checklist.

3 Copies of Application Form* completely filled out and signed by the property owner (or person with authority to make decisions on the property).

Copy of Deed to verify ownership, easements, etc.

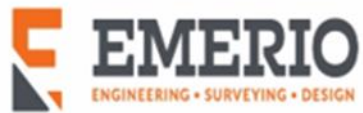
At least 3 folded sets of plans*

At least 3 copies of narrative addressing application criteria*

Fee (along with calculations utilized to determine fee if applicable)

Neighborhood Meeting Verification including affidavit, sign-in sheet and meeting summary (required for Type III, IV and V projects)

* **Note** that the required numbers of copies identified on the checklist are required for completeness; however, upon initial submittal applicants are encouraged to submit only 3 copies for completeness review. Prior to completeness, the required number of copies identified on the checklist and one full electronic copy will be required to be submitted.



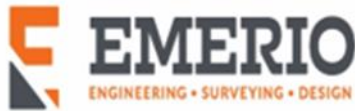
Moser Pass At Denali Final Development Plan

Prepared for:
JT Roth Construction

Prepared by:



1500 Valley River Drive, Suite 100
Eugene, OR 97401
503.746.8812
emeriodesign.com



APPLICANT: Kehoe Northwest Properties
11627 S. Summerville Ave.
Portland, OR 97219

**CIVIL ENGINEER,
PLANNING &**

SURVEYOR: Emerio Design, LLC
6445 SW Fallbrook Pl., Suite 100
Beaverton, OR 97008

Roy Hankins, P.E.
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roy@emeriodesign.com

Jennifer Arnold, Land Use Department Manager
(503) 746-8812
jarnold@emeriodesign.com

SITE

LOCATION: The 12.36-acre subject property is located at 22900 SW Murdock Road

TAX LOTS: 2S133BC0; Tax Lot 1700

SITE SIZE: The subject site totals 12.36 acres in size.

ZONING: VLDR

REQUEST: The applicant is seeking approval of final development plan by demonstrating compliance with all conditions of approval that are specifically required prior to development plan approval.

I. INTRODUCTION

On March 7, 2023, JT Roth Construction received approval for a 30-lot subdivision/planned unit development that included an open space area with pedestrian path connections and a public park. As conditioned, the applicant is required to go back to the Planning Commission to seek final development plan approval and demonstrate compliance with specific conditions listed below.

B. PRIOR TO FINAL SUBDIVISION PLAT / FINAL DEVELOPMENT PLAN APPROVAL

1. Prior to Final Plat and Final Development Plan approval, provide a revised plat that demonstrates how the minimum lot depth and minimum lot width at front property line standards are met.

4. Prior to Final Development Plan approval, the existing access easement shall be extinguished on the subject property, or the plans shall be revised to maintain existing access within the easement.



5. Prior to Final Development Plan approval, provide a final Landscape Plan (including open space improvements) and Forest Restoration Plan.

13. Prior to Final Development Plan Approval, a new park identified as Tract F shall be provided in the location of Lots 30 – 32. The design of the park and amenities described below shall be owned and maintained by the HOA unless indicated otherwise. The park and amenity design shall receive approval by the Planning Commission as part of the Final Development Plan

- a. Park shall include trees and landscaping
- b. Park shall include lighting
- c. Park shall include a minimum flat area of 20,000 SF that is ADA accessible from the public street. Required amenities can be located in flat area.
- d. Park shall include a sports court / facility based on an identified need or community desire in the 2021 Parks Master Plan.
- e. Park shall include a gazebo or other covered structure with tables and seating (minimum 600 SF)
- f. Park shall include minimum of two benches outside the covered structure
- g. Park shall include a new restroom to match the existing restroom at Cannery Square, or a similar design approved by the Planning Commission. The developer shall be responsible for the installation of underground electrical and plumbing and construction of a concrete pad in the final location of the restroom. The City shall be responsible for purchasing, installing, and long-term maintenance of the restroom. The City shall be responsible for setting the hours of operation, cleaning, and maintenance schedule of the restroom.
- h. Parallel on-street parking shall be provided along the south side of Upper Roy street adjacent to the park
- i. Park area can be reduced on a per square foot basis for any off-street parking and drive aisles provided that meet the dimensional requirements of SZCDC 16.94.020(B)

(...)

The applicant is required to submit materials demonstrating compliance with conditions of approval 2, 3, 6-12 and 14 to receive final plat approval. Condition of approval 2 requires the applicant to obtain final development plan approval from the Planning Commission prior to submitting for final plat approval. All other conditions of approval are required to be satisfied generally throughout the project, prior to approval of public improvement plans, prior to issuance of building permits, or prior to issuance of public improvements.

Tract Changes: As proposed at the Planning Commission level, the site plan had Tract A (the Murdock landscape tract), Tract B (Water Quality Facility), Tract C (trail/reforested open space), Tract D (open space joining development to the south), and Tract E (pedestrian path from the cul-de-sac to Murdock). When this application was at the City Council level, the applicant was required to remove lots in favor of Tract F (new park) with required park elements. The applicant went back to City Council to present a park tract but also made the Tract E pedestrian path an easement which renamed the tracts throughout the



site. This made the newly required park Tract E and there is no Tract F. Although these changes were discussed with staff and the City Council, the conditions of approval were never updated with the proper Tract references. Tract E has all the required elements as conditioned for Tract F, but the project no longer has a Tract F.

II. RESPONSES TO CONDITIONS OF APPROVAL SPECIFIC TO FINAL DEVELOPMENT PLAN APPROVAL

Response to Condition of approval B1: Minimum lot width at front property line for this zone is 25 feet according to 16.12.030.C. As shown on the submitted plat (Exhibit A), minimum lot widths at the front property line are met. Lot depth is shown on the submitted plat (Exhibit A) and the standard is demonstrated to be met.

Response to Condition of approval B4: The existing access easement along the northern property line to access to an adjacent property is proposed to remain. The HOA is responsible for maintaining this access easement and the homeowners of lots 7-10 are prohibited from interfering with the easement as stated in the submitted CC&R supplemental declaration (Exhibit B).

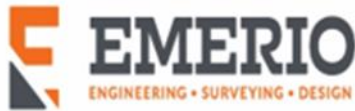
Response to Condition of approval B5: The submitted landscape plan includes the open space improvements on Tract E (previously Tract F) for the new park. The submitted reforestation plan calls out the proposed plant units, maintenance, and reforestation limits. The landscape and reforestation plans can be found in Exhibit C.

Response to Condition of approval B13: A Park exhibit (Exhibit D) was submitted to demonstrate compliance with all aspects of condition of approval 13. Included on the park exhibit are trees and landscaping (details are also included in Exhibit C), lighting, an ADA compliant area of 29,000 square feet is provided (exceeding the minimum required area per conditions of approval), two sport court/facilities are shown (Bocce Ball Court & Horseshoe Pits), A gazebo with seating area, a bathroom area (the developer will stub all utilities to the concrete pad), parallel on-street parking is provided, but no off-street parking is provided.

Parks Master Plan Chapter 3 include recommended resources, size and access, and additional potential resources for new community parks. The applicant has proposed (see Exhibit D) park amenities aligned with the Chapter 3 Parks Master Plan guidelines. As shown on Exhibit D, the new community park on Tract E includes a natural playground play area, picnic table and benches, open lawn area for sitting and informal play, pathways connecting park amenities, additional play features (bocci ball and horseshoe pits), a permanent restroom will be provided, drinking fountains, and the park is located on a local street with frontage for visibility.

Tract C is an open space tract that completes a trail system from adjacent development, includes reforestation of the hillside and has multiple access points from the local street. A Pathway system connecting internal park facilities is listed in the Chapter 3 Parks Master Plan guidelines for recommended facilities and the sidewalk system within this subdivision connects pedestrians from Tract E to the trail within Tract C.

Additionally, Chapter 3 of the Parks Master Plan includes recommended resources, size and access, and additional potential resources for new neighborhood parks. Access to Tract E (new park) is from a local

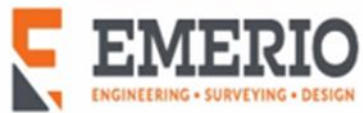


public street and adjacent to the front facades of adjacent development meeting access guidelines. Several of the recommended resources and additional resources included in this section are also shown on Exhibit D. These resources include small scale active recreation (horseshoe pits), drinking fountains, restrooms, pedestrian lighting, internal pathway system, perimeter sidewalks, open lawn area, trees, picnic table and benches. Lastly, the same chapter of the Parks Master Plan includes guidelines for pocket parks. Tract E is larger than the typical size for pocket parks (typically less than ½ acre) but offers many of the recommended resources duplicated in the community and neighborhood park guidelines.

This subdivision offers 2.42 acres of active recreation open space between Tract C and Tract E.

III. CONCLUSION

The applicant has submitted required materials to demonstrate compliance with applicable conditions of approval and respectfully requests Planning Commission approval for the final development plan.



Moser Pass At Denali Final Plat

Prepared for:
JT Roth Construction

Prepared by:



1500 Valley River Drive, Suite 100
Eugene, OR 97401
503.746.8812
emeriodesign.com



APPLICANT: Kehoe Northwest Properties
11627 S. Summerville Ave.
Portland, OR 97219

**CIVIL ENGINEER,
PLANNING &**

SURVEYOR: Emerio Design, LLC
6445 SW Fallbrook Pl., Suite 100
Beaverton, OR 97008

Roy Hankins, P.E.
(503) 746-8812
roy@emeriodesign.com

Jennifer Arnold, Land Use Department Manager
(503) 746-8812
jarnold@emeriodesign.com

SITE

LOCATION: The 12.36-acre subject property is located at 22900 SW Murdock Road

TAX LOTS: 2S133BC0; Tax Lot 1700

SITE SIZE: The subject site totals 12.36 acres in size.

ZONING: VLDR

REQUEST: The applicant is seeking approval of final plat approval by demonstrating compliance with all conditions of approval that are specifically required prior to plat approval.

I. INTRODUCTION

On March 7, 2023, JT Roth Construction received approval for a 30-lot subdivision/planned unit development that included an open space area with pedestrian path connections and a public park. As conditioned, the applicant is required seek final plat approval and demonstrate compliance with specific conditions listed below.

B. PRIOR TO FINAL SUBDIVISION PLAT / FINAL DEVELOPMENT PLAN APPROVAL

1. Prior to Final Plat and Final Development Plan approval, provide a revised plat that demonstrates how the minimum lot depth and minimum lot width at front property line standards are met.

2. Prior to Final Plat approval, the applicant shall obtain Final Development Plan approval from the Planning Commission.



- 3. Prior to Final Plat Approval, show a clear vision area on the corners of each street intersection in accordance with SZCDC § 16.58.010 Clear Vision Areas.*
- 6. Prior to Final Plat Approval, the applicant shall provide draft CC&Rs that demonstrate how the open space plantings, including the restored forest area, will be maintained by the developer or future HOA.*
- 7. Prior to final plat approval, submit draft deeds for City review dedicating Open Space Tracts Tracts C, D, E, and F to the future HOA. The deeds shall be recorded with the final plat.*
- 8. Prior to final plat approval, submit draft CC&Rs to the City that describe how Open Space Tracts C, D, E, and F will be maintained by the future HOA. The final CC&Rs shall be recorded with the final plat.*
- 9. Prior to final plat approval, the plat and CC&Rs shall clearly state that the open space Tracts Tracts C, D, E, and F are available for public use.*
- 10. Prior to Final Plat Approval, submit draft CC&Rs demonstrating how visual corridor Tract A will be owned and maintained by the future HOA.*
- 11. Prior to Final Plat Approval, any septic system within the subject property shall be abandoned/removed in accordance with all applicable regulations.*
- 12. Prior to Final Plat Approval, any well within the subject property shall be abandoned/removed in accordance with all applicable regulations.*
- 14. Prior to Final Plat Approval, submit draft CC&Rs that demonstrate how Tract F will be owned and maintained by the future HOA. The CC&Rs shall be recorded with the final plat.*

The applicant is required to submit materials demonstrating compliance with conditions of approval 2, 3, 6-12 and 14 to receive final plat approval. Condition of approval 2 requires the applicant to obtain final development plan approval from the Planning Commission prior to submitting for final plat approval, however City Staff has indicated the review for Final Plat and Final Development Plan are reviewed concurrently. All other conditions of approval are required to be satisfied generally throughout the project, prior to approval/issuance of public improvement plans, prior to issuance of building permits, or prior to issuance of public improvements.

Tract Changes: As proposed at the Planning Commission level, the site plan had Tract A (the Murdock landscape tract), Tract B (Water Quality Facility), Tract C (trail/reforested open space), Tract D (open space joining development to the south), and Tract E (pedestrian path from the cul-de-sac to Murdock). When this application was at the City Council level, the applicant was required to remove lots in favor of Tract F (new park) with required park elements. The applicant went back to City Council to present a park tract but also made the Tract E pedestrian path, an easement which renamed the tracts throughout the site. This made the newly required park Tract E and there is no Tract F. Although these changes were discussed with staff and the City Council, the conditions of approval were never updated with the proper Tract references. Tract E has all the required elements as conditioned for Tract F, but the project no longer has a Tract F.



II. RESPONSES TO CONDITIONS OF APPROVAL SPECIFIC TO FINAL DEVELOPMENT PLAN APPROVAL

Response to Condition of approval B1: Minimum lot width at front property line for this zone is 25 feet according to 16.12.030.C. As shown on the submitted plat (Exhibit A), minimum lot widths at the front property line are met. Lot depth is shown on the submitted plat (Exhibit A) and the standard is demonstrated to be met.

Response to Condition of approval B2: Application submitted September 26, 2023, requesting Planning Commission approval of the Final Development Plan

Response to Condition of approval B3: Clear vision areas are shown on Exhibit E and are mostly within the public utility easement along the frontage of applicable lots. No structures or sight obstructions are proposed for those areas.

Response to Condition of approval B6: Exhibit B includes the CC&R declaration to comply with this condition of approval. Maintenance of all public open space tracts is clearly listed as the responsibility of the HOA in Exhibit B. If maintenance falls below City standards, code enforcement action is expected to be taken.

Response to Condition of approval B7: The draft deed is included with Exhibit B to declare HOA ownership of public open space tracts.

Response to Condition of approval B8: Exhibit B includes the CC&R declaration to comply with this condition of approval.

Response to Condition of approval B9: Exhibit B includes the CC&R declaration which states all open space tracts are available for public use.

Response to Condition of approval B10: Exhibit B includes the CC&R declaration to comply with this condition of approval. Tract A is included with all other tracts to be owned and maintained by the HOA.

Response to Condition of approval B11: Septic Tank Decommissioning Form included with submittal under Exhibit F.

Response to Condition of approval B12: The Applicant had the well decommissioned on September 22, 2023.

Response to Condition of approval B14: Tract F no longer exists with this project, but the Applicant believes this condition is associated with the park tract which is Tract E and included in the CC&Rs of Exhibit B. All requirements imposed for Tract F are captured within Tract E and Exhibit B clearly demonstrates compliance with this condition of approval.

III. CONCLUSION

The applicant has submitted required materials to demonstrate compliance with applicable conditions of approval and respectfully requests approval of the final plat.



Moser Pass At Denali Final Development Plan

Prepared for:
JT Roth Construction

Prepared by:



1500 Valley River Drive, Suite 100
Eugene, OR 97401
503.746.8812
emeriodesign.com



APPLICANT: JT Roth Construction
12600 SW 72nd Avenue
Portland, OR 97223

**CIVIL ENGINEER,
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SURVEYOR: Emerio Design, LLC
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SITE

LOCATION: The 12.36-acre subject property is located at 22900 SW Murdock Road

TAX LOTS: 2S133BC0; Tax Lot 1700

SITE SIZE: The subject site totals 12.36 acres in size.

ZONING: VLDR

REQUEST: The applicant is seeking approval of final development plan and final plat by demonstrating compliance with all conditions of approval that are specifically required. This submittal specifically addresses the incompleteness items included in the October 24, 2023, incompleteness letter.

I. INTRODUCTION

On March 7, 2023, JT Roth Construction received approval for a 30-lot subdivision/planned unit development that included an open space area with pedestrian path connections and a public park. The applicant submitted materials to demonstrate compliance with all required conditions of approval for final development plan and final plat approval on September 27, 2023. On October 24, 2023, the applicant received a letter of incompleteness listing the needed materials.



II. INCOMPLETENESS LETTER ITEMS

3. Prior to Final Plat Approval, show a clear vision area on the corners of each street intersection in accordance with SZCDC § 16.58.010 Clear Vision Areas.

Exhibit E shows the clear vision areas but needs to include dimensions with labels. Please revise Exhibit E that include the dimensional requirements for the clear vision areas.

Applicant Response: Exhibit E has been updated to include dimensions for each of the clear vision triangles. The standards of SZCDC 16.58.010 are shown to be met.

5. Prior to Final Development Plan approval, provide a final Landscape Plan (including open space improvements) and Forest Restoration Plan.

The Landscape and the Forest Restoration Plans must be certified by a licensed landscape architect and a Certified Arborist. Please provide their certification stamps.

Applicant Response: The applicant has included the updated Landscape Plan with appropriate certification information by the required professional. Also included in this submittal is a memo by the project Arborist certifying the Forest Restoration Plan.

7. Prior to final plat approval, submit draft deeds for City review dedicating Open Space Tracts C, D, E, and F to the future HOA. The deeds shall be recorded with the final plat.

Exhibit B is a Supplemental Declaration for Denali Annexing Moser Plass at Denali. The draft Deeds were not submitted. See attached example.

Applicant Response: The Bargain and Sale Deed has been included in this submittal to demonstrate compliance with the above requirement.

11. Prior to Final Plat Approval, any septic system within the subject property shall be abandoned/removed in accordance with all applicable regulations.

Per Applicant's Exhibit F, the Septic Tank was decommissioned on August 31, 2023. However, Washington County Environmental Health does not have the septic tank decommission (abandonment) documentation on file. Please submit to Washington County Environmental health the required documentation for their files.

Applicant Response: Septic decommissioning materials were sent to Washington County in October 2023 to reflect in their system.



13. Prior to Final Development Plan Approval, a new park identified as Tract F shall be provided in the location of Lots 30 – 32. The design of the park and amenities described below shall be owned and maintained by the HOA unless indicated otherwise. The park and amenity design shall receive approval by the Planning Commission as part of the Final Development Plan

- a. Park shall include trees and landscaping
- b. Park shall include lighting

Submit a lighting plan.

- c. Park shall include a minimum flat area of 20,000 SF that is ADA accessible from the public street. Required amenities can be located in flat area.
- d. Park shall include a sports court / facility based on an identified need or community desire in the 2021 Parks Master Plan.

Per the Sherwood's Parks Master Plan, the proposed bocce ball court and horseshoe pits are not considered sports courts. Examples of sports court are tennis, basketball, pickleball, and volleyball courts.

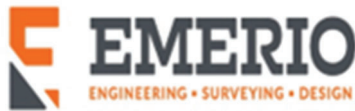
- e. Park shall include a gazebo or other covered structure with tables and seating (minimum 600 SF)

The gazebo needs to be a minimum of 600 SF. Please modify the plans to reflect a gazebo or other covered structure meeting the minimum of 600 SF.

- f. Park shall include minimum of two benches outside the covered structure.
- g. Park shall include a new restroom to match the existing restroom at Cannery Square, or a similar design approved by the Planning Commission. The developer shall be responsible for the installation of underground electrical and plumbing and construction of a concrete pad in the final location of the restroom. The City shall be responsible for purchasing, installing, and long-term maintenance of the restroom. The City shall be responsible for setting the hours of operation, cleaning, and maintenance schedule of the restroom.

See attached details for the restrooms. Coordination with Sherwood Public Works will need to be ongoing.

Applicant Response: The lighting shown on the park plan exhibit (Exhibit D) is consistent with the submitted lighting plan to address the comment above. The applicant has removed the bocce ball court and horseshoe pits from the plan and has replaced those facilities with a basketball court to meet the desire of the City. The gazebo is shown to have an 'interior' area of 600 sf, includes a picnic table and lighting (lighting also reflected in the submitted lighting plan). The restroom detail has been added for reference and remaining Public Works conditions are ongoing.



PLAT COMMENTS

1. *Sherwood Engineering Department reviewed the plat stating that necessary easements for city utilities need to match the submitted engineering plans (see attached). The Plat should also label all the Open Space Tracts (Tract C and Tract D missing labels).*
2. *Plat Declaration Page and Plat Notes needs to be submitted.*
3. *The application identified the plat as “Tentative”. Please submit the latest with the above requested changes.*

Applicant Response: A final plat prepared by a licensed surveyor has been included with this submittal. The submitted plat labels all tracts, easements and ‘Tentative’ have been removed.

III. CONCLUSION

The applicant has submitted required materials to demonstrate compliance with applicable conditions of approval and respectfully requests Planning Commission approval for the final development plan.

Attached Exhibits:

- Exhibit 1: Pedestrian Guard Rail for Steep Slopes
- Exhibit E: Clear Vision
- Exhibit 2: Landscape & Forest Restoration Plans
- Exhibit B: Deed
- Exhibit 3: Well Decommissioning
- Exhibit D: Tract E Park (Lighting & Amenities)
- Exhibit 4: Plat

Exhibit 1

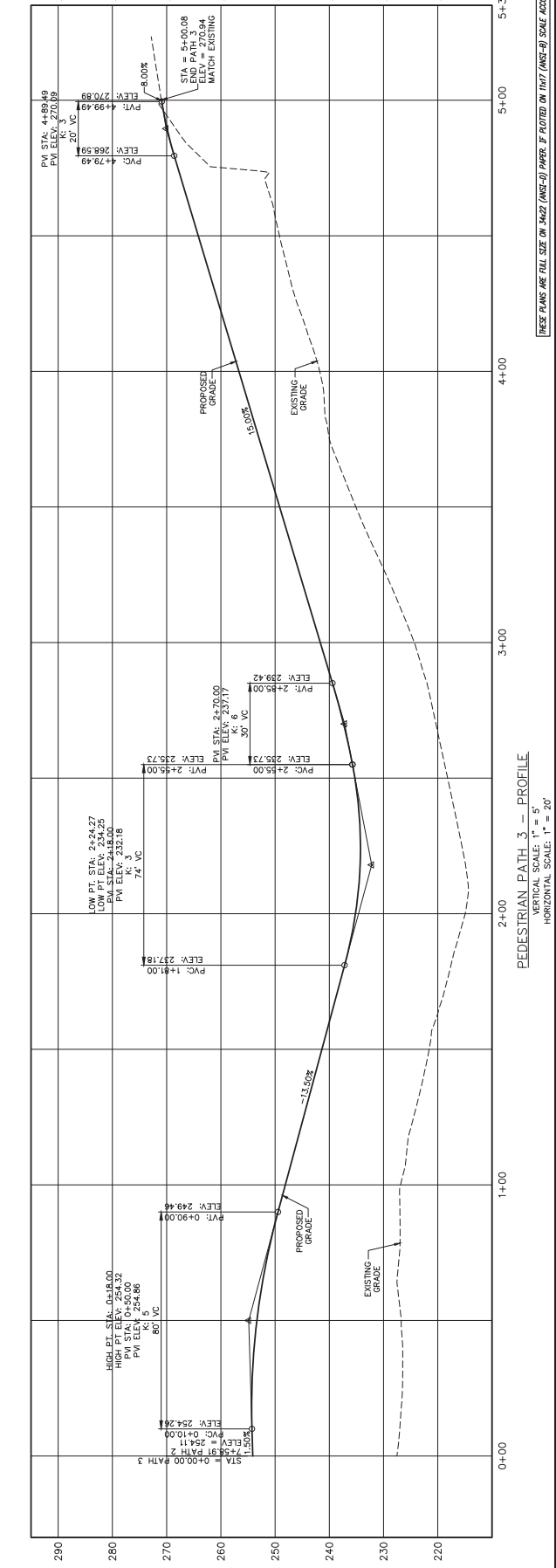
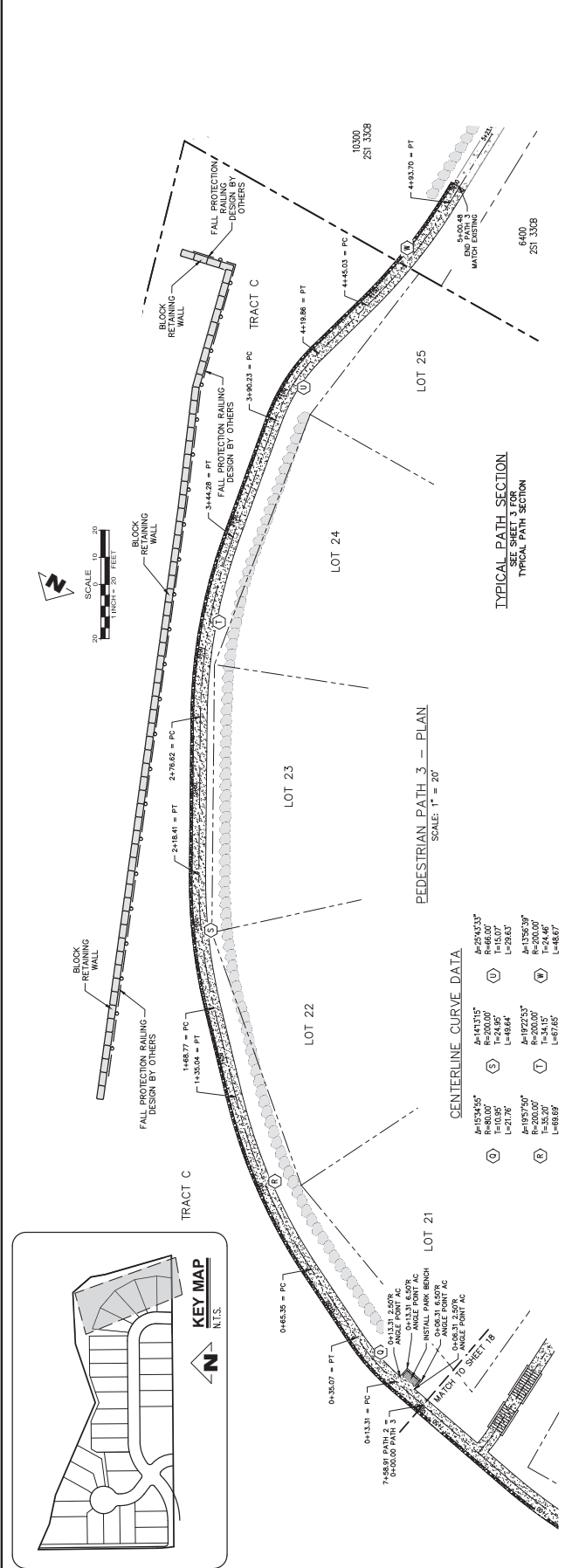
Pedestrian Guard Rail Exhibit

PEDESTRIAN PATH 3
PLAN AND PROFILE

NO.	DATE	DESCRIPTION



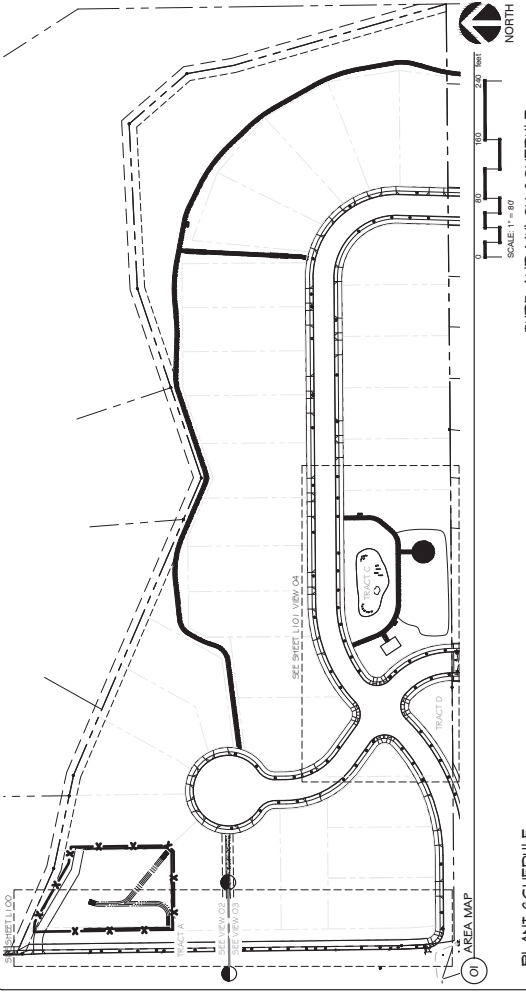
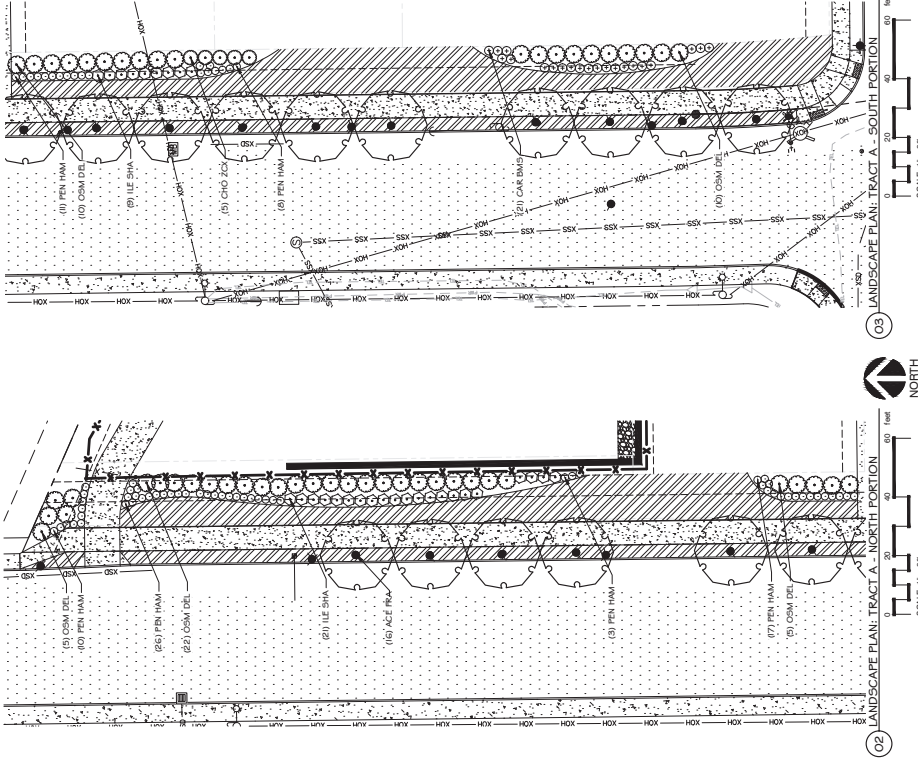
EMERIO ENGINEERING
445 SW TALLECK PLACE, SUITE 100
BEAVERTON, OREGON 97008
TEL: (503) 638-9262
WWW.EMERIOENGINEERING.COM



THESE PLANS ARE FULL SIZE ON WALZ (ANSI-C) PAPER. IF PLOTTED ON 11x17 (ANSI-B) SCALE ACCORDINGLY.

Exhibit 2

Landscape & Forest
Restoration Plans



TURF AND MULCH SCHEDULE

SYMBOL	DESCRIPTION
(Pattern)	Lawn
(Pattern)	PT 750 BURE Eco Turf Mix Includes: Penstemon rigidosus, Liatris pinnata, Hebe pinnata, Fuchsia magellanica, White Wax, Achillea millefolium, Salix purpurea, Salix glauca, Sweet Alyssum, Lobelia maritima, Ajacis at 2 lbs/1000 sqft
(Pattern)	PT 750 BURE Eco Turf Mix Includes: Penstemon rigidosus, Liatris pinnata, Hebe pinnata, Fuchsia magellanica, White Wax, Achillea millefolium, Salix purpurea, Salix glauca, Sweet Alyssum, Lobelia maritima, Ajacis at 2 lbs/1000 sqft

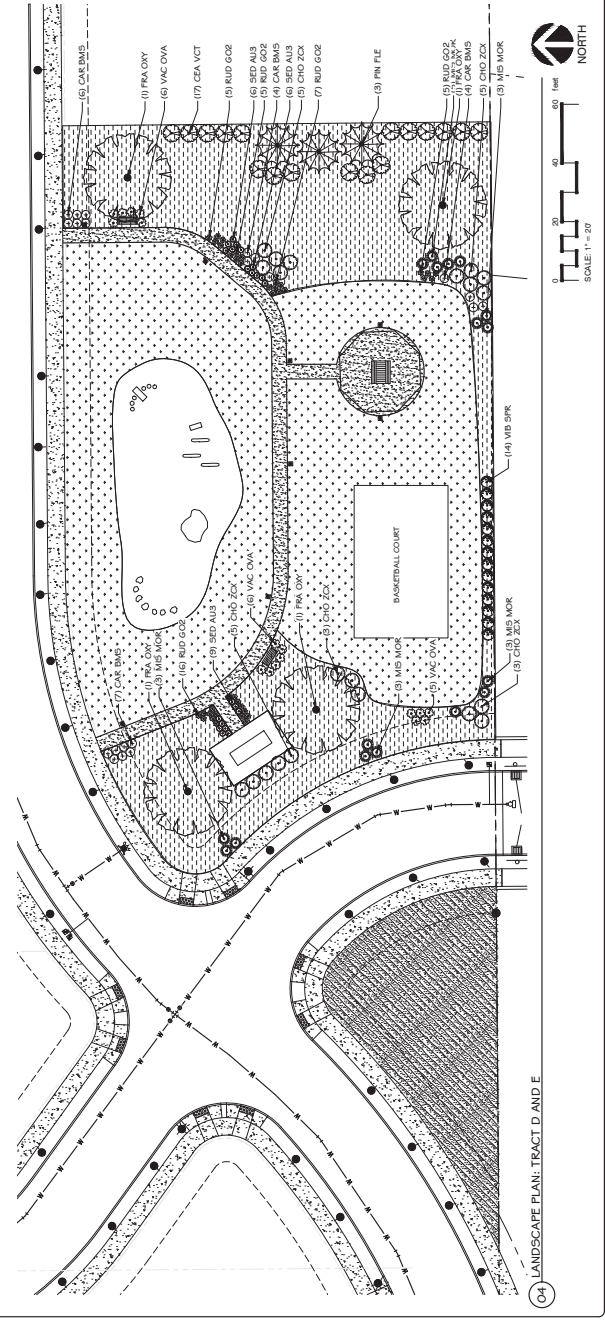
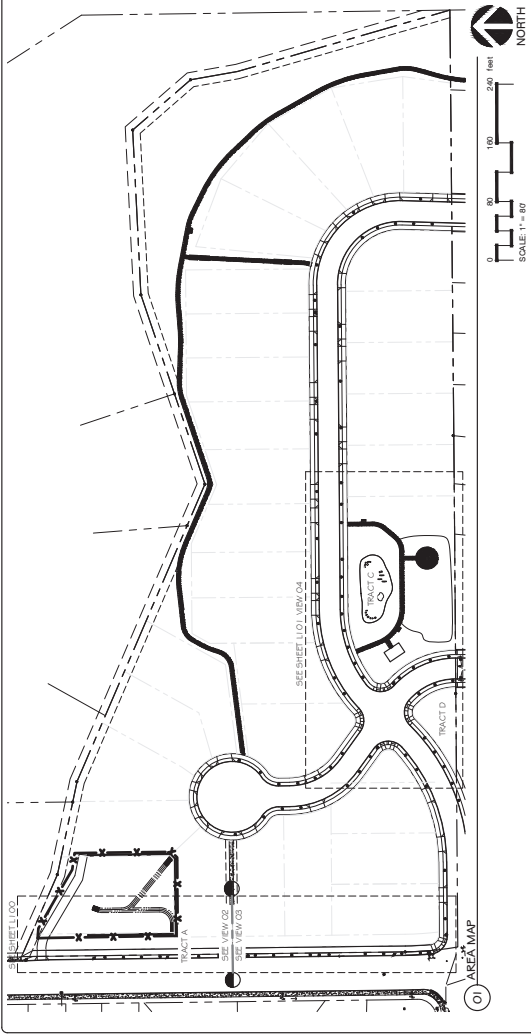
PLANTING SCHEDULE

SYMBOL	CODE	BOTANICAL COMMON NAME	SIZE	CANOPY	QTY	
(Symbol)	ACE FRA	Acer rubrum 'Fraxinoides' / Red Summitt Maple City of Sherwood Canopy Spaced: 25'	2' Cal.	29'	16	
(Symbol)	FRA OCT	Fraxinus oxycarpa / Raywood Ash	2' Cal.	30'	4	
(Symbol)	PN FILE	Pinus flexilis / Vancouver Pinyon Pine Vancouver Pinyon Pine 6' - 8' Ht.	6' - 8' Ht.	15'	3	
SYMBOL	CODE	BOTANICAL COMMON NAME	SIZE	SPACING	QTY	
(Symbol)	CAB BMS	Caryopteris x danthoniella 'Blue Mist' / Buck Mild Bluebush	2gal.	36" o.c.	42	
(Symbol)	CEA VCT	Ceanothus 'Victora' / Victoria Wild Lilac	5gal.	72" o.c.	17	
(Symbol)	CHO ZXZ	Chrysanthemum 'Aster' / Aster 'Petal Medicin Orange'	5gal.	60" o.c.	26	
(Symbol)	ILE SHA	Ilex glabra 'Shamrock' / Shamrock Highberry Holly	2gal.	48" o.c.	30	
(Symbol)	OSM DEL	Osmunda clematis / Delaney Osmunda	5gal.	72" o.c.	52	
(Symbol)	VAC OVA	Vaccinium ovatum / Evergreen Huckleberry	2gal.	36" o.c.	17	
(Symbol)	VB SPR	Viburnum tinus 'Spring Bouquet' / Spring Bouquet Laurastem	2gal.	48" o.c.	14	
PERENNIALS	(Symbol)	MS MOR	Monarda sinensis 'Morning Light' / Morning Light Salvia Grass	1 gal.	48" o.c.	17
(Symbol)	PN HAM	Penstemon spicatus 'Hammer' / Hammer Penstemon	1 gal.	30" o.c.	75	
(Symbol)	RUD GOZ	Rubus odoratus 'Goldflame' / Goldflame	1 gal.	24" o.c.	38	
(Symbol)	SED AUS	Sedum 'Autumn Joy' / Autumn Joy Sedum	1 gal.	24" o.c.	21	

Planting Plan General Notes:

1. Contractor shall verify location of all lots utilities prior to landscape implementation.
 2. Location of existing trees shall be verified in the field by the contractor prior to the start of work.
 3. Project is to be irrigated by an automatic, underground system, which will be installed by the contractor. The system shall be designed to provide adequate water to all plants and shall be installed in a manner that provides for high efficiency spray heads for all other areas. The system shall be designed by the landscape contractor. This system should be guaranteed for a minimum of one year.
 4. Contractor shall guarantee plants for a period of one year after final acceptance of project.
 5. Landscape architect or owner's representative shall approve layout of all plants prior to installation.
 6. Plant material shall meet standards set forth in the latest edition of the American Nursery and Landscape Association (ANLA) standards. All plants shall be delivered with sufficient root growth to hold the soil intact when removed from the container but shall not be root bound.
 7. If any conflicts or discrepancies are discovered between the landscape drawings, the contractor shall contact the landscape architect or owner's representative immediately.
 8. All plants shall be delivered by method that will be lightly shaded, remove fertilizer and mulch, and shall be delivered in a manner that will allow for proper handling.
 9. Plant locations on the plan are diagrammatic and may be subject to adjustment in the field by the contractor to avoid conflict.
 10. All plants are to be fully balled, well trimmed and true to form.
- Contractor is to:
- a. Verify all plantings in the field prior to planting.
 - b. Verify all plantings in the field prior to planting.
 - c. Verify all plantings in the field prior to planting.
 - d. Verify all plantings in the field prior to planting.
 - e. Verify all plantings in the field prior to planting.
 - f. Verify all plantings in the field prior to planting.
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 - o. Verify all plantings in the field prior to planting.
 - p. Verify all plantings in the field prior to planting.
 - q. Verify all plantings in the field prior to planting.
 - r. Verify all plantings in the field prior to planting.
 - s. Verify all plantings in the field prior to planting.
 - t. Verify all plantings in the field prior to planting.
 - u. Verify all plantings in the field prior to planting.
 - v. Verify all plantings in the field prior to planting.
 - w. Verify all plantings in the field prior to planting.
 - x. Verify all plantings in the field prior to planting.
 - y. Verify all plantings in the field prior to planting.
 - z. Verify all plantings in the field prior to planting.

See Sheet L100 For Plant Schedule



Project Information

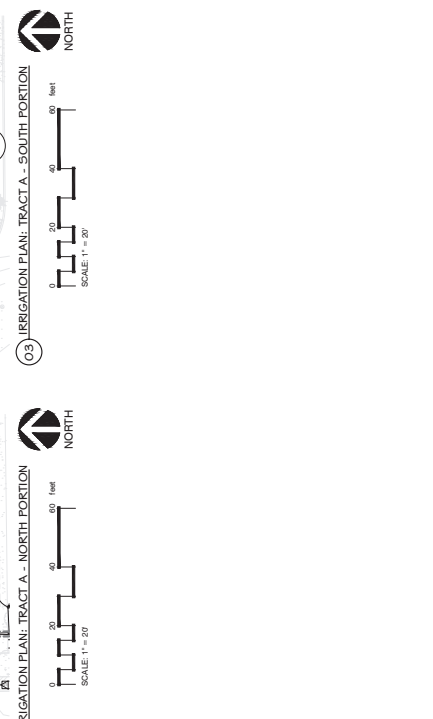
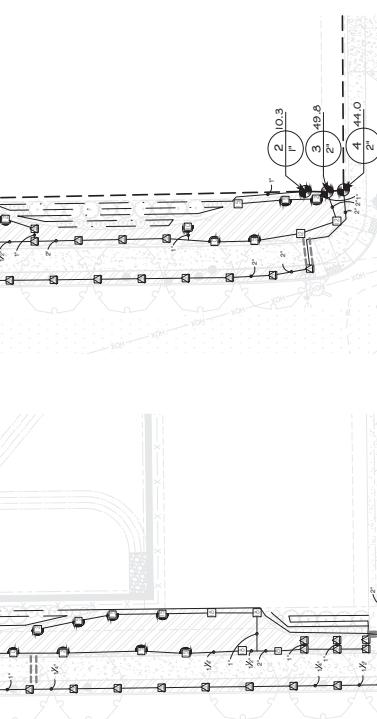
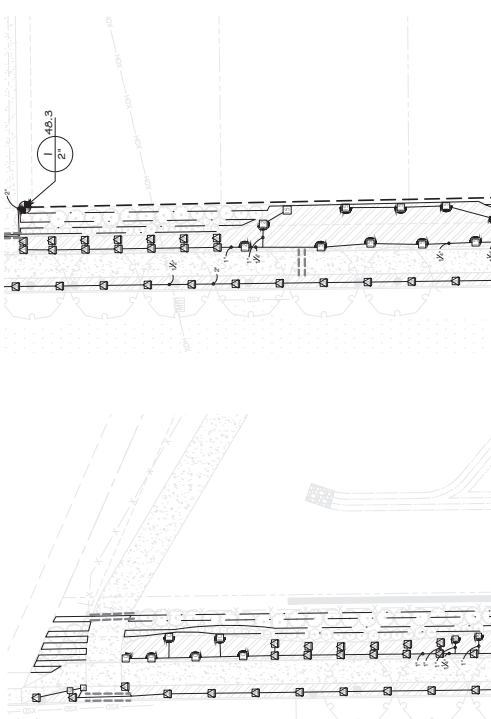
Project name: Moser Pass At Denali
 Project address: Tax Map 25133BC
 Sherwood, OR 97140

REGISTERED LANDSCAPE ARCHITECT
 CLEMENT WALSH ARCHITECT
 OREGON
 #00292024

CLEMENT WALSH LANDSCAPE ARCHITECT INC.
 West Lake, OR 97136
 503.638.1000
 www.cwlandscape.com

Project No: 2023-042
 Drawn by: Julia Kuhnke
 Checked by: Clement Walsh
 Scale: 1/4" = 1'-0"
 Date: 10/20/23
 Sheet No: 2 of 3

Sheet Title: Landscape Plan
 Tract D & E
 Drawing: L101

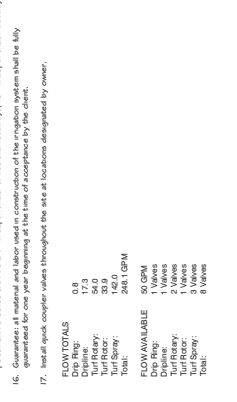


Irrigation Construction General Notes:

- The contractor shall examine the site and familiarize themselves with all conditions relevant to the design and construction of the irrigation system. The contractor shall be responsible for ensuring that all necessary permits and approvals are obtained prior to construction.
- Contractor will avoid damage to existing structures and existing irrigation and all damage will be repaired at contractor's expense.
- Irrigation installation shall be coordinated with the proposed planting plan and the existing site.
- All heads on drawings and diagrams are to be installed as shown. Actual field conditions may require adding, deleting, or adjusting heads to meet the needs of the site. The contractor shall be responsible for ensuring that all heads are installed in accordance with the manufacturer's instructions. Head spacing shall not exceed 12" and head spacing shall be uniform along the entire length of the lateral.
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- Use 1/2" size lateral pipe according to following:
1) 1/2" 40 GPM 15'
2) 1/2" 40 GPM 2'
- Install every heady warning 2' from adjacent utility, repressured, and electrical lead. Adjoin 6" from curb in parking lots unless directed otherwise by owner's representative or landscape architect.
- Install all dripline with irrigation depths spaced every 3.5' unless otherwise directed by owner's representative or landscape architect.
- Control valve will be 1/4" gauge single stemmed of jacket.
- Install 1/4" brass manual drain valves at low points or end of mainline. Valve to be installed with a valve marker and cover.
- A factor was that the installation along the top of mainlines. Tape to piping at 10' intervals with electrical tape. All drippers and laterals must be checked prior to press. Electrical pipe will be scheduled 40' PVC. All stemwells will be placed in the trench, on top of rock free back, and backfilled with concrete. All risers to be 1/2" diameter. All risers to be 1/2" diameter. All risers to be 1/2" diameter. All risers to be 1/2" diameter. All risers to be 1/2" diameter.
- Flow Available: 90 GPM
Turf Riser: 2 Values
Dripping: 1 Value
Turf Sprinkler: 3 Values
Turf Spray: 8 Values

IRRIATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL	QTY
<td>Rain Bird 1804-SAM-PRS 1/2" Drop Spine</td> <td>78</td>	Rain Bird 1804-SAM-PRS 1/2" Drop Spine	78
<td>Rain Bird 1804-SAM-PRS 1/2" Series MPR</td> <td>2</td>	Rain Bird 1804-SAM-PRS 1/2" Series MPR	2
<td>Rain Bird 1804-SAM-PRS 1/2" Series MPR</td> <td>9</td>	Rain Bird 1804-SAM-PRS 1/2" Series MPR	9
<td>Rain Bird 1804-SAM-PRS 1/2" Series MPR</td> <td>7</td>	Rain Bird 1804-SAM-PRS 1/2" Series MPR	7
<td>Rain Bird 1804-SAM-PRS 1/2" Series MPR</td> <td>14</td>	Rain Bird 1804-SAM-PRS 1/2" Series MPR	14
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<td>Rain Bird 1804-SAM-PRS 1/2" Series MPR</td> <td>11</td>	Rain Bird 1804-SAM-PRS 1/2" Series MPR	11
<td>Rain Bird 1804-SAM-PRS 1/2" Series MPR</td> <td>23</td>	Rain Bird 1804-SAM-PRS 1/2" Series MPR	23
SYMBOL	MANUFACTURER/MODEL	QTY
<td>Rain Bird 5004-PC 1.5"</td> <td>3</td>	Rain Bird 5004-PC 1.5"	3
<td>Rain Bird 5004-PC 3.0"</td> <td>5</td>	Rain Bird 5004-PC 3.0"	5
<td>Rain Bird 5004-PC-LA 1.0"</td> <td>9</td>	Rain Bird 5004-PC-LA 1.0"	9
<td>Rain Bird 5004-PC-LA 1.5"</td> <td>1</td>	Rain Bird 5004-PC-LA 1.5"	1
<td>Rain Bird 5004-PC-LA 2.0"</td> <td>4</td>	Rain Bird 5004-PC-LA 2.0"	4
SYMBOL	MANUFACTURER/MODEL	QTY
<td>Rain Bird XDS 06-18 Drop Bag</td> <td>2,495 LL</td>	Rain Bird XDS 06-18 Drop Bag	2,495 LL
SYMBOL	MANUFACTURER/MODEL	QTY
<td>Rain Bird PQA Globe 1"</td> <td>3</td>	Rain Bird PQA Globe 1"	3
<td>Rain Bird PQA Globe 2"</td> <td>5</td>	Rain Bird PQA Globe 2"	5
<td>Rain Bird 300-3/4 3/4"</td> <td>1</td>	Rain Bird 300-3/4 3/4"	1
<td>Rain Bird 1-1/2 Backflow Preventer 1-1/2"</td> <td>1</td>	Rain Bird 1-1/2 Backflow Preventer 1-1/2"	1
<td>Rain Bird ESP-MS with 1/2" ESP-SMS</td> <td>1</td>	Rain Bird ESP-MS with 1/2" ESP-SMS	1
<td>Point of Connection</td> <td>1</td>	Point of Connection	1
SYMBOL	MANUFACTURER/MODEL	QTY
<td>Irrigation Lateral Line: PQC Class 200 SDR 21 1/2"</td> <td>2,481 LL</td>	Irrigation Lateral Line: PQC Class 200 SDR 21 1/2"	2,481 LL
<td>Irrigation Lateral Line: PQC Class 200 SDR 21 1/2"</td> <td>300 4 LL</td>	Irrigation Lateral Line: PQC Class 200 SDR 21 1/2"	300 4 LL
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<td>Irrigation Mainline: PQC Class 200 SDR 1 1/2"</td> <td>717 5 LL</td>	Irrigation Mainline: PQC Class 200 SDR 1 1/2"	717 5 LL
<td>Pipe Sleeve: PQC Class 200 SDR 21"</td> <td>152 8 LL</td>	Pipe Sleeve: PQC Class 200 SDR 21"	152 8 LL



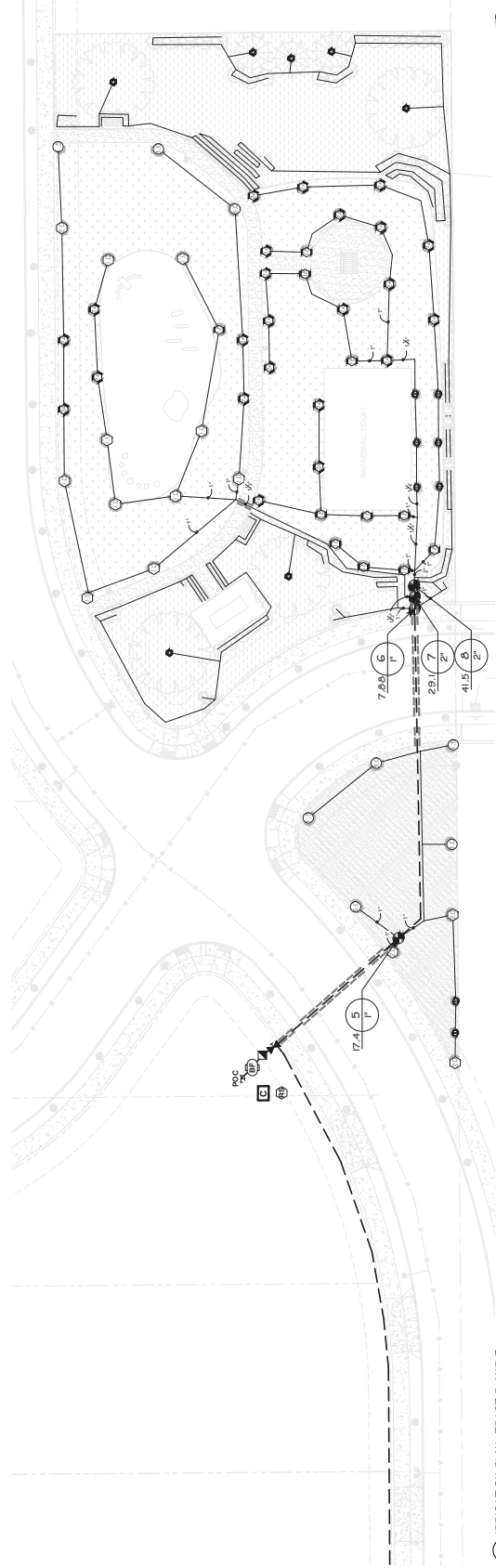
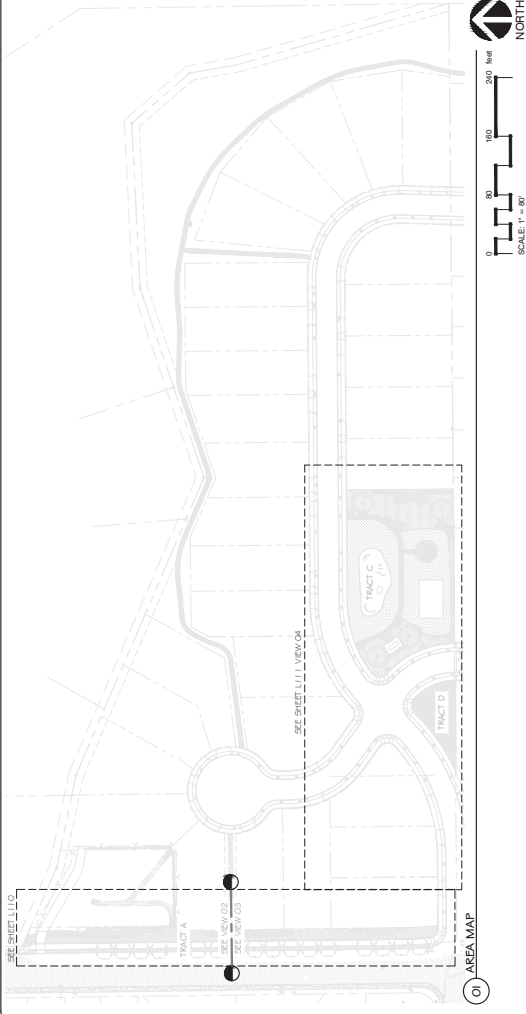
Irrigation Construction General Notes:

- The contractor shall examine the site and familiarize themselves with all conditions relevant to the design and construction of the irrigation system. The contractor shall be responsible for ensuring that all necessary permits and approvals are obtained prior to construction.
- Contractor will avoid damage to existing structures and existing irrigation and all damage will be repaired at contractor's expense.
- Irrigation installation shall be coordinated with the proposed planting plan and the existing site.
- All heads on drawings and diagrams are to be installed as shown. Actual field conditions may require adding, deleting, or adjusting heads to meet the needs of the site. The contractor shall be responsible for ensuring that all heads are installed in accordance with the manufacturer's instructions. Head spacing shall not exceed 12" and head spacing shall be uniform along the entire length of the lateral.
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- Flow Available: 90 GPM
Turf Riser: 2 Values
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See Sheet L110 For Irrigation Schedule
And Irrigation Notes



Project Information

Project name: Moser Pass At Denali
Project address: Tax Map 25133BC
Tax Lot 1700
Sherwood, OR 97140

REGISTERED ARCHITECT
CLEMENT W. WALSH
CLEMENT W. WALSH ARCHITECT
OREGON
11/30/2024

CLEMENT W. WALSH
LANDSCAPE ARCHITECT INC.
West Linn, OR 97146
1100 SW 10th Street
Clatsop, WA 97130

Project No. 2023-042
Drawn By: John Kuhnke
Checked By: Clement Walsh
Scale: 1/4" = 1'-0"
Date: 11/20/24
Sheet No. 3 of 2
Drawing No. 2023-042-03

Sheet Title: Irrigation Plan: Tract D & E
Drawing: L111

December 22, 2023

Ash Creek Forest Management, LLC
P.O. Box 231208
Tigard, OR 97281-1208



Moser Pass at Denali Forestry Plan Response

Ash Creek,

I reviewed the Moser Pass at Denali Vegetated Corridor Master Plan dated December 21, 2023. A survey of the work site by Northwest Surveying Incorporated dated March 7, 2022, was provided. An inventory of trees by Peter van Oss dated March 15, 2022, was also provided. The Moser Pass at Denali Vegetated Corridor Master Plan proposes creating an oak forest habitat in the northeast corner of the development (Tract C). Based on the contents of the master plan, in addition to the data provided by the survey and tree inventory, I approve the Moser Pass at Denali Vegetated Corridor Master Plan.

If you have any questions about my observations or recommendations, please contact me.

A handwritten signature in black ink, appearing to read "N. Tompulis". The signature is fluid and cursive, with a long horizontal stroke at the end.

Nicholas Tompulis
Associate Consulting Arborist
Plant Healthcare Specialist
ISA Certified Arborist #PN-9556A
ISA Tree Risk Assessment Qualified
ntompulis@bartlett.com

Exhibit 3

Well Decommissioning

STATE OF OREGON
WATER SUPPLY WELL REPORT

WASH 81470

WELL I.D. LABEL# L

START CARD #

1071407

10/9/2023

ORIGINAL LOG #

(as required by ORS 537.545 & 537.765 and OAR 690-205-0210)

(1) LAND OWNER

Owner Well I.D. 3490

First Name _____ Last Name _____
Company JT ROTH CONSTRUCTION
Address 12600 SW 72ND AVE
City PORTLAND State OR Zip 97223

(2) TYPE OF WORK

New Well Deepening Conversion
 Alteration (complete 2a & 10) Abandonment (complete 5a)

(2a) PRE-ALTERATION

Casing: Dia + From To Gauge Stl Plstc Wld Thrld
Material From To Amt sacks/lbs
Seal: _____

(3) DRILL METHOD

Rotary Air Rotary Mud Cable Auger Cable Mud
 Reverse Rotary Other _____

(4) PROPOSED USE

Domestic Irrigation Community
 Industrial/ Commercial Livestock Dewatering
 Thermal Injection Other _____

(5) BORE HOLE CONSTRUCTION

Special Standard (Attach copy)

Depth of Completed Well 0.00 ft.

BORE HOLE			SEAL				sacks/
Dia	From	To	Material	From	To	Amt	lbs
6	0	155	Cement	0	155	35	S
						Calculated	31
						Calculated	

Seal placement method A B C D E Other: _____
Backfill placed from _____ ft. to _____ ft. Material _____
Filter pack from _____ ft. to _____ ft. Material _____ Size _____
Explosives used: Type _____ Amount _____
Seal Placement Begin Date 9/22/2023 Begin Time 10 18

(5a) ABANDONMENT USING UNHYDRATED BENTONITE

Proposed Amount _____ Actual Amount _____

(6) CASING/LINER

Casing Liner Dia + From To Gauge Stl Plstc Wld Thrld
Shoe Inside Outside Other Location of shoe(s) _____
Temp casing Yes Dia _____ From + _____ To _____

(7) PERFORATIONS/SCREENS

Perforations Method drive down

Perf/	Casing/	Screen	Dia	From	To	Scrn/slot	Slot	# of	Tele/
Perf	Casing	Screen	Dia	From	To	width	length	slots	pipe size
			6	0	16	.2	1	148	

(8) WELL TESTS: Minimum testing time is 1 hour

Pump Bailer Air Flowing Artesian
Yield gal/min Drawdown Drill stem/Pump depth Duration (hr)

Yield gal/min	Drawdown	Drill stem/Pump depth	Duration (hr)

Temperature 55 °F Lab analysis Yes By _____
Water quality concerns? Yes (describe below) TDS amount 89 ppm
From To Description Amount Units

(9) LOCATION OF WELL (legal description)

County WASHINGTON Twp 2.00 S N/S Range 1.00 W E/W WM
Sec 33 SW 1/4 of the NW 1/4 Tax Lot 1700
Tax Map Number _____ Lot _____
Lat _____ " or 45.35415632 DMS or DD
Long _____ " or -122.82529289 DMS or DD
 Street address of well Nearest address
22900 SW MURDOCK RD, SHERWOOD

(10) STATIC WATER LEVEL

	Date	SWL(psi)	+	SWL(ft)
Existing Well / Pre-Alteration	9/21/2023			69
Completed Well				

Flowing Artesian? Dry Hole?

WATER BEARING ZONES

Depth water was first found _____

SWL	Date	From	To	Est Flow	SWL(psi)	+	SWL(ft)

(11) WELL LOG

Ground Elevation _____

Material	From	To
Permanent abandonment unknown 6" well	0	155
Borehole checked clear.	0	155
Camera shows steel casing 0-16'	0	155
Drive down perforator used 0-16'	0	155
35 sax cement pumped 155' - 0'.	0	155

Construction Begin Date 9/21/2023 Begin Time 08 15 End Date 9/22/2023

(unbonded) Water Well Constructor Certification

I certify that the work I performed on the construction, deepening, alteration, or abandonment of this well is in compliance with Oregon water supply well construction standards. Materials used and information reported above are true to the best of my knowledge and belief.

License Number 1977 Date 10/4/2023

Signed JOSE ESTRADA (E-filed)

(bonded) Water Well Constructor Certification

I accept responsibility for the construction, deepening, alteration, or abandonment work performed on this well during the construction dates reported above. All work performed during this time is in compliance with Oregon water supply well construction standards. This report is true to the best of my knowledge and belief.

License Number 1438 Date 10/4/2023

Signed DAVID PAYSINGER (E-filed)

Contact Info (optional) bluwaterrdrilling.com || 503 868 7878

WATER SUPPLY WELL REPORT - Map with location identified must be attached and shall include an approximate scale and north arrow

WASH 81470

10/9/2023

Map of Hole



Exhibit 4

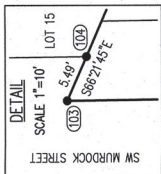
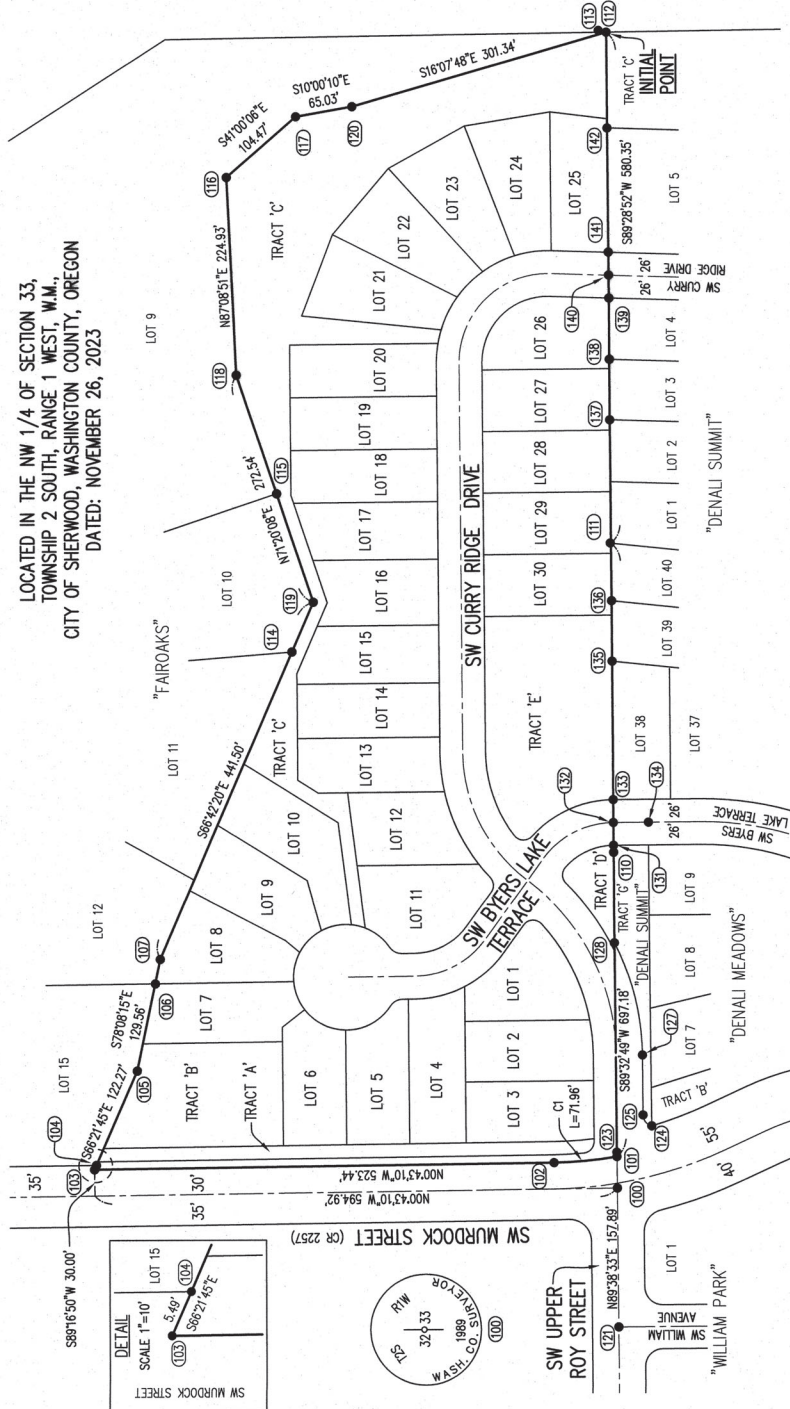
Plat

MOSER PASS AT DENALI

LOCATED IN THE NW 1/4 OF SECTION 33,
TOWNSHIP 2 SOUTH, RANGE 1 WEST, W.M.,
CITY OF SHERWOOD, WASHINGTON COUNTY, OREGON
DATED: NOVEMBER 26, 2023

RECORDED AS DOCUMENT NO. _____ REVIEW COPY
SHEET 1 OF 5

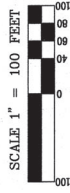
PREPARED FOR
JT ROTH CONSTRUCTION
12600 SW 72ND AVENUE, SUITE 200
PORTLAND, OREGON 97223



NARRATIVE
THE PURPOSE OF THIS SURVEY IS TO SUBDIVIDE THE PROPERTY DESCRIBED IN A DEED RECORDED AS DOC. NO. 2023-12921, WASHINGTON COUNTY DEED RECORDS, AS APPROVED BY THE CITY OF SHERWOOD UNDER CASE FILE NO.: LU2022-020 SUB/PAIDS.
I HELD THE BOUNDARY RESOLUTION AND BASIS OF BEARING PER THE OUTER BOUNDARY SURVEY NUMBER ??????. ALL FOUND MONUMENTS ARE HELD, UNLESS NOTED, AND ALL DIMENSIONS BETWEEN FOUND MONUMENTS ARE RECORD AND MEASURED PER SAID SURVEY.

LEGEND (ALL SHEETS)

- ▲ SET 5/8" X 30" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "NORTHWEST SURVEYING, INC"
- SET 5/8" X 30" IRON ROD WITH 2" ALUMINUM CAP STAMPED "NORTHWEST SURVEYING, INC."
- FOUND MONUMENT AS NOTED IN DESCRIPTIONS
- I.R. IRON ROD
- Y.P.C. YELLOW PLASTIC CAP
- S.N. SURVEY NUMBER, WASHINGTON COUNTY SURVEY RECORDS
- D.O.C. NO. DOCUMENT NUMBER, WASHINGTON COUNTY DEED RECORDS
- P.P. PARTITION PLAT NUMBER, WASHINGTON COUNTY PLAT RECORDS
- P.U.E. PUBLIC UTILITY EASEMENT
- S.D.E. STORM SEWER EASEMENT TO THE CITY OF SHERWOOD
- S.S.E. SANITARY SEWER EASEMENT TO THE CITY OF SHERWOOD
- P.P.A.E. PUBLIC PEDESTRIAN ACCESS EASEMENT



REGISTERED PROFESSIONAL LAND SURVEYOR
OREGON
JANUARY 15, 2006
CLINTON S. HARRIS JR.
RENEWALS: 06/30/24

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	CHORD
CI	71.96	447.46	97°52'	NO519°36'W 71.89

FOUND MONUMENT DESCRIPTIONS

- (00) ILLIGIBLE 2" BRASS DISK STAMPED AS SHOWN, IN MONUMENT CASE, PER U.S.B.T. ENTRY 2002-062, HELD
- (01) 5/8" IRON ROD WITH NO CAP; PER SN 20158; HELD (DESTROYED BY CONSTRUCTION AND NOT RESET)
- (02) 3/4" IRON PIPE WITH YPC STAMPED "WASHINGTON COUNTY SURVEYOR"; PER PLAT OF COUNTY ROAD NO. 2257; HELD
- (03) 5/8" IRON ROD WITH YPC STAMPED "BURTON ENGINEERING"; PER "FAIROAKS"; HELD
- (04) 5/8" IRON ROD WITH YPC STAMPED "BURTON ENGINEERING"; PER "FAIROAKS"; HELD
- (05) 5/8" IRON ROD WITH NO CAP; PER "FAIROAKS"; HELD
- (06) 5/8" IRON ROD WITH YPC STAMPED "BURTON ENGINEERING"; PER "FAIROAKS"; HELD
- (07) 5/8" IRON ROD WITH NO CAP; PER "FAIROAKS"; HELD
- (08) 5/8" IRON ROD WITH YPC STAMPED "BURTON ENGINEERING"; PER "FAIROAKS"; HELD
- (09) 5/8" IRON ROD WITH YPC STAMPED "BURTON ENGINEERING"; PER "FAIROAKS"; HELD
- (10) 5/8" IRON ROD WITH YPC STAMPED "BURTON ENGINEERING"; PER "FAIROAKS"; HELD
- (11) 5/8" IRON ROD WITH NO CAP; PER SN 20158; BEARS N03°31'38"W 0.78'
- (12) 5/8" IRON ROD WITH 1-1/2" ALUMINUM CAP STAMPED "R. BANGROTT L.S.1124"; PER SN 20972; HELD
- (13) 5/8" IRON ROD WITH NO CAP; PER SN 20158; BEARS N06°33'52"E 1.19'
- (14) 5/8" IRON ROD WITH YPC STAMPED "BURTON ENGINEERING"; PER "FAIROAKS"; HELD
- (15) 5/8" IRON ROD WITH YPC STAMPED "BURTON ENGINEERING"; PER "FAIROAKS"; HELD
- (16) 5/8" IRON ROD WITH YPC STAMPED "BURTON ENGINEERING"; PER "FAIROAKS"; HELD
- (17) 5/8" IRON ROD WITH YPC STAMPED "BURTON ENGINEERING"; PER "FAIROAKS"; HELD
- (18) 5/8" IRON ROD WITH YPC STAMPED "BURTON ENGINEERING"; PER "FAIROAKS"; HELD
- (19) 5/8" IRON ROD WITH YPC STAMPED "AKS ENGR."; PER SN 30496; HELD
- (20) 5/8" IRON ROD WITH YPC STAMPED "BURTON ENGINEERING"; PER "FAIROAKS"; HELD
- (21) 5/8" IRON ROD WITH 1-1/2" ALUMINUM CAP STAMPED "W.L.Mc. L.S.808"; PER "WILLIAM PARK"; HELD
- (22) 5/8" IRON ROD WITH YPC STAMPED "EMERIO DESIGN"; PER "DENALI SUMMIT"; BEARS N00°27'11"E 0.08' (DESTROYED BY CONSTRUCTION AND NOT RESET)
- (23) 5/8" IRON ROD WITH YPC STAMPED "EMERIO DESIGN"; PER "DENALI SUMMIT"; HELD
- (24) 5/8" IRON ROD WITH YPC STAMPED "EMERIO DESIGN"; PER "DENALI SUMMIT"; HELD
- (25) 5/8" IRON ROD WITH YPC STAMPED "EMERIO DESIGN"; PER "DENALI SUMMIT"; HELD
- (26) 5/8" IRON ROD WITH YPC STAMPED "EMERIO DESIGN"; PER "DENALI SUMMIT"; HELD
- (27) 5/8" IRON ROD WITH YPC STAMPED "EMERIO DESIGN"; PER "DENALI SUMMIT"; HELD
- (28) 5/8" IRON ROD WITH YPC STAMPED "EMERIO DESIGN"; PER "DENALI SUMMIT"; HELD
- (29) 5/8" IRON ROD WITH YPC STAMPED "EMERIO DESIGN"; PER "DENALI SUMMIT"; HELD
- (30) 5/8" IRON ROD WITH YPC STAMPED "EMERIO DESIGN"; PER "DENALI SUMMIT"; HELD
- (31) 5/8" IRON ROD WITH YPC STAMPED "EMERIO DESIGN"; PER "DENALI SUMMIT"; HELD
- (32) 5/8" IRON ROD WITH YPC STAMPED "EMERIO DESIGN"; PER "DENALI SUMMIT"; HELD
- (33) 5/8" IRON ROD WITH YPC STAMPED "EMERIO DESIGN"; PER "DENALI SUMMIT"; HELD
- (34) 5/8" IRON ROD WITH YPC STAMPED "EMERIO DESIGN"; PER "DENALI SUMMIT"; HELD
- (35) 5/8" IRON ROD WITH YPC STAMPED "EMERIO DESIGN"; PER "DENALI SUMMIT"; HELD
- (36) 5/8" IRON ROD WITH YPC STAMPED "EMERIO DESIGN"; PER "DENALI SUMMIT"; HELD
- (37) 1-1/8" COPPER DISK IN STONE STAMPED "EMERIO DESIGN"; PER "DENALI SUMMIT"; HELD
- (38) 5/8" IRON ROD WITH YPC STAMPED "EMERIO DESIGN"; PER "DENALI SUMMIT"; HELD
- (39) 5/8" IRON ROD WITH YPC STAMPED "EMERIO DESIGN"; PER "DENALI SUMMIT"; BEARS S00°31'08"E 0.07'
- (40) 5/8" IRON ROD WITH YPC STAMPED "EMERIO DESIGN"; PER "DENALI SUMMIT"; BEARS N62°54'04"E 0.20'
- (41) 5/8" IRON ROD WITH YPC STAMPED "EMERIO DESIGN"; PER "DENALI SUMMIT"; BEARS N63°59'14"E 0.18'
- (42) 5/8" IRON ROD WITH YPC STAMPED "EMERIO DESIGN"; PER "DENALI SUMMIT"; HELD

SHEET INDEX

- SHEET 1 PLAT BOUNDARY, FOUND MONUMENT DESCRIPTIONS, NARRATIVE AND LEGEND
- SHEET 2 LOTS 1-5, 30, TRACT D, TRACT E AND PORTION OF TRACT A
- SHEET 3 LOTS 6-16, TRACT B AND PORTIONS OF TRACTS A AND C
- SHEET 4 LOTS 17-29 AND PORTIONS OF TRACT C
- SHEET 5 SURVEYOR'S CERTIFICATE, DECLARATION, ACKNOWLEDGMENT, CONSENT AFFIDAVIT, PLAT NOTES, CITY OF SHERWOOD AND WASHINGTON COUNTY APPROVALS

BOUNDARY TOPOGRAPHIC CONSTRUCTION CADASTRAL

NORTHWEST
1815 NW 169th PLACE, SUITE 2090
BEAVERTON, OR 97006
PHONE: 503-848-2127 FAX: 503-848-2179
www.nwsvy.com

SURVEYING, Inc.

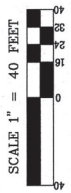
JOB NAME:	JT ROTH MOSER
JOB NUMBER:	2400
DRAWN BY:	BIA
CHECKED BY:	CHS
DRAWING NO.:	2400 PLAT

MOSER PASS AT DENALI

LOCATED IN THE NW 1/4 OF SECTION 33,
TOWNSHIP 2 SOUTH, RANGE 1 WEST, W.M.,
CITY OF SHERWOOD, WASHINGTON COUNTY, OREGON
DATED: NOVEMBER 26, 2023

PREPARED FOR

JT ROTH CONSTRUCTION
12600 SW 72ND AVENUE, SUITE 200
PORTLAND, OREGON 97223



CURVE TABLE

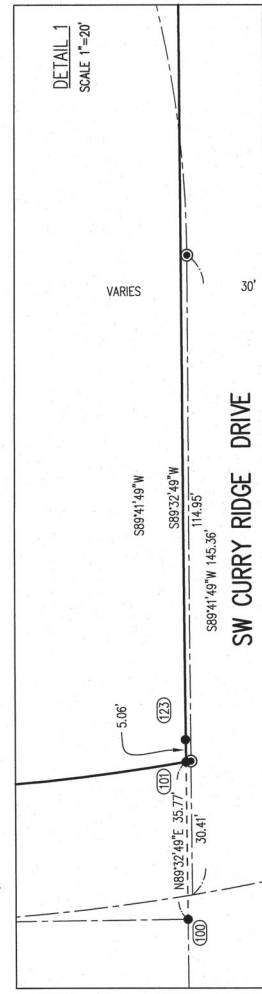
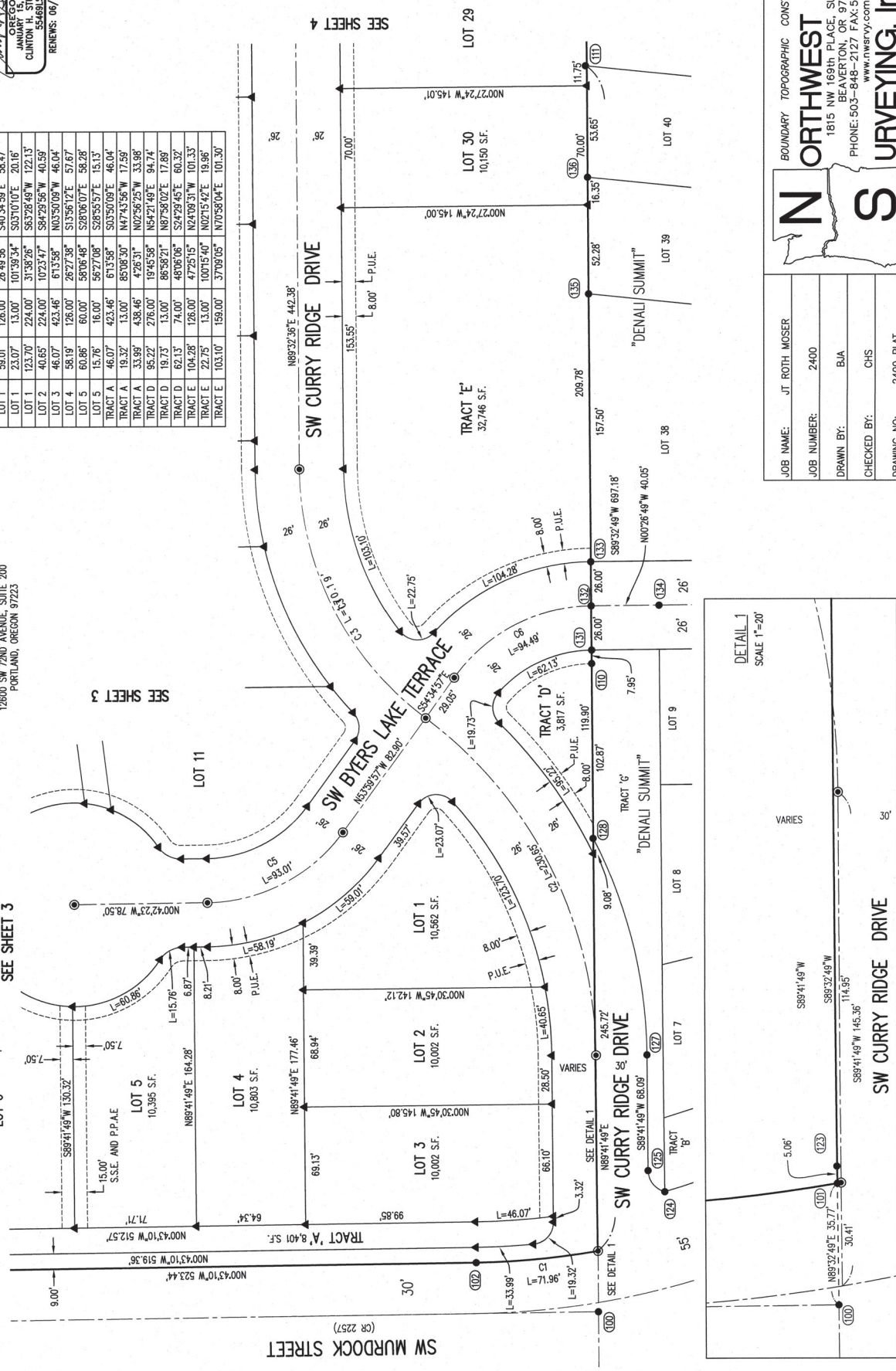
CURVE	LENGTH	RADIUS	DELTA	CHORD
C1	71.96	447.46	67°25'2"	N05°19'36"W 71.89'
C2	230.65	250.00'	52°51'42"	N63°15'58"E 222.56'
C3	170.19	165.00'	52°42'29"	N63°11'27"E 164.25'
C5	93.01	100.00'	53°17'34"	N27°21'10"W 89.70'
C6	94.48	100.00'	54°08'08"	S27°30'53"E 91.01'
LOT 1	59.01'	126.00'	26°49'56"	S40°34'59"E 58.47'
LOT 1	23.07'	13.00'	107°39'34"	S03°10'10"E 20.16'
LOT 1	123.70'	224.00'	31°38'26"	S63°28'49"W 122.13'
LOT 2	40.65'	224.00'	107°34'47"	S94°29'56"W 40.59'
LOT 3	46.07'	423.46'	61°13'58"	N03°50'03"W 46.04'
LOT 4	58.19'	126.00'	26°27'58"	S19°56'12"E 57.67'
LOT 5	60.86'	60.00'	58°06'48"	S28°06'07"E 58.28'
LOT 5	15.76'	16.00'	96°27'08"	S28°55'57"E 15.13'
TRACT A	46.07'	423.46'	61°13'58"	S03°50'09"E 46.04'
TRACT A	19.32'	13.00'	85°08'30"	N47°43'56"W 17.59'
TRACT A	33.89'	438.46'	4°26'31"	N02°56'25"W 33.98'
TRACT D	95.22'	276.00'	19°45'58"	N54°21'49"E 94.74'
TRACT D	19.73'	13.00'	86°38'21"	N87°58'02"E 17.69'
TRACT D	82.13'	74.00'	48°06'08"	S24°28'45"E 60.32'
TRACT E	104.28'	126.00'	47°25'15"	N24°08'31"W 101.33'
TRACT E	22.75'	13.00'	100°15'40"	N07°15'42"E 19.96'
TRACT E	103.10'	159.00'	37°08'05"	N70°58'04"E 101.30'

REGISTERED
PROFESSIONAL
LAND SURVEYOR

OREGON
JANUARY 1900
CLINTON H. STUBBS, JR.
5544893

RENEWS: 06/30/24

RECORDED AS DOCUMENT NO. _____ REVIEW COPY
SHEET 2 OF 5



BOUNDARY TOPOGRAPHIC CONSTRUCTION CADASTRAL

NORTHWEST SURVEYING, Inc.

1815 NW 169th PLACE, SUITE 2090
BEAVERTON, OR 97006
PHONE: 503-848-2127 FAX: 503-848-2179
www.nwsvy.com

JOB NAME:	JT ROTH MOSER
JOB NUMBER:	2400
DRAWN BY:	BIA
CHECKED BY:	CHS
DRAWING NO.:	2400 PLAT

MOSER PASS AT DENALI

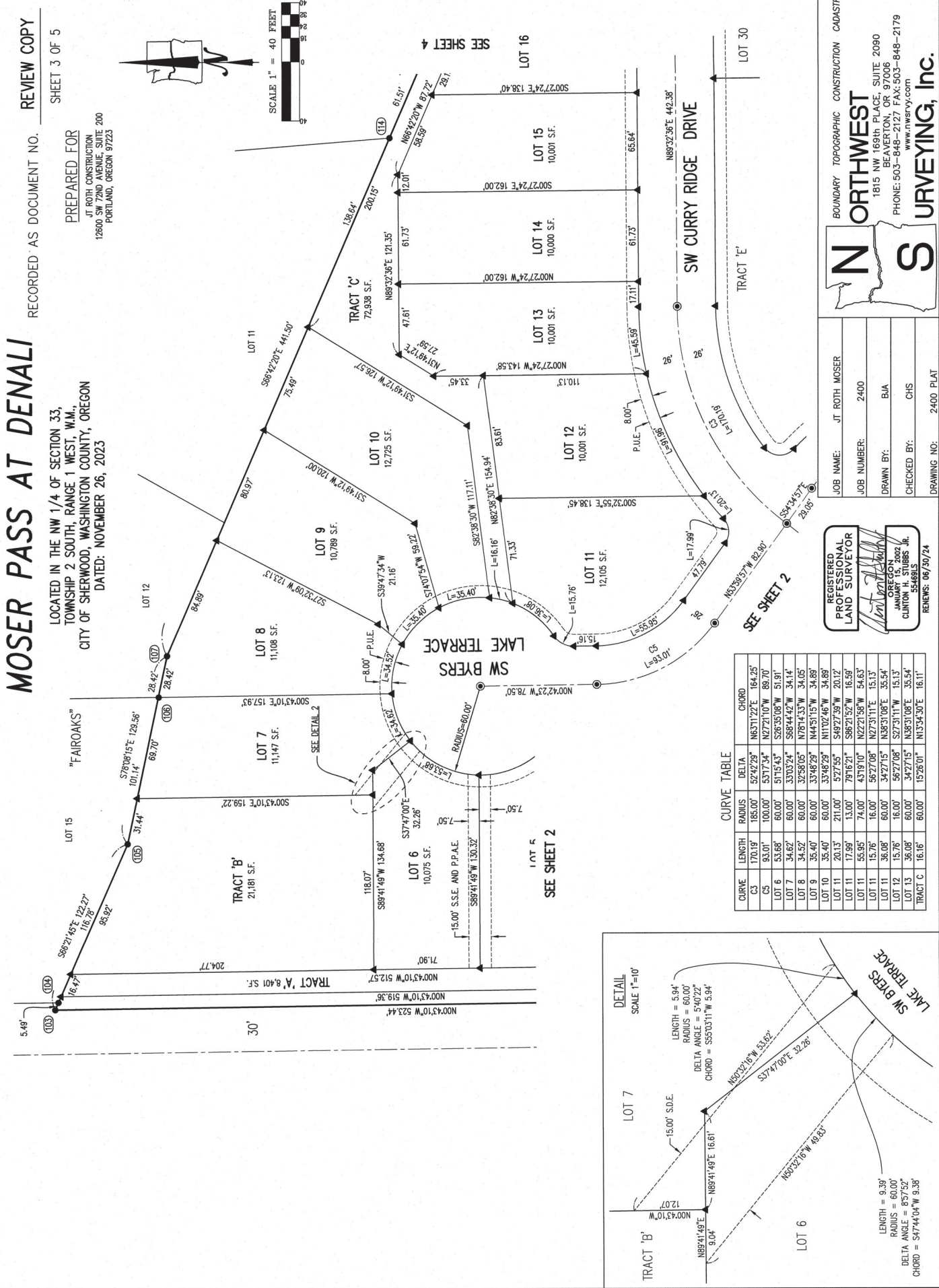
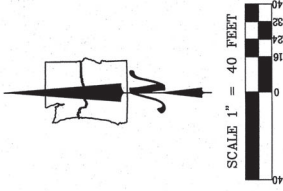
RECORDED AS DOCUMENT NO. _____ REVIEW COPY

SHEET 3 OF 5

PREPARED FOR

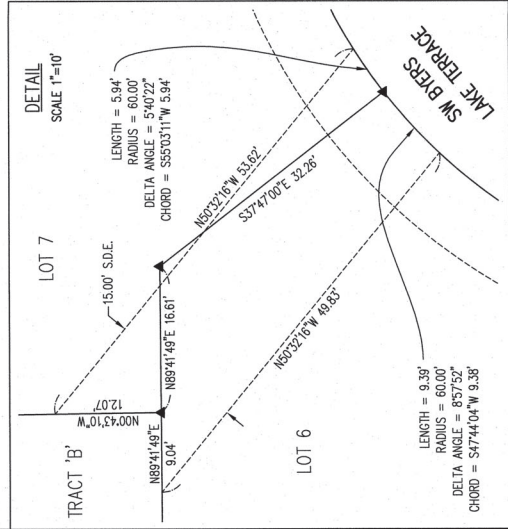
JT ROTH CONSTRUCTION
12600 SW 72ND AVENUE, SUITE 200
PORTLAND, OREGON 97223

LOCATED IN THE NW 1/4 OF SECTION 33,
TOWNSHIP 2 SOUTH, RANGE 1 WEST, W.M.,
CITY OF SHERWOOD, WASHINGTON COUNTY, OREGON
DATED: NOVEMBER 26, 2023



CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	CHORD
C3	170.19	165.00	52°42'29"	N65°11'22"E 164.25'
C5	93.01	100.00	53°17'34"	N27°21'10"W 89.70'
LOT 6	53.68	60.00	51°15'43"	S26°35'08"W 51.91'
LOT 7	34.62	60.00	33°03'24"	S88°44'42"E 34.14'
LOT 8	34.52	60.00	32°58'05"	N78°14'33"W 34.05'
LOT 9	35.40	60.00	33°48'29"	N44°51'15"W 34.89'
LOT 10	35.40	60.00	33°48'29"	N110°2'46"W 34.89'
LOT 11	20.13	211.00	5°27'55"	S49°27'59"W 20.12'
LOT 11	17.89	133.00	7°16'21"	S86°15'27"W 16.65'
LOT 11	35.95	74.00	43°19'10"	N22°21'38"W 54.63'
LOT 11	15.76	16.00	56°27'08"	N27°31'11"E 15.13'
LOT 12	36.08	60.00	34°27'15"	N38°31'08"E 35.54'
LOT 13	36.08	60.00	34°27'15"	N38°31'08"E 35.54'
TRACT C	16.16	60.00	15°28'01"	N13°34'30"E 16.11'



REGISTERED
PROFESSIONAL
LAND SURVEYOR
[Signature]
OREGON
JANUARY 15, 2002
CLINTON H. STUBBS JR.
5566815
RENEWS: 06/30/24

JOB NAME: JT ROTH MOSER
JOB NUMBER: 2400
DRAWN BY: BJA
CHECKED BY: CHS
DRAWING NO: 2400 PLAT

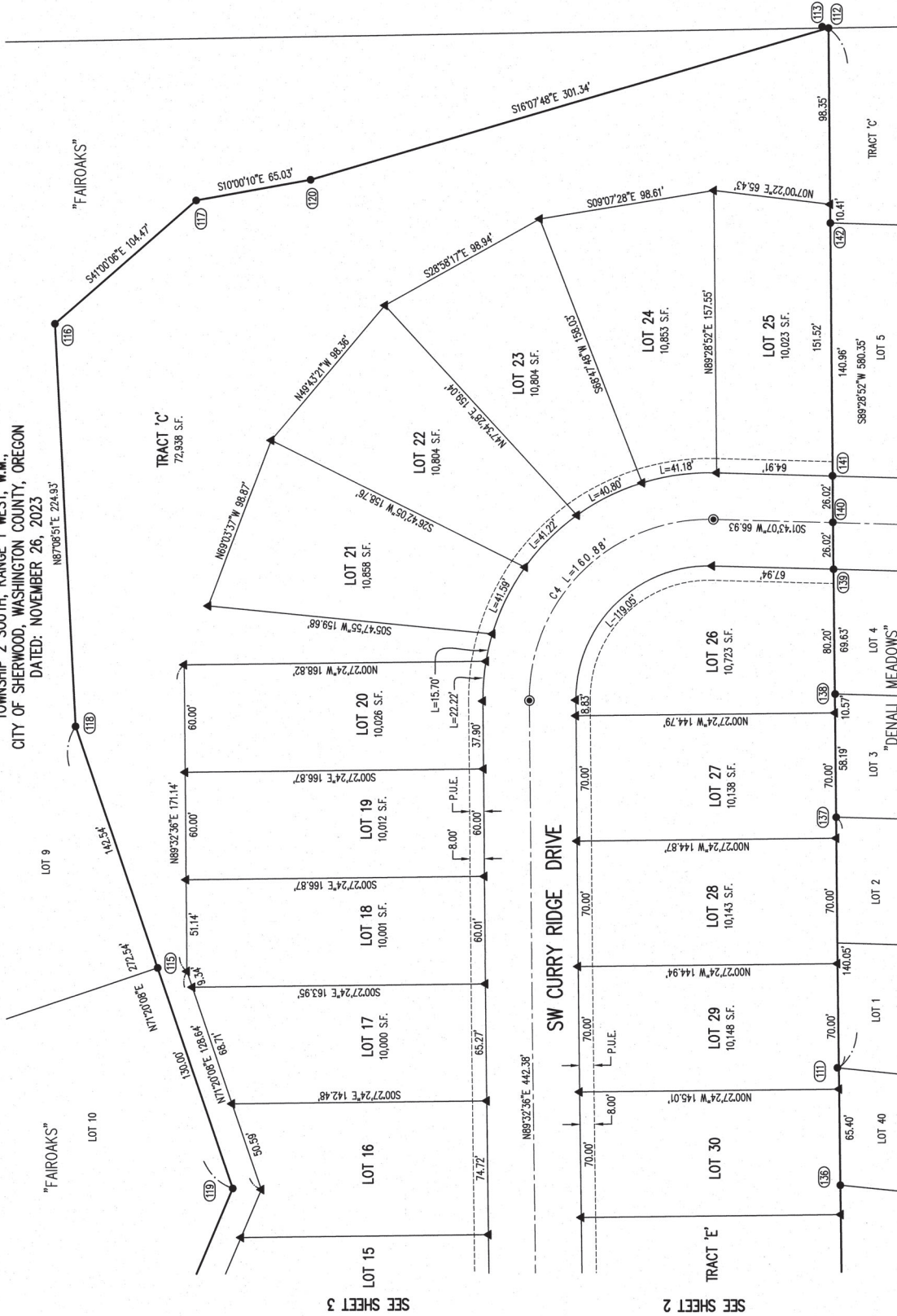
BOUNDARY TOPOGRAPHIC CONSTRUCTION CADASTRAL
NORTHWEST
1815 NW 169th PLACE, SUITE 2090
BEAVERTON, OR 97006
PHONE: 503-848-2127 FAX: 503-848-2179
www.nwsvy.com
SURVEYING, Inc.

MOSER PASS AT DENALI

LOCATED IN THE NW 1/4 OF SECTION 33,
TOWNSHIP 2 SOUTH, RANGE 1 WEST, W.M.,
CITY OF SHERWOOD, WASHINGTON COUNTY, OREGON
DATED: NOVEMBER 26, 2023

RECORDED AS DOCUMENT NO. _____ REVIEW COPY
SHEET 4 OF 5

PREPARED FOR
JT ROTH CONSTRUCTION
12800 SW 72ND AVENUE, SUITE 200
PORTLAND, OREGON 97223



CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	CHORD
CA	160.88'	100.00'	97°10'31"	N44°22'08"W 144.06'
LOT 20	22.22'	126.00'	10°06'11"	N85°24'18"W 22.19'
LOT 21	41.59'	126.00'	18°54'40"	N83°45'38"W 41.40'
LOT 22	41.22'	126.00'	18°44'42"	N44°55'57"W 41.04'
LOT 23	40.80'	126.00'	18°33'06"	N26°17'03"W 40.62'
LOT 24	41.18'	126.00'	18°43'37"	N07°38'41"W 41.00'
LOT 26	119.05'	74.00'	92°10'31"	N44°22'08"W 106.62'
TRACT C	15.70'	126.00'	7°08'15"	N76°47'05"W 15.69'

REGISTERED
PROFESSIONAL
LAND SURVEYOR
[Signature]
OREGON
JANUARY 15, 2007
CLINTON LUBBS JR.
RENEWED: 06/30/24

JOB NAME: JT ROTH MOSER
JOB NUMBER: 2400
DRAWN BY: BJA
CHECKED BY: CHS
DRAWING NO: 2400 PLAT



BOUNDARY TOPOGRAPHIC CONSTRUCTION CADASTRAL
NORTHWEST
1815 NW 169th PLACE, SUITE 2090
BEAVERTON, OR 97006
PHONE: 503-848-2177 FAX: 503-848-2179
www.nwsvy.com
SURVEYING, Inc.

MOSER PASS AT DENALI

RECORDED AS DOCUMENT NO. _____ REVIEW COPY

SHEET 5 OF 5

LOCATED IN THE NW 1/4 OF SECTION 33,
TOWNSHIP 2 SOUTH, RANGE 1 WEST, W.M.,
CITY OF SHERWOOD, WASHINGTON COUNTY, OREGON
DATED: NOVEMBER 26, 2023

PREPARED FOR
JT ROTH CONSTRUCTION
12600 SW 72ND AVENUE, SUITE 200
PORTLAND, OREGON 97223

SURVEYOR'S CERTIFICATE

I, CLINTON H. STUBBS, JR., HEREBY CERTIFY THAT I HAVE CORRECTLY SURVEYED AND MARKED WITH PROPER MONUMENTS, THE LANDS REPRESENTED ON THE ATTACHED PLAT OF "MOSER PASS AT DENALI", LOCATED IN THE NORTHWEST ONE-QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 1 WEST, WILLAMETTE MERIDIAN, CITY OF SHERWOOD, WASHINGTON COUNTY, OREGON, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE INITIAL POINT, BEING MARKED BY A 5/8 INCH IRON ROD WITH A 1-1/2" ALUMINUM CAP STAMPED "B. BANCROFT L.S.1124", LOCATED AT THE NORTHEAST CORNER OF TRACT 'C' OF "DENALI SUMMIT"; THENCE ALONG THE NORTHERLY BOUNDARY OF "DENALI SUMMIT" SOUTH 89°28'52" WEST 580.35 FEET TO THE NORTHWEST CORNER OF LOT 1 THEREOF, SAID POINT BEING AN ANGLE POINT IN THE NORTHERLY BOUNDARY OF "DENALI SUMMIT"; THENCE CONTINUING ALONG THE NORTHERLY BOUNDARY OF "DENALI SUMMIT" SOUTH 89°32'49" WEST 697.18 FEET TO THE NORTHWEST CORNER OF "DENALI SUMMIT", SAID POINT BEING ON THE EASTERLY RIGHT-OF-WAY LINE OF SW MURDOCK STREET (30.00 FEET EASTERLY FROM THE CENTERLINE THEREOF, WHEN MEASURED AT RIGHT ANGLES); THENCE 71.96 FEET ALONG THE EASTERLY RIGHT-OF-WAY OF SW MURDOCK STREET ALONG THE ARC OF A NON-TANGENT CIRCULAR CURVE TO THE RIGHT HAVING A RADIUS OF 447.46 FEET, A DELTA ANGLE OF 91°23'; THENCE CONTINUING ALONG THE EASTERLY RIGHT-OF-WAY LINE OF SAID SW MURDOCK STREET, NORTH 0°04'31" WEST 823.44 FEET TO THE SOUTHWEST CORNER OF "FAIROAK"; THENCE ALONG THE SOUTHERLY BOUNDARY OF "FAIROAK" THE FOLLOWING EIGHT CALLS: SOUTH 66°21'45" EAST 122.27 FEET; THENCE SOUTH 79°09'15" EAST 129.56 FEET; THENCE SOUTH 66°42'20" EAST 441.50 FEET; THENCE NORTH 71°20'08" EAST 272.54 FEET; THENCE NORTH 87°08'51" EAST 224.93 FEET; THENCE SOUTH 43°00'06" EAST 104.47 FEET; THENCE SOUTH 16°07'48" EAST 301.34 FEET TO THE INITIAL POINT.

SAID DESCRIBED LAND CONTAINS 12.411 ACRES, MORE OR LESS.

DECLARATION

KNOW ALL PEOPLE BY THESE PRESENTS THAT THE J. T. ROTH CONSTRUCTION INC. IS THE OWNER OF THE LAND REPRESENTED ON THE ATTACHED PLAT OF "MOSER PASS AT DENALI" AND MORE PARTICULARLY DESCRIBED IN THE ACCOMPANYING SURVEYOR'S CERTIFICATE, AND HAS CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS AND TRACTS AS SHOWN IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 92 OF OREGON REVISED STATUTES, AND DOES HEREBY GRANT ALL EASEMENTS SET FORTH FOR THE USES STATED AND AS INDICATED HEREON.

BY _____
THERESA A. ROTH, PRESIDENT OF J. T. ROTH CONSTRUCTION INC., AN OREGON CORPORATION

ACKNOWLEDGMENT

STATE OF OREGON }
COUNTY OF _____ } S.S.

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON _____, 2024, BY THERESA A. ROTH, AS PRESIDENT OF J. T. ROTH CONSTRUCTION INC., AN OREGON CORPORATION.

NOTARY SIGNATURE _____

NOTARY PUBLIC—OREGON _____ (PRINT NAME)

COMMISSION NO. _____

MY COMMISSION EXPIRES _____

PLAT NOTES

- 1) THIS PLAT IS SUBJECT TO CONDITIONS OF APPROVAL PER CITY OF SHERWOOD CASE FILE NO. LU 2022-020 SUB/PHD.
- 2) LOTS 5 AND 6 ARE SUBJECT TO A 15.00 FOOT WIDE PUBLIC PEDESTRIAN ACCESS EASEMENT AND A 15.00 FOOT WIDE SANITARY SEWER EASEMENT TO THE CITY OF SHERWOOD, AS SHOWN.
- 3) LOTS 6 AND 7 ARE SUBJECT TO A 15.00 FOOT WIDE STORM SEWER EASEMENT TO THE CITY OF SHERWOOD, AS SHOWN.
- 4) TRACTS 'A', 'C', 'D' AND 'E' ARE OPEN SPACE TRACTS TO BENEFIT ALL THE LOTS IN THIS PLAT.
- 5) TRACT 'B' IS A WATER QUALITY TRACT AND IS SUBJECT TO A STORM SEWER, SURFACE WATER, DRAINAGE AND DETENTION EASEMENT TO THE CITY OF SHERWOOD OVER ITS ENTIRETY.

CITY OF SHERWOOD APPROVALS

APPROVED THIS _____ DAY OF _____, 2024
CITY OF SHERWOOD, COMMUNITY DEVELOPMENT DIRECTOR

BY _____

WASHINGTON COUNTY APPROVALS

APPROVED THIS _____ DAY OF _____, 2024
WASHINGTON COUNTY SURVEYOR

BY _____

APPROVED THIS _____ DAY OF _____, 2024
WASHINGTON COUNTY BOARD OF COMMISSIONERS

BY _____

ALL TAXES, FEES, ASSESSMENTS OR OTHER CHARGES AS PROVIDED BY ORS 92.095 HAVE BEEN PAID AS OF THIS _____ DAY OF _____, 2024

DIRECTOR OF ASSESSMENT AND TAXATION
(WASHINGTON COUNTY ASSESSOR)

BY _____

ATTEST THIS _____ DAY OF _____, 2024
DIRECTOR OF ASSESSMENT AND TAXATION
ER—OFFICIO COUNTY CLERK

BY _____

STATE OF OREGON)
COUNTY OF WASHINGTON) S.S.

I DO HEREBY CERTIFY THAT THIS SUBDIVISION PLAT WAS RECEIVED FOR RECORD ON THIS _____ DAY OF _____, 2024 AT _____ O'CLOCK _____ M, AND RECORDED IN THE COUNTY CLERK RECORDS.

DEPUTY COUNTY CLERK



JOB NAME:	JT ROTH MOSER
JOB NUMBER:	2400
DRAWN BY:	BJA
CHECKED BY:	CHS
DRAWING NO.:	2400 PLAT



BOUNDARY TOPOGRAPHIC CONSTRUCTION CADASTRAL
NORTHWEST SURVEYING, Inc.
1815 NW 169th PLACE, SUITE 2090
BEAVERTON, OR 97006
PHONE: 503-848-2127 FAX: 503-848-2179
www.nwsvy.com

Exhibit B

After recording return to:
Denali Homeowners Association
c/o J.T. Roth Construction Inc.
12600 SW 72nd Ave #200
Tigard, OR 97223

No change in tax statements.

Bargain and Sale Deed

J.T. Roth Construction, Inc., an Oregon company, Grantor, conveys to, Denali Homeowners Association, an Oregon nonprofit corporation, Grantee, the following real property described below.

Tracts C, D, and E, Moser Pass at Denali, in the City of Sherwood, Washington County, Oregon.

BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON TRANSFERRING FEE TITLE SHOULD INQUIRE ABOUT THE PERSON'S RIGHTS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009, AND SECTIONS 2 TO 7, CHAPTER 8, OREGON LAWS 2010. THIS INSTRUMENT DOES NOT ALLOW USE OF THE PROPERTY DESCRIBED IN THIS INSTRUMENT IN VIOLATION OF APPLICABLE LAND USE LAWS AND REGULATIONS. BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON ACQUIRING FEE TITLE TO THE PROPERTY SHOULD CHECK WITH THE APPROPRIATE CITY OR COUNTY PLANNING DEPARTMENT TO VERIFY THAT THE UNIT OF LAND BEING TRANSFERRED IS A LAWFULLY ESTABLISHED LOT OR PARCEL, AS DEFINED IN ORS 92.010 OR 215.010, TO VERIFY THE APPROVED USES OF THE LOT OR PARCEL, TO DETERMINE ANY LIMITS ON LAWSUITS AGAINST FARMING OR FOREST PRACTICES, AS DEFINED IN ORS 30.930, AND TO INQUIRE ABOUT THE RIGHTS OF NEIGHBORING PROPERTY OWNERS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009, AND SECTIONS 2 TO 7, CHAPTER 8, OREGON LAWS 2010.

The true consideration for this conveyance is other valuable consideration.

Dated this _____ day of _____ 202__.

By: McKenzie C. Roth, Vice President

STATE OF OREGON, County of _____)ss

This instrument was acknowledged be for me on _____ day of _____, 20____
by McKenzie C. Roth. as Vice President of J.T. Roth Construction, Inc.

Notary Public for Oregon
My commission expires:

After Recording Return To:
Karna R. Gustafson
Vial Fotheringham LLP
17355 SW Boones Ferry Rd., Suite A
Lake Oswego, OR 97035

SUPPLEMENTAL DECLARATION

FOR DENALI

ANNEXING MOSER PASS AT DENALI

THIS SUPPLEMENTAL DECLARATION FOR DENALI ANNEXING MOSER PASS AT DENALI is made this ____ day of _____, 20__, by J.T. Roth Construction, Inc., an Oregon corporation (the “Declarant”), with reference to the following facts:

A. By document entitled Declaration of Covenants, Conditions, and Restrictions for Denali recorded on May 1, 2019, Instrument No. 2019-026203 in the Official Records of Washington County, Oregon, the Declarant created the first phase of Denali ("Original Declaration"). The Amended and Restated Declaration of Covenants, Conditions and Restrictions for Denali recorded on March 19, 2020, Instrument No. 2020-023343 and re-recorded on February 2, 2021, Instrument No. 2021-013825 in the Official Records of Washington County, Oregon, superceded and replaced the Original Declaration. The Supplemental Declaration for Denali Annexing Denali Meadows was recorded on July 21, 2021, as Instrument No. 2021-080765 in the Official Records of Washington County, Oregon. The Supplemental Declaration for Denali Annexing Denali Summit was recorded on December 8, 2022, as Instrument No. 2022-070754 in the Official Records of Washington County, Oregon (collectively, the “Declaration”).

B. Section 2.2 of the Declaration provides that Declarant may annex additional property to Denali and thereby make such property subject to the Declaration.

C. Moser Pass at Denali, the fourth phase of development of Denali, consists of Lots 1-30, Tract B and Common Area Tracts A, C, D and E as shown on the plat. Tract B, though a part of Moser Pass at Denali, is not Common Area. Moser Pass at Denali, Lots 1-30 and Tracts A, B, C, D and E shall be collectively referred to as the “Property”.

NOW THEREFORE, Declarant declares that the Property shall be held, transferred, sold, conveyed and occupied subject to the Oregon Planned Community Act as may be amended from time to time (ORS 94.550 to 94.783) and in addition to being subjected to the Declaration, shall subject to the following covenants, conditions, restrictions, easements, charges and liens, which shall run with the land, which shall be binding upon all parties having or acquiring any right, title

or interest in the Property or any part thereof, and which shall inure to the benefit of the Association and of each Owner. To the extent provisions herein conflict with the Declaration, these provisions shall control the Property.

1. Common Area. The Common Area of Moser Pass at Denali shall consist of Tracts A, C, D and E. Tracts C, D and E shall be available for public use. Tract A is a road frontage visual corridor. Tracts C and D are open space. Tract E is a park. Except for the restroom facility on Tract E, the Common Area Tracts of Moser Pass at Denali shall be maintained by the Denali Homeowners Association as provided in the Declaration. If the Association fails to maintain the Common Area, the City of Sherwood may use code enforcement to ensure proper maintenance. Tract B is not Common Area, but a water quality facility which will be conveyed to the City of Sherwood. There shall be no entrance to Tract B except by authorized maintenance personnel. The restroom facility on Tract E shall be purchased, installed, maintained, repaired and replaced by the City of Sherwood. The City of Sherwood shall be responsible for setting the hours, operation, cleaning and maintenance schedule of the restroom. Tracts A, C, D and E shall be conveyed to the Denali Homeowners Association.
2. Commonly Maintained Property. Commonly Maintained Property shall include the pedestrian access easement path shown on the plat of Moser Pass at Denali which shall be maintained and repaired by the Denali Homeowners Association. The path crosses over portions of Lots 5 and 6 as shown on the plat. The Denali Homeowners Association shall have an easement over those portions of the Lots the path covers for purposes of maintenance and repair.
3. Vehicular Access Easement. A vehicular access easement accessing a neighboring property to the east crosses Tract B, Tract C and portions of Lots 7-10 as shown on the plat. The Denali Homeowners Association shall maintain that portion of the easement on Tract C and the owners of Lots 7-10 shall maintain the easement crossing their individual properties. The owners of Lots 7-10 are prohibited from interfering with the easement and shall not install permanent structures, retaining walls, fencing or landscaping over the easement area.
4. Home Square Footage. The square footage of a Home in Moser Pass at Denali shall not be less than twenty-five hundred (2500) square feet exclusive of decks, porches, carports and garages. The minimum square footage does not apply to Accessory Dwelling Units (“ADUs”).
5. Landscaping. The builder of a Home on a Lot in Moser Pass at Denali shall install the front landscaping of Lots prior to the occupancy of the Home. The Owner shall install the landscaping in the back of their Lot within six (6) months after the sale of a Home from the builder and shall be responsible for maintaining the landscaping of their Lot. Each Owner other than Declarant shall obtain the ARC’s prior approval of any modification to the front yard landscaping before commencing. No ARC approval shall be required prior to installation of backyard landscaping.

6. Accessory Dwelling Units. ADUs in Moser Pass at Denali may be separately rented from the main Home. The ADUs are not subject to a minimum rental period, but are subject to other restrictions in the Declaration and to the governing statutes of the City of Sherwood.

DECLARANT DECLARES that pursuant to the terms of the Declaration, Declarant, as owner of the real property described in herein, hereby annexes such real property to the planned development described in the Declaration.

IN WITNESS WHEREOF, Declarant has executed this Supplemental Declaration on the date set forth above.

J. T. ROTH CONSTRUCTION, INC.
an Oregon corporation

By: _____
Theresa A. Roth, President

STATE OF OREGON)
) ss. _____, 2023
County of _____)

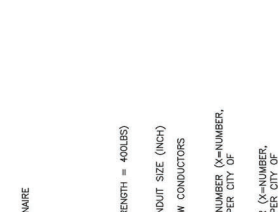
Personally appeared before me the above-named Theresa A. Roth who, being duly sworn, did say that she is the President of J. T. Roth Construction, Inc., an Oregon corporation, and that the foregoing instrument was signed on behalf of said corporation by authority of its board of directors; and acknowledged said instrument to be its voluntary act and deed.

Notary Public for Oregon

Exhibit C



REGISTRATION NO. 1470
 EXPIRES 12/31/2024
 SHERWOOD, OREGON
 RENEWAL DATE: 12/31/2024



R&W ENGINEERING, INC.
 4000 NE 10TH AVE, SUITE 107
 SHERWOOD, OREGON 97133
 PHONE (503) 726-3377
 FAX (503) 726-3378
 WWW.RANDW.COM

STREET LIGHTING GENERAL NOTES

- ALL ELECTRICAL EQUIPMENT SHALL CONFORM TO THE CURRENT STANDARDS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE CURRENT STANDARDS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) WHERE APPLICABLE, IN ADDITION TO THE REQUIREMENTS OF THE PLANS, AND THE SPECIAL PROVISIONS, ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO THE CURRENT REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE CURRENT REQUIREMENTS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) WHERE APPLICABLE, AND ANY LOCAL ORDINANCES WHICH MAY APPLY.
- STREET LIGHTS WILL BE PER SCHEDULE 95 OPTION C SPECIFICATIONS. ALL MATERIALS AND INSTALLATIONS SHALL BE APPROVED BY THE CITY OF SHERWOOD.

RACEWAY/CONDUCTORS

- PROVIDE NO SMALLER THAN 1" RACEWAY.
- PROVIDE SCHEDULE 40 PVC FOR UNDERGROUND RACEWAY.
- PROVIDE NO SMALLER THAN #10 AWG CONDUCTORS AND AS NOTED, STRANDED, COPPER XHHW, 600V.
- EVERY UTILIZED RACEWAY SHALL INCLUDE A SEPARATE EQUIPMENT GROUNDING CONDUCTOR.
- A MINIMUM OF (1) 2-INCH CONDUIT SHALL RUN BETWEEN JUNCTION BOXES AND A MINIMUM OF (1) 1-INCH CONDUIT SHALL RUN FROM THE JUNCTION BOX TO THE LIGHT POLE. THE CONDUIT SHALL BE INSTALLED IN A MANNER THAT PROTECTS IT FROM DAMAGE AND SHALL BE INSTALLED WITHIN THE CONDUIT. CONDUIT SHALL BE USED TO MAKE THE CONNECTION BETWEEN THE JUNCTION BOX AND THE POLE. A LOCATE TRACE WIRE SHALL BE INSTALLED IN EACH SPARE BUSHING INSTALLED AND AN APPROVED CONDUIT PLUG.

GENERAL REQUIREMENTS

- CONFORM TO CURRENT CODE INCLUDING OSGC, NEC, BUILDING CODE, AND LOCAL REQUIREMENTS. DRAWINGS, AS REQUIRED, AND AS INTENDED.
- EQUIPMENT SHALL BE NEW AND OF LIKE MATERIALS THROUGH AUTHORIZED DISTRIBUTORS. PROVIDE MANUFACTURER'S SPECIFICATIONS AND LISTING REQUIREMENTS. REFER TO OAR 118-308-00 FOR MORE INFORMATION ON OREGON LISTING REQUIREMENTS.
- WARRANT WORK, MATERIALS, AND EQUIPMENT FOR NOT LESS THAN ONE-YEAR. THIS REQUIREMENT SHALL NOT LIMIT, RESTRICT, OR OTHERWISE LESSEN ANY WARRANTY PROVIDED BY EQUIPMENT MANUFACTURER'S STANDARD WARRANTY IF GREATER THAN ONE-YEAR.
- PROVIDE SUBMITTALS FOR ELECTRICAL EQUIPMENT. PROVIDE STANDARD OUT-SHEETS CLEARLY INDICATING MODELS TO BE INSTALLED.
- GROUND SYSTEMS PER NEC ARTICLE 250, AS INDICATED, AND AS SHOWN.
- SEE OVI FOR ADDITIONAL REQUIREMENTS.
- ALL ELECTRICAL WORK TO COMPLY WITH NFPA 70E ARC FLASH RULES, WHICH WILL INCLUDE AN ARC FLASH ANALYSIS AND ARC FLASH LABEL FOR THE CONTROLLER CABINET.
- UNLESS THE CITY DETERMINES IN ITS SOLE DISCRETION THAT A CONTRACTOR'S ATTENDANCE IS NOT NECESSARY, CONTRACTORS WILL BE REQUIRED TO ATTEND A PRE-TASK MEETING WITH THE SHERWOOD CITY ENGINEER AND ELECTRICAL SUPERVISOR OR DESIGNEE TO DISCUSS THE PROJECT, SAFE WORK PROCEDURES FOR ALL ELECTRICAL WORK, AND TO BE FAMILIAR ON THE PROJECT.
- LOCK-OUT TAG-OUT PER NFPA 70E. KEEP POWER DISRUPTIONS TO A MINIMUM AND NOTIFY OWNER IN ADVANCE OF POWER DISRUPTIONS.
- CALL U-GO 811 AT LEAST 2-BUSINESS DAYS BEFORE DIG OR TRENCH PER OAR 902-001-0010 THROUGH -0090. SCAN & MARK SUGGESTED ROUTING FOR UTILITIES & IRRIGATION PRIOR TO ANY EXCAVATION. MARK ALL UTILITIES AND IRRIGATION WITH RED PAINT. THE CONTRACTOR SHALL MARK THE ANTICIPATED ROUTES WITH WHITE PAINT. THIS HELPS LOCATING PERSONNEL FIND THE RIGHT AREA AND LOCATE NEARBY FACILITIES AS ACCURATELY AS POSSIBLE.
- THE CONTRACTOR SHALL COORDINATE WITH PORTLAND GENERAL ELECTRIC (PGE) (SERVICE DESK 503-236-5450) TO IDENTIFY THE POWER SOURCE FOR THE NEW STREET LIGHTS. THE CONTRACTOR SHALL INSTALL CONDUIT AND WIRING TO THE POWER SOURCE AS REQUIRED BY PGE.

APPROVED STREET LIGHTING EQUIPMENT:

- WIRE FROM THE JUNCTION BOX TO THE LUMINAIRE SHALL BE PGE APPROVED, #10 AWG, 600 VOLT, 3-CONDUCTOR, CLASS B STRANDED, TYPE TC, WITH SUNLIGHT-RESISTANT 45-MIL PVC JACKET, SUTABLE FOR DIRECT BURIAL INSTALLATIONS. INSULATION TO BE BLACK, RED AND GREEN PER NEMA WC-7 FOR NEC 90 DEGREE C DRY AND 75 DEGREE C WET, 1000 FT AIR REELS. THE WIRE SHALL BE INSTALLED IN A MANNER THAT PROTECTS IT FROM DAMAGE AND SHALL BE INSTALLED WITHIN THE CONDUIT. CONDUIT SHALL BE USED TO MAKE THE CONNECTION BETWEEN THE JUNCTION BOX AND THE POLE. A LOCATE TRACE WIRE SHALL BE INSTALLED IN EACH SPARE BUSHING INSTALLED AND AN APPROVED CONDUIT PLUG.
- JUNCTION BOX APPROVED SPLICE BOXES. COVERS MUST BE MARKED "ELECTRIC". APPROVED BOXES ARE:
 CATALOG: JB-1 (413)245-183
 FCA13241B1-00043
 APPROVED MANUFACTURER: FCA13241B1-00043
 APPROVED MANUFACTURER: FCA13241B1-00043
 APPROVED MANUFACTURER: FCA13241B1-00043
 APPROVED MANUFACTURER: FCA13241B1-00043
 APPROVED MANUFACTURER: FCA13241B1-00043
 APPROVED MANUFACTURER: FCA13241B1-00043
- LUMINAIRES SHALL BE LED, TYPE 3 LIGHTING DISTRIBUTION PATTERN. THE APPROVED TYPE 'X' LUMINAIRE IS:
 CATALOG NUMBER: CXF32-03-3-750-3
 WESTBROOKE
 THE APPROVED TYPE 'B' LUMINAIRE IS:
 CATALOG NUMBER: ZOR-4B-4-PGE
 WESTBROOKE
- PHOTODELECTRIC SENSOR EACH STREET LIGHT IS TO BE EQUIPPED WITH INTEGRAL PHOTOELECTRIC SENSOR. THE APPROVED PHOTOELECTRIC CONTROL RELAY IS:
 CATALOG NUMBER: R88445
 RIPLEY
 EMBLE FINISH ALUMINUM, 18-FOOT FLUTED POLE WITH 4-FOOT EXTENSION, 4-FOOT ARM AND ANCHOR BASE. SEE CITY OF SHERWOOD STANDARD DRAWING RD-57. THE APPROVED POLES ARE:
 CATALOG NUMBER: P4445-18-A
 HADCO
 CONCRETE, 11" - GRADE 8 NC GALVANIZED STEEL BOLTS.
 CATALOG NUMBER: ZOR-4B-4-PGE
 UTILITY VAULT

SYMBOL LEGEND

- (E) EXISTING TO REMAIN
- (F) FUTURE
- (N) NEW
- FC FOOTCANDLE
- TYP. TYPICAL
- LED POLE MOUNTED LUMINAIRE
- LED BOLLARD LUMINAIRE
- STUB OUT CONDUIT
- CONDUIT CONTINUED
- PULL STRING (MINIMUM STRENGTH = 400LBS)
- LOCATE WIRE
- S-PVC SCHEDULE 40 CONDUIT SIZE (NCH)
- N-NUMBER OF TYPE XHHW CONDUCTORS
- X-CONDUCTOR SIZE
- Y-CONNECTED CIRCUIT, PER CITY OF SHERWOOD STANDARDS.
- INSTALL BOLLARD NUMBER (X-NUMBER, Y-CONNECTED CIRCUIT), PER CITY OF SHERWOOD STANDARDS.
- EXISTING SITE LUMINAIRE
- REFERENCE NOTE
- INSTALL NEW JB-1 JUNCTION BOX PER CITY OF SHERWOOD STANDARDS.
- INSTALL NEW JB-2 JUNCTION BOX PER CITY OF SHERWOOD STANDARDS.
- WHEN CONDUIT IS TO BE INSTALLED TO THE POLE, STRING TO BASE OF POLE OR OTHER SOURCE AS REQUIRED BY PGE. CONTRACTOR SHALL COORDINATE WITH PGE FOR POWER CONNECTION REQUIREMENTS PRIOR TO BID.
- UNLIMITED SERVICE CABINET

POLE AND LUMINAIRE SCHEDULE

POLE	ROAD	CLASSIFICATION	STATION	OFFSET*	ARM AND STYLE	HEIGHT	WANTS	INT'L LUMENS	LF	DISTRIBUTION PATTERN	B-U-G RATING	PGE SCHEDULE** AND OPTION
LP-1	SW MURDOCK ROAD	LOCAL - LOW	11+26.78'	27.00' R	ALUM. DEC.	22'	4'	WESTBROOKE 35	4601	0.85	TYPE 3	81-LUD-G1 95 C
LP-2	SW MURDOCK ROAD	LOCAL - LOW	10+11.77'	27.00' R	ALUM. DEC.	22'	4'	WESTBROOKE 35	4601	0.85	TYPE 3	81-LUD-G1 95 C
LP-3	SW MURDOCK ROAD	LOCAL - LOW	9+55.99'	27.00' R	ALUM. DEC.	22'	4'	WESTBROOKE 35	4601	0.85	TYPE 3	81-LUD-G1 95 C
LP-4	SW MURDOCK ROAD	LOCAL - LOW	8+69.38'	27.00' R	ALUM. DEC.	22'	4'	WESTBROOKE 35	4601	0.85	TYPE 3	81-LUD-G1 95 C
LP-5	SW MURDOCK ROAD	LOCAL - LOW	8+97.12'	27.00' R	ALUM. DEC.	22'	4'	WESTBROOKE 35	4601	0.85	TYPE 3	81-LUD-G1 95 C
LP-6	SW MURDOCK ROAD	LOCAL - LOW	5+72.32'	27.00' R	ALUM. DEC.	22'	4'	WESTBROOKE 35	4601	0.85	TYPE 3	81-LUD-G1 95 C
LP-7	SW MURDOCK ROAD	LOCAL - LOW	5+42.58'	31.00' R	ALUM. DEC.	22'	4'	WESTBROOKE 35	6857	0.85	TYPE 3	81-LUD-G1 95 C
LP-8	SW CURRY RIDGE DRIVE	LOCAL - LOW	34+19.88'	16.50' R	ALUM. DEC.	22'	4'	WESTBROOKE 35	4601	0.85	TYPE 3	81-LUD-G1 95 C
LP-9	SW CURRY RIDGE DRIVE	LOCAL - LOW	32+89.64'	16.50' L	ALUM. DEC.	22'	4'	WESTBROOKE 35	4601	0.85	TYPE 3	81-LUD-G1 95 C
LP-10	SW CURRY RIDGE DRIVE	LOCAL - LOW	31+69.95'	16.50' L	ALUM. DEC.	22'	4'	WESTBROOKE 35	4601	0.85	TYPE 3	81-LUD-G1 95 C
LP-11	SW BYERS LAKE TERRACE	LOCAL - LOW	8+84.81'	16.50' L	ALUM. DEC.	22'	4'	WESTBROOKE 35	4601	0.85	TYPE 3	81-LUD-G1 95 C
LP-12	SW BYERS LAKE TERRACE	LOCAL - LOW	8+99.42'	16.50' L	ALUM. DEC.	22'	4'	WESTBROOKE 35	4601	0.85	TYPE 3	81-LUD-G1 95 C
LP-13	SW BYERS LAKE TERRACE	LOCAL - LOW	8+71.92'	16.50' L	ALUM. DEC.	22'	4'	WESTBROOKE 35	4601	0.85	TYPE 3	81-LUD-G1 95 C
LP-14	SW CURRY RIDGE DRIVE	LOCAL - LOW	7+97.90'	16.50' L	ALUM. DEC.	22'	4'	WESTBROOKE 35	4601	0.85	TYPE 3	81-LUD-G1 95 C
LP-15	SW BYERS LAKE TERRACE	LOCAL - LOW	30+58.91'	16.50' R	ALUM. DEC.	22'	4'	WESTBROOKE 35	4601	0.85	TYPE 3	81-LUD-G1 95 C
LP-16	SW BYERS LAKE TERRACE	LOCAL - LOW	9+87.79'	16.50' R	ALUM. DEC.	22'	4'	WESTBROOKE 35	4601	0.85	TYPE 3	81-LUD-G1 95 C
LP-17	SW BYERS LAKE TERRACE	LOCAL - LOW	8+20.31'	16.50' L	ALUM. DEC.	22'	4'	WESTBROOKE 35	4601	0.85	TYPE 3	81-LUD-G1 95 C
LP-18	SW CURRY RIDGE DRIVE	LOCAL - LOW	29+37.29'	16.50' R	ALUM. DEC.	22'	4'	WESTBROOKE 35	6857	0.85	TYPE 3	81-LUD-G1 95 C
LP-19	SW CURRY RIDGE DRIVE	LOCAL - LOW	28+41.95'	16.50' L	ALUM. DEC.	22'	4'	WESTBROOKE 35	4601	0.85	TYPE 3	81-LUD-G1 95 C
LP-20	SW CURRY RIDGE DRIVE	LOCAL - LOW	27+19.21'	17.00' R	ALUM. DEC.	22'	4'	WESTBROOKE 35	4601	0.85	TYPE 3	81-LUD-G1 95 C
LP-21	SW CURRY RIDGE DRIVE	LOCAL - LOW	26+22.38'	17.00' L	ALUM. DEC.	22'	4'	WESTBROOKE 35	4601	0.85	TYPE 3	81-LUD-G1 95 C
LP-22	SW CURRY RIDGE DRIVE	LOCAL - LOW	24+92.43'	17.00' R	ALUM. DEC.	22'	4'	WESTBROOKE 35	4601	0.85	TYPE 3	81-LUD-G1 95 C
LP-23	SW CURRY RIDGE DRIVE	LOCAL - LOW	24+3.62'	16.50' L	ALUM. DEC.	22'	4'	WESTBROOKE 35	4601	0.85	TYPE 3	81-LUD-G1 95 C
LP-24	SW CURRY RIDGE DRIVE	LOCAL - LOW	22+95.99'	16.50' R	ALUM. DEC.	22'	4'	WESTBROOKE 35	4601	0.85	TYPE 3	81-LUD-G1 95 C

DESIGNER, M.P.

DRAWN: M.P.
 CONTACT: KJR
 PROJECT #: 1761001001
 DATE: 01/10/2024

DRAWING NO.

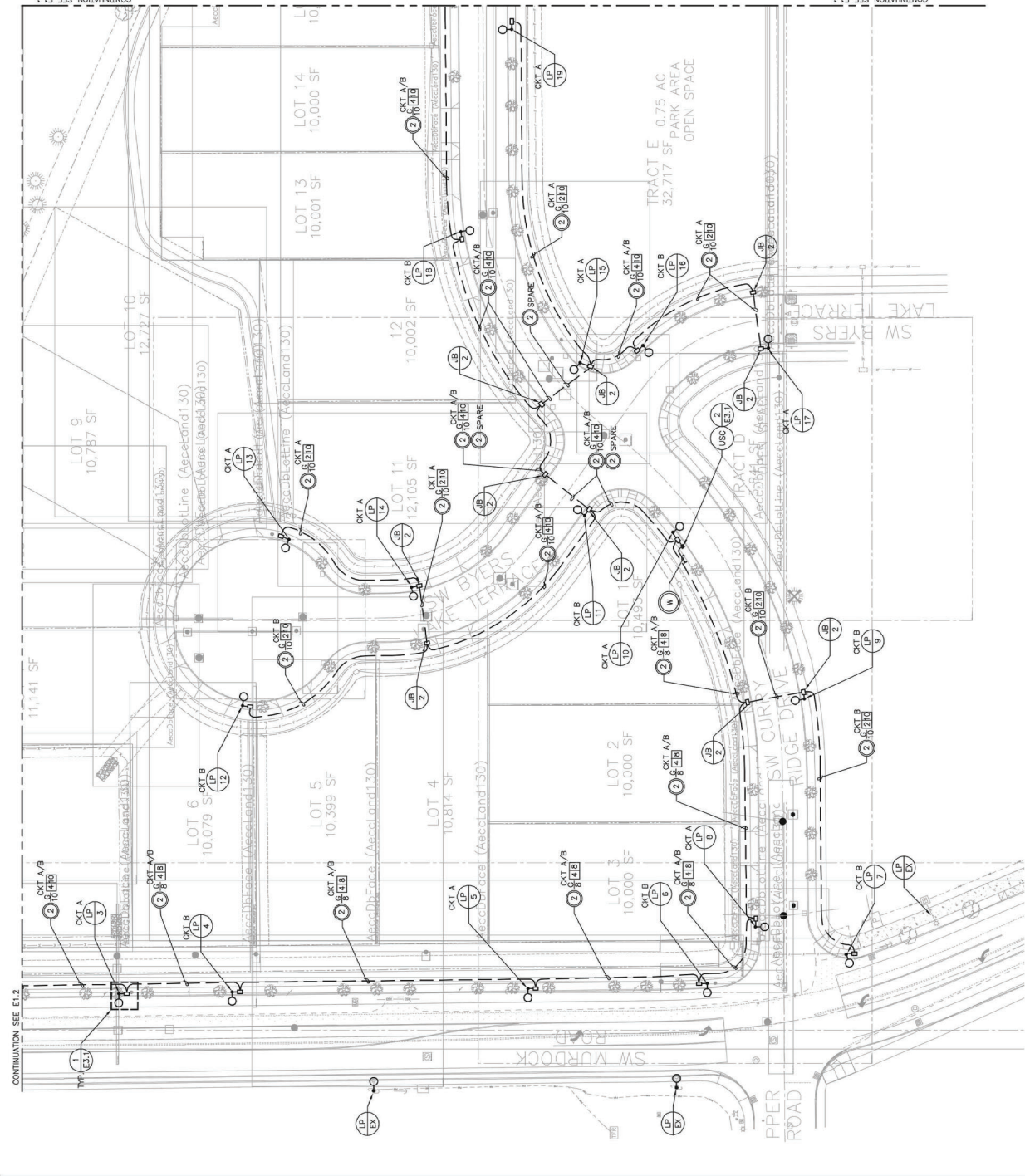
E0.1
 SHEET 1 OF 8

STREET LIGHTING COVER SHEET

SHERWOOD, OREGON
 MOSER PASS AT DENALI

REGISTRATION NO. 1470
 EXPIRES 12/31/2024
 SHERWOOD, OREGON
 RENEWAL DATE: 12/31/2024

THIS LINE IS 2 INCHES AT FULL SCALE IF THESE DIMENSIONS INCHES SCALE ACCORDINGLY.



GENERAL NOTES

- A. REFER TO SHEET E0.1 FOR SYMBOL, LEGEND, GENERAL NOTES, APPROVED EQUIPMENT, AND POLE AND LUMINAIRE SCHEDULE.
- B. REFER TO SHEET E3.1 FOR SERVICE DETAILS AND TYPICAL STREET LIGHT INSTALLATION DETAILS.



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 4035 N.W. Allen Blvd., Suite 107
 Sherwood, Oregon 97139
 Phone: (503) 750-3157
 Fax: (503) 750-3177
 E-mail: rkw@rkweng.com

REV	DATE	DESCRIPTION

PARTIAL SITE PLAN - ELECTRICAL
 SHERWOOD, OREGON
 MOSER PASS AT DENALI

DESIGNED: KJR
 DRAWN: MJP
 CONTACT: KJR
 PROJECT #: 1761.001.001
 DATE: 01/13/2024

DRAWING NO. **E1.0**
 SHEET 2 OF 8

THIS LINE IS 2 INCHES AT FULL SCALE. OTHER DIMENSIONS IN INCHES, SCALE ACCORDINGLY.



1 PARTIAL SITE PLAN - ELECTRICAL
 E1.0 SCALE: 1" = 30'-0"



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 Tualatin, Oregon 97061
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 E-mail: rwe@rwe.com

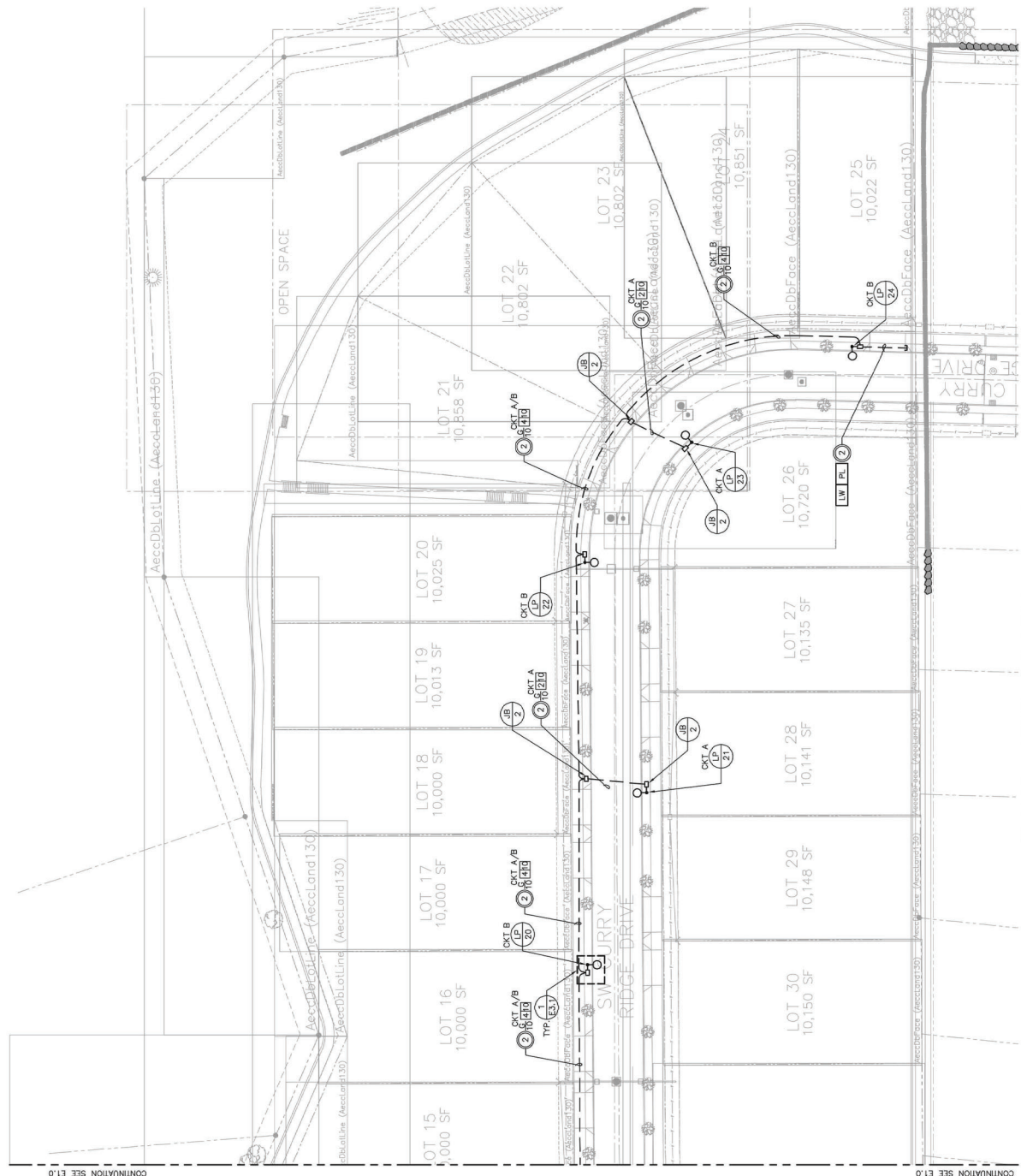
REV	DATE	DESCRIPTION

PARTIAL SITE PLAN - ELECTRICAL
 MOSER PASS AT DENALI
 SHERWOOD, OREGON

DESIGNER: KJR
 DRAWN: MJP
 CONTACT: KJR
 PROJECT #: 1761.001.001
 DATE: 01/31/2024

DRAWING NO. **E1.1**
 SHEET 3 OF 8

GENERAL NOTES
 A. REFER TO SHEET E0.1 FOR SYMBOL, LEGEND, GENERAL NOTES, APPROVED EQUIPMENT, AND POLE AND LUMINAIRE SCHEDULE.
 B. REFER TO SHEET E3.1 FOR SERVICE DETAILS AND TYPICAL STREET LIGHT INSTALLATION DETAILS.



SCALE IN FEET
 1" = 30'-0"

E1.1 SCALE: 1" = 30'-0"

1. PARTIAL SITE PLAN - ELECTRICAL

THIS LINE IS 2 INCHES
 AT FULL SCALE
 IF THIS LINE IS LESS THAN 2
 INCHES, SCALE ACCORDINGLY.

CONTINUATION SEE E1.0

CONTINUATION SEE E1.0



R&W
ENGINEERING, INC.

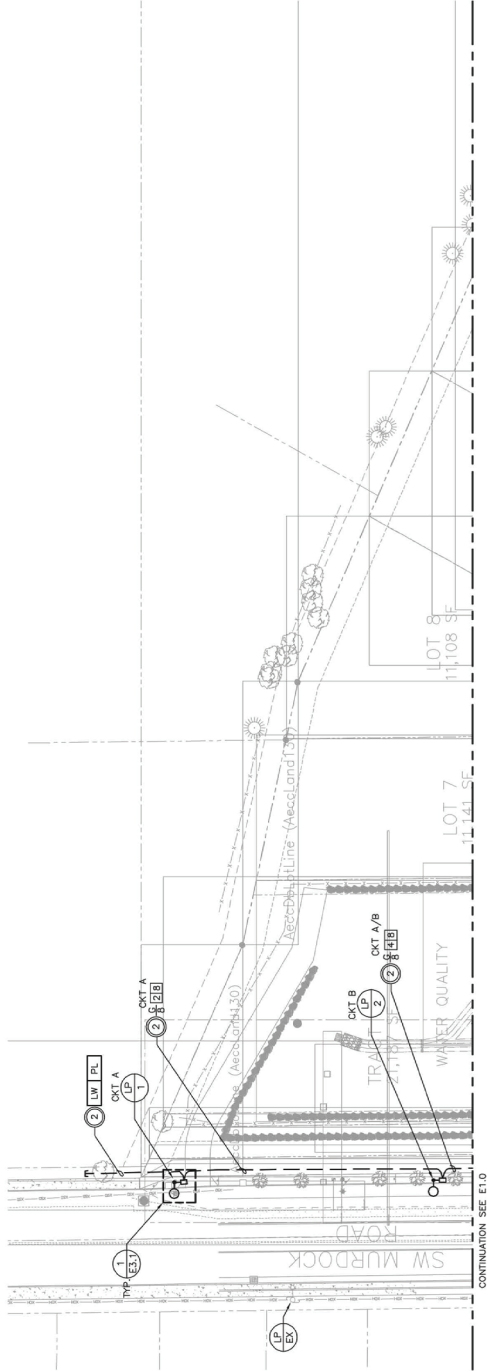
R&W ENGINEERING, INC.
2000 NE 10th Street, Suite 107
Sherwood, Oregon 97140
Phone: (503) 720-3127
E-mail: rwe@rweinc.com

REV	DATE	DESCRIPTION

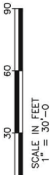
MOSER PASS AT DENALI
SHERWOOD, OREGON
PARTIAL SITE PLAN - ELECTRICAL

DESIGNED BY: KJR
DRAWN BY: MJP
CONTACT: KJR
PROJECT #: 1701.001.001
DATE: 01/31/2024

DRAWING NO. **E1.2**
SHEET 4 OF 8



1. PARTIAL SITE PLAN - ELECTRICAL
SCALE: 1" = 30'-0"

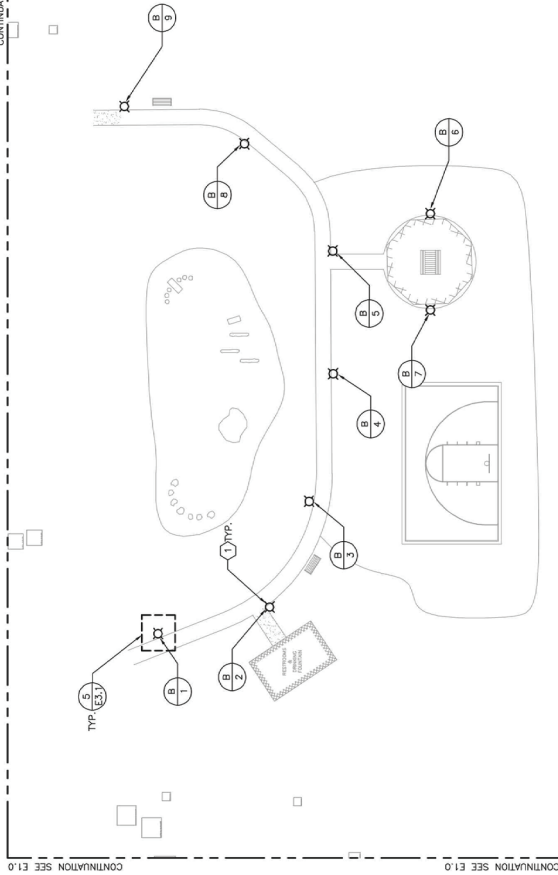


CONTINUATION SEE E1.0

- GENERAL NOTES**
- REFER TO SHEET E0.1 FOR SYMBOL LEGEND, GENERAL NOTES, APPROVED EQUIPMENT, AND POLE AND LUMINAIRE SCHEDULE.
 - REFER TO SHEET E3.1 FOR SERVICE DETAILS AND TYPICAL STREET LIGHT INSULATION DETAILS.

NOTES THIS SHEET

- BOLLARD POWER PROVIDED BY SOLAR CHARGED BATTERIES.



2. PARTIAL SITE PLAN - ELECTRICAL
SCALE: 1" = 20'-0"



THIS LINE IS 2 INCHES
AT FULL SCALE
IF THIS LINE IS 2
INCHES SCALE ACCORDINGLY



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E-mail: rwe@rweeng.com

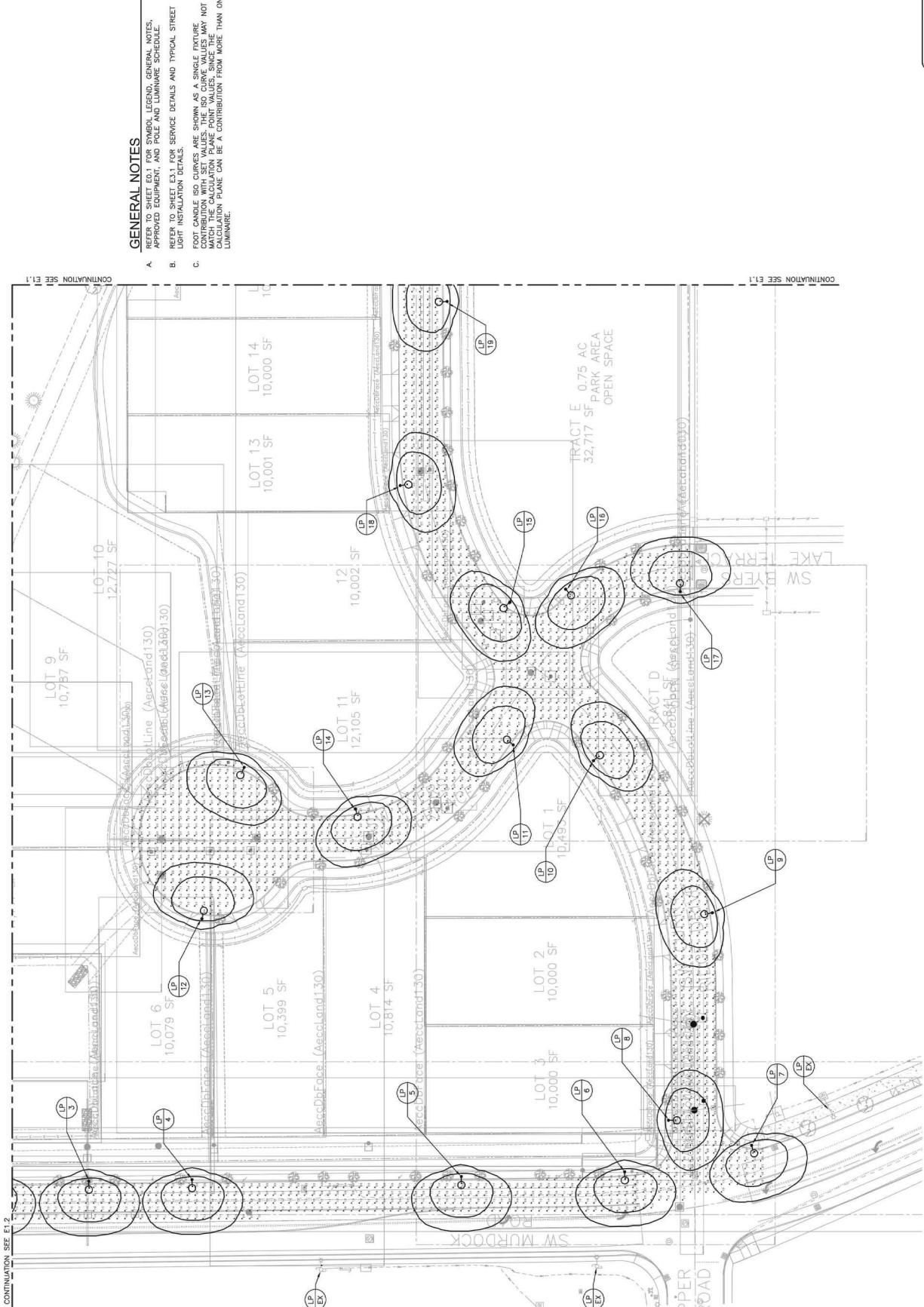
REV	DATE	DESCRIPTION

MOSER PASS AT DENALI
SHERWOOD, OREGON
PARTIAL SITE PLAN - PHOTOMETRIC

DESIGNED BY: KJR
DRAWN BY: MJP
CONTACT: KJR
PROJECT #: 1701.001.001
DATE: 01/31/2024

DRAWING NO.
E2.0
SHEET 5 OF 8

CONTINUATION SEE E1.2



THIS LINE IS 2 INCHES
AT FULL SCALE
IF DIMENSIONS ARE IN
INCHES, SCALE ACCORDINGLY

1 PARTIAL SITE PLAN - PHOTOMETRIC
E1.0 SCALE: 1" = 30'-0"

SCALE IN FEET
1" = 30'-0"

GENERAL NOTES

- A. REFER TO SHEET E0.1 FOR SYMBOL, LEGEND, GENERAL NOTES, APPROVED EQUIPMENT, AND POLE AND LUMINAIRE SCHEDULE.
- B. REFER TO SHEET EX.1 FOR SERVICE DETAILS AND TYPICAL STREET LIGHT INSTALLATION DETAILS.
- C. FOOT CANDLE ISO CURVES ARE SHOWN AS A SINGLE FEATURE FOR EACH LIGHT FIXTURE. THE VALUES SHOWN ARE THE MATCH THE CALCULATION PLANE POINT VALUES. SINCE THE CALCULATION PLANE CAN BE A CONTRIBUTION FROM MORE THAN ONE LUMINAIRE.

CONTINUATION SEE E1.1



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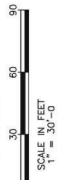
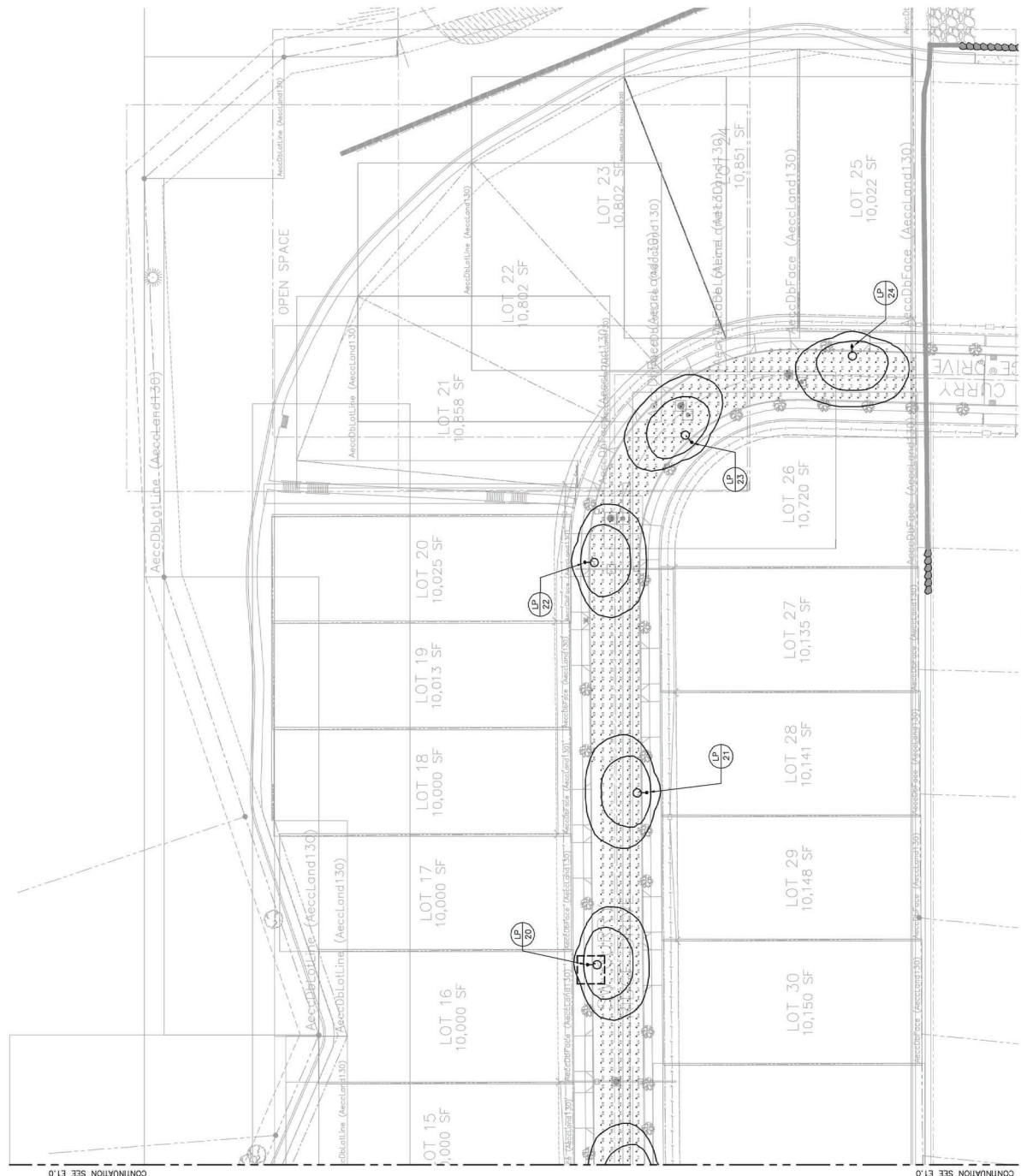
REV	DATE	DESCRIPTION

PARTIAL SITE PLAN - PHOTOMETRIC
SHERWOOD, OREGON
MOSEY PASS AT DENALI

DESIGNER: KJR
DRAWN: MJP
CONTACT: KJR
PROJECT #: 1791.001.001
DATE: 01/31/2024

DRAWING NO. **E2.1**
SHEET 6 OF 8

- GENERAL NOTES**
- REFER TO SHEET E0.1 FOR SYMBOL, LEGEND, GENERAL NOTES, APPROVED EQUIPMENT, AND POLE AND LUMINAIRE SCHEDULE.
 - REFER TO SHEET E3.1 FOR SERVICE DETAILS AND TYPICAL STREET LIGHT INSTALLATION DETAILS.
 - FOOT CANDLE ISO CURVES ARE SHOWN AS A SINGLE FIXTURE CONTRIBUTION WITH SET VALUES. THE ISO CURVE VALUES MAY NOT REPRESENT THE TOTAL CONTRIBUTION FROM ALL FIXTURES. A CALCULATION PLANE CAN BE A CONTRIBUTION FROM MORE THAN ONE LUMINAIRE.



1 PARTIAL SITE PLAN - PHOTOMETRIC

THIS LINE IS 2 INCHES
AT FULL SCALE
IF THE SCALE IS 2
INCHES SCALE ACCORDINGLY

CONTINUATION SEE E1.0

CONTINUATION SEE E1.0



R&W
ENGINEERING, INC.

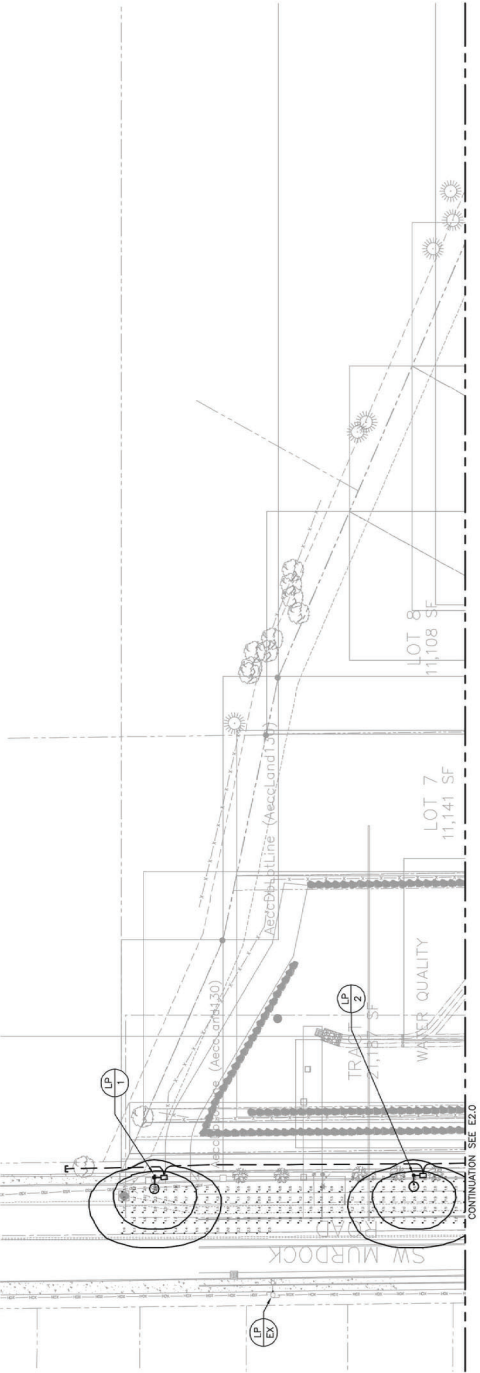
R&W ENGINEERING, INC.
20000 NE Highway 101, Suite 107
Tillamook, Oregon 97141
Phone: (503) 726-3127
Fax: (503) 726-3128
E-mail: rwe@rweinc.com

REV	DATE	DESCRIPTION

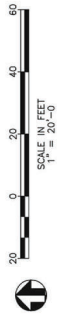
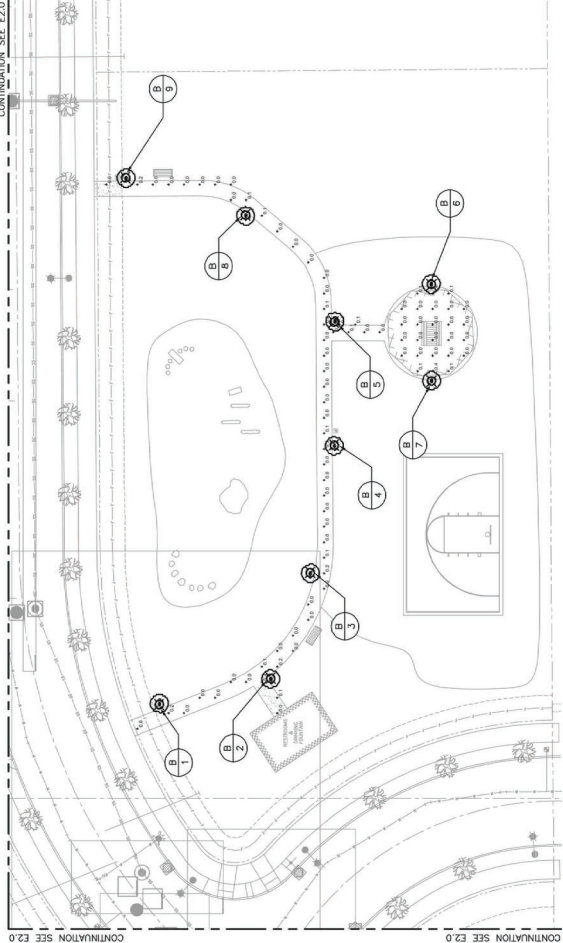
PARTIAL SITE PLAN - PHOTOMETRIC
SHERWOOD, OREGON
MOSER PASS AT DENALI

DESIGNER: KJR
DRAWN: MJP
CONTACT: KJR
PROJECT #: 1761.001.001
DATE: 01/31/2024

DRAWING NO.
E2.2
SHEET 7 OF 8



- GENERAL NOTES**
- REFER TO SHEET E2.1 FOR SYMBOL LEGEND, GENERAL NOTES, APPROVED EQUIPMENT, AND POLE AND LUMINAIRE SCHEDULE.
 - INNER LUMINAIRE ISO CURVE INDICATES 1 FOOT CANDLE. OUTER LUMINAIRE ISO CURVE INDICATES 0.5 FOOT CANDLES.
 - FOOT CANDLE ISO CURVES ARE SHOWN AS A SINGLE FIXTURE CONTRIBUTION WITH POINT VALUES. SINCE THE CALCULATION PLANE CAN BE AT A CONTRIBUTION FROM MORE THAN ONE LUMINAIRE.



THIS LINE IS 2 INCHES
AT FULL SCALE
IF THE SCALE IS 2
INCHES SCALE ACCORDINGLY



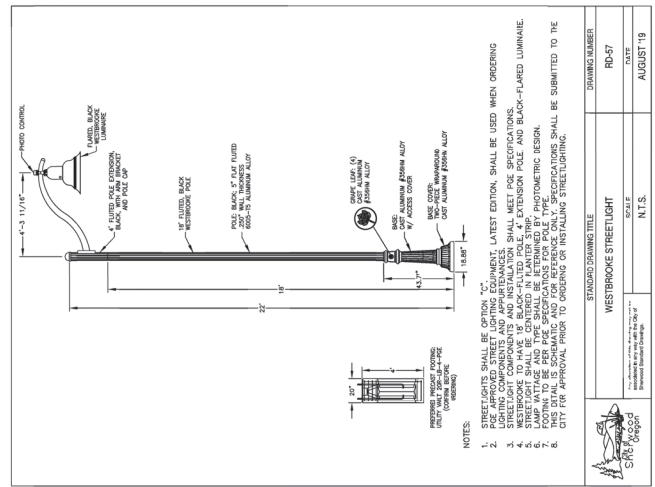
R&W ENGINEERING, INC.
 9815 SW Allen Blvd., Suite 107
 Tigard, Oregon 97138
 Phone: 503.671.9200
 Fax: 503.671.9200
 E-mail: rwe@rweengineering.com

REV	DATE	DESCRIPTION

WESTBROOKE STREETLIGHT DETAIL
SHERWOOD, OREGON
MOSER PASS AT DENALI

DESIGNED: KJR
 DRAWN: MJP
 CONTACT: KJR
 PROJECT #: 1761.001.001
 DATE: 11/08/2023

DRAWING NO.
E3.1
 SHEET 8 OF 8

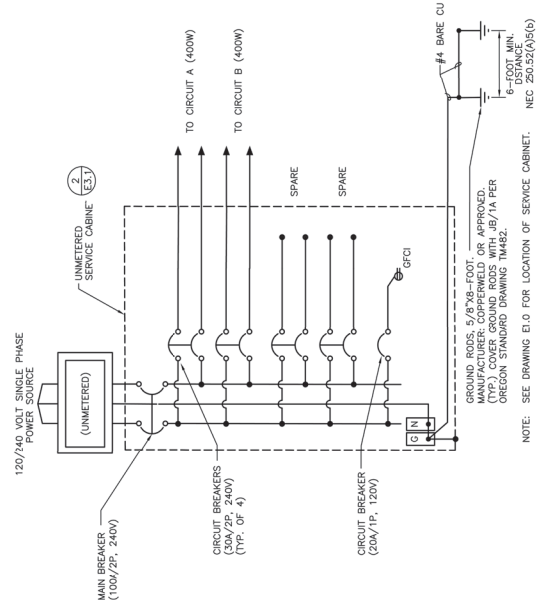


- NOTES:**
1. STREETLIGHTS SHALL BE OPTION "C".
 2. PGE APPROVED STREET LIGHTING EQUIPMENT, LATEST EDITION, SHALL BE USED WHEN ORDERING.
 3. STREETLIGHT COMPONENTS AND INSTALLATION SHALL MEET PGE SPECIFICATIONS.
 4. STREETLIGHT SHALL BE CENTERED IN PLANTER STRIP.
 5. STREETLIGHT SHALL BE CENTERED IN PLANTER STRIP.
 6. FOOTING TO BE PER PGE SPECIFICATIONS FOR POLE TYPE.
 7. FOOTING TO BE PER PGE SPECIFICATIONS FOR POLE TYPE.
 8. CITY HAS RESOLVED PAUSES TO ORDERING OR INSTALLING STREETLIGHTS.

STANDARD DRAWING TITLE	DRAWING NUMBER
WESTBROOKE STREETLIGHT	RD-57
DATE	AUGUST '19
SCALE	N.T.S.

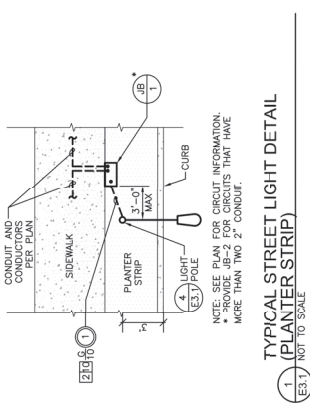
NOTE: DETAIL PROVIDED BY CITY OF SHERWOOD AND NOT PREPARED BY ENGINEER OF RECORD

4 UNMETERED SERVICE CABINET CIRCUIT DETAIL
 (E3.1) NOT TO SCALE



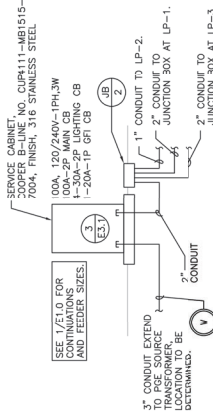
NOTE: SEE DRAWING E1.0 FOR LOCATION OF SERVICE CABINET.

3 UNMETERED SERVICE CABINET CIRCUIt DIAGRAM
 (E3.1) NOT TO SCALE

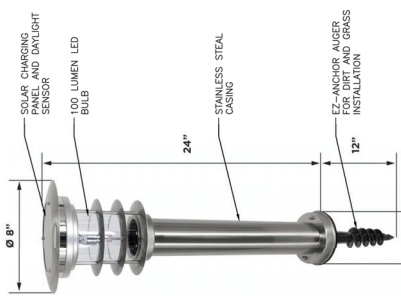


NOTE: SEE PLAN FOR CIRCUIT INFORMATION. SEE PLAN FOR CIRCUIT INFORMATION THAT HAVE MORE THAN TWO 2" CONDUIT.

1 TYPICAL STREET LIGHT DETAIL (PLANTER STRIP)
 (E3.1) NOT TO SCALE



2 UNMETERED SERVICE CABINET
 (E3.1) NOT TO SCALE



5 BOLLARD LUMINAIRE DETAIL
 (E3.1) NOT TO SCALE

THIS LINE IS 2 INCHES AT FULL SCALE IF DIMENSIONS ARE IN INCHES, SCALE ACCORDINGLY

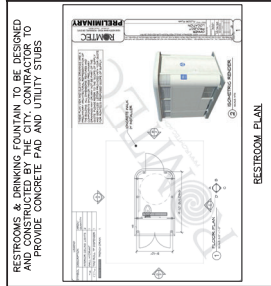
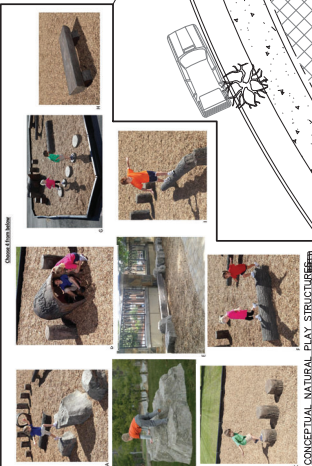
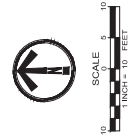
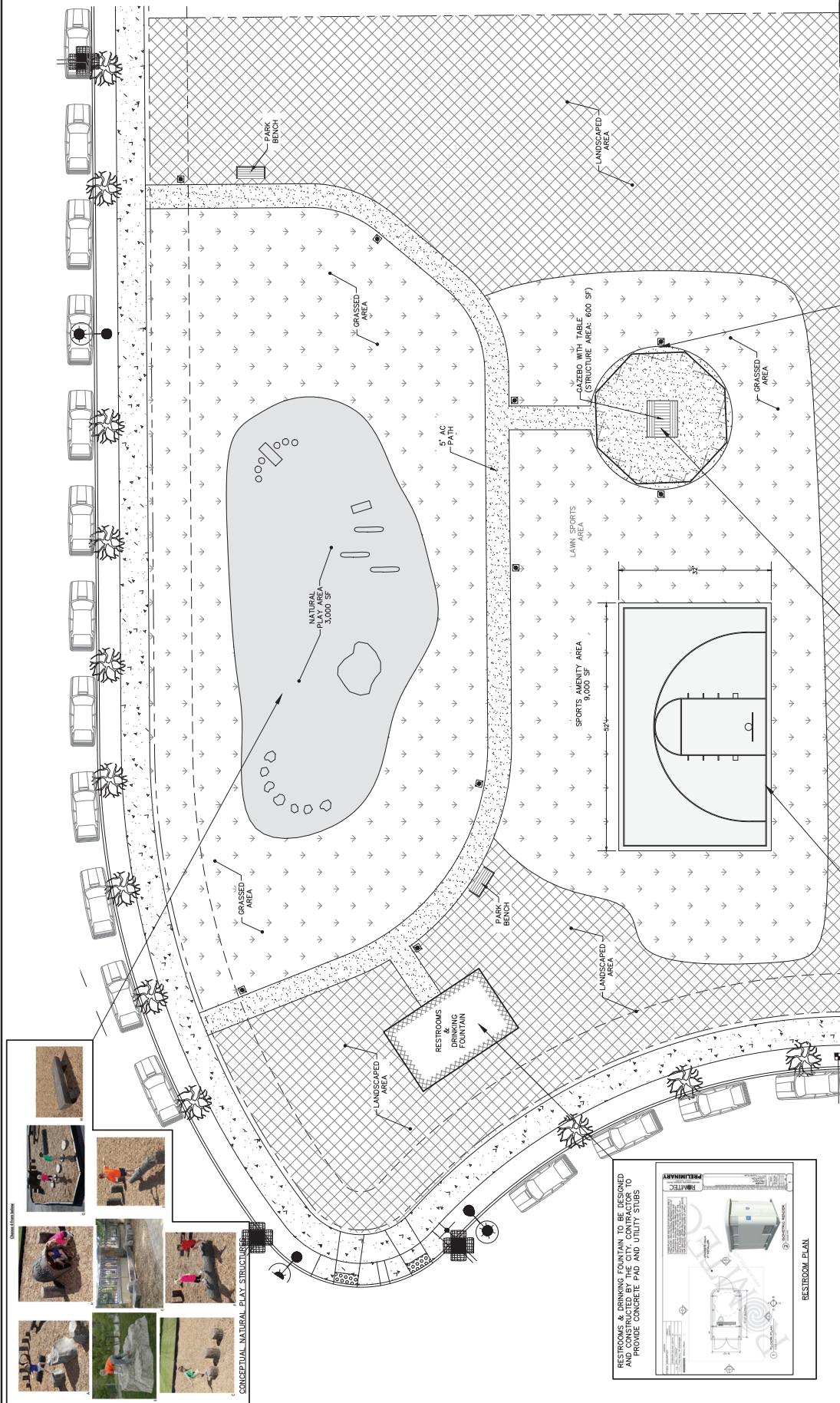
Exhibit D

PARK EXHIBIT



640 SW FALLBROOK PLACE, SUITE 100
BEAVERTON, OREGON 97008
TEL: (503) 648-8182
FAX: (503) 639-9592
www.emeriodesign.com

NO.	DATE	DESCRIPTION



LANDSCAPE & TREE NOTE
A LANDSCAPE AND TREE PLANTING PLAN SHALL BE PART OF THE FINAL PARK DESIGN BY OTHERS.

ELAT (ADA COMPLIANCE) AREA NOTE
THE PARK AREA HAS 29,000 SF OF FLAT (ADA COMPLIANT) AREA WITH A SLOPE OF 2.0% OR LESS.

PARK LIGHTING NOTE
LIGHTING FOR THE PARK SHALL BE INSTALLED PER A LIGHTING PLAN BY OTHERS. THIS PLAN ONLY SHOWS A CONCEPTUAL LIGHT DESIGN WITH TENTATIVE LOCATIONS.

Exhibit E

CLEAR VISION
EXHIBIT



6445 SW TALLEBROOK PLACE, SUITE 100
BEAVERTON, OREGON 97008
TEL: (503) 638-8812
FAX: (503) 638-9582
www.emeriodesign.com

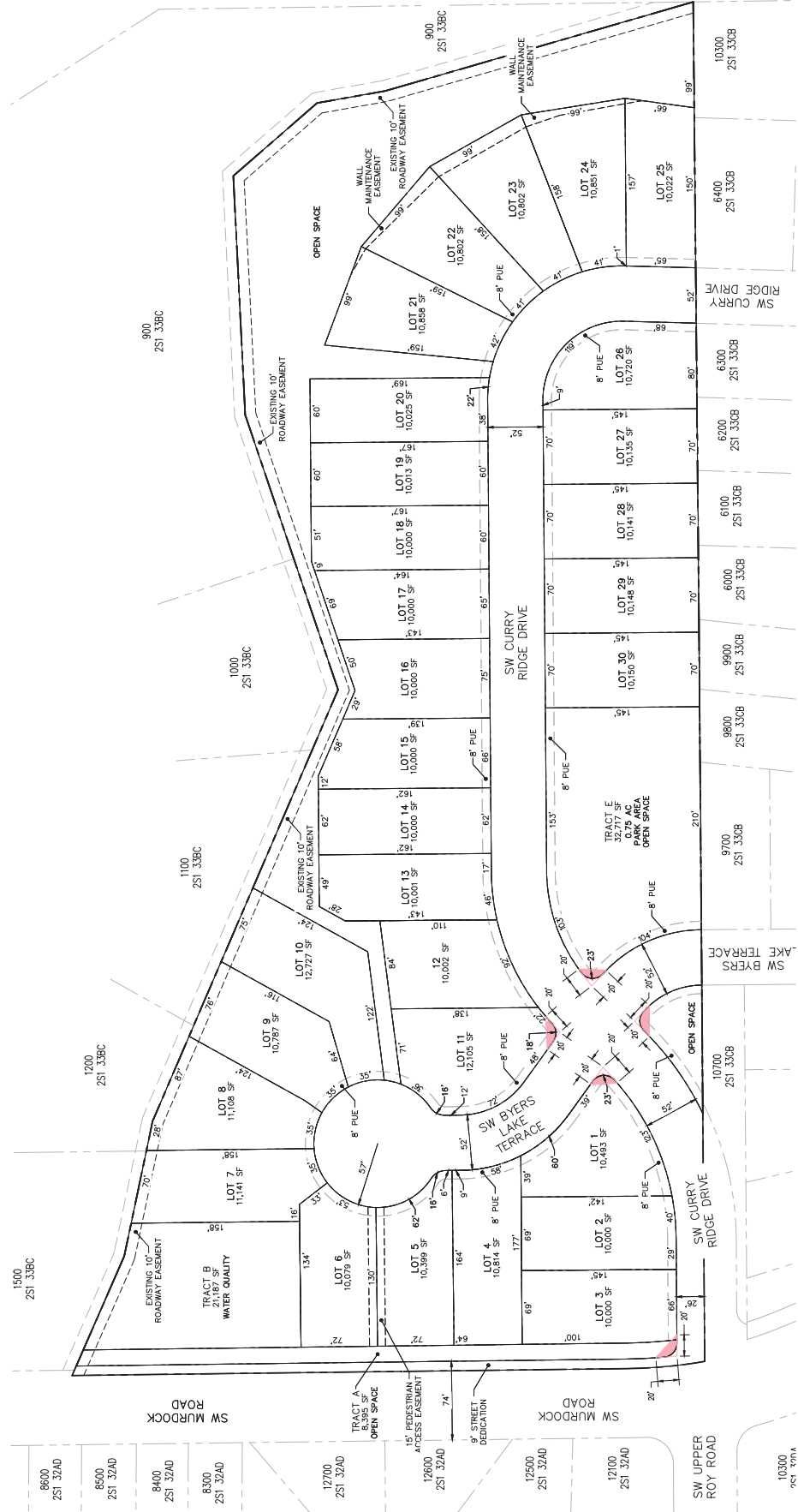
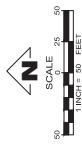
NO.	DATE	DESCRIPTION

SHEET 1 OF 1

SETBACK REQUIREMENTS	
FRONT:	15 FT.
REAR:	20 FT.
LEFT SIDE:	5 FT.
RIGHT SIDE:	5 FT.
STREET:	15 FT.

- 20' X 20' CLEAR VISION AREA

THESE PLANS ARE FULL SIZE ON WALZ (ANSI-Z) PAPER, PLOTTED ON 11x17 (ANSI-B) SCALE ACCORDINGLY.



INITIATIVE PLAT
SCALE: 1" = 50'

Exhibit F

Department of Health and Human Services
Environmental Health Program
155 N. First Ave, MS 5, Suite 170
Hillsboro, OR 97124
Telephone: 503-846-8722 Fax: 503-846-3705
WashCoSeptic.com



Public Health
Prevent. Promote. Protect.

SEPTIC TANK DECOMMISSION (ABANDONMENT)

Property Owner Name: (please print) J.T. Roth Construction, Inc.			
Township: 2S	Range: 13	Section: 3BC	Tax Lot #: 1700
Property Address: (include city, state, zip) 22900 SW Murdock Rd, Sherwood, OR			
<input checked="" type="checkbox"/> Was pumped of sludge on: Date: <u>8/31/23</u> Signature of Licensed Operator: _____ License #: <u>CP114</u>			
<input checked="" type="checkbox"/> Was backfilled with sand or clean bank run gravel AFTER being pumped of sludge on: Date: <u>8/31/23</u>			
<input type="checkbox"/> Was connected to city sewer: <u>not connected to city</u> Date: _____ Signature of Operator: _____			
Oregon Administrative Rules 340-071-0185 Decommissioning of Systems			
1) The owner must decommission a system when: (a) A sewerage system becomes available and the facility the system serves has been connected to that sewerage system; (b) The source of sewage has been permanently eliminated; (c) The system has been operated in violation of OAR 340-071-0130(13) and a repair permit and Certificate of Satisfactory Completion have not subsequently been issued for the system; (d) The system has been constructed, installed, altered, or repaired without a permit required in this division, and a permit has not subsequently been issued for the system; or (e) The system has been operated or used without a required Certificate of Satisfactory Completion or Authorization Notice and a Certificate of Satisfactory Completion or Authorization Notice has not subsequently been issued for the system.			
2) Procedures for Decommissioning: (a) Tanks, cesspools, and seepage pits must be pumped by a licensed sewage disposal service to remove all septage. (b) Tanks, cesspools, and seepage pits must be filled with reject sand, bar run gravel, or other material approved by the agent, or the container must be removed and properly disposed.			
The septic tank at the address above has been decommissioned in accordance with the Oregon Administrative Rules.			
Property Owner Signature:			Date:

EXHIBIT B

ON-GOING CONDITIONS OF APPROVAL

Based upon review of the applicant's submittal information, review of the code, agency comments and consideration of the applicant's submittal, City Council finds that the proposed site plan does not fully comply with the standards but can be conditioned to comply. **Therefore, City Council approves LU 2022-020 SUB / PUD Moser Pass subject to the following conditions of approval:**

A. GENERAL CONDITIONS

1. Compliance with the Conditions of Approval is the responsibility of the developer or its successor in interest.
2. Development and construction on the site shall conform substantially to the preliminary plat plans submitted by Emerio Design as part of the land use review, except as modified in the conditions below, (and shall conform specifically to final construction plans reviewed and approved by the City Engineer, the Building Official, Clean Water Services, and Tualatin Valley Fire and Rescue, and Washington County). All plans shall comply with the applicable building, planning, engineering and fire protection codes of the City of Sherwood.
3. Placement of construction trailers or temporary storage containers on the subject property shall require a Temporary Use Permit per Section 16.86 of the SZCDC.
4. This approval does not negate the need to obtain permits, as appropriate from other local, state or federal agencies, even if not specifically required by this decision.
5. All fences within the subdivision shall meet the requirements in Sherwood Zoning and Community Development Code Chapter 16.58.020.
6. The applicant and future owners shall restrict and maintain on-site landscaping, utilities, and any other obstructions in the sight distance triangles to provide adequate sight distance at access locations.
7. Prior to Building Permit application submittal, obtain address(es) for the site or parcels.
8. No property created by the subdivision approval shall be disposed of, transferred, or sold until required subdivision approvals are obtained, pursuant to Sherwood Zoning & Community Development Code.
9. The required public improvements and common areas shall be substantially completed within one (1) year from the date of the Notice of Decision of the Final Development Plan.
10. Trees within the Clear Vision Areas shall be maintained in accordance with the clear vision standards in SZCDC § 16.58.010. Trees shall be pruned to 7 ft. above the sidewalk and 10 ft. above the street.

11. If the existing access easement along the north property line is not extinguished, no fences, retaining walls, or permanent structures shall be constructed within the easement on Lots 7 – 10 and Tracts B and C.
12. The preliminary plat approval is valid for two years from the date of the Notice of Decision. The final plat shall be approved by the City within two years of Notice of Decision, unless an extension is granted by the City prior to the two-year deadline.
13. The applicant and future owners shall install and maintain the restored forest area in accordance with the final Forest Restoration Plan. Landscaping under the Forest Restoration Plan is not required for occupancy as tree planting is required to follow a specific schedule based on the season.
14. The proposed development shall comply with the conditions of the CWS Service Provider Letter.
15. Per City of Sherwood standards, all new utilities shall be placed underground.
16. The Final Plat shall be processed as a Type I administrative decision. The Final Development Plan shall be processed as a Type IV land use decision.
17. The PUD ordinance shall become effective upon approval of the Final Development Plan pursuant to SZCDC 16.40.30.

C. PRIOR TO APPROVAL OF THE PUBLIC IMPROVEMENT PLANS / ISSUANCE OF A CITY OF SHERWOOD ENGINEERING COMPLIANCE AGREEMENT

1. Prior to engineering plan approval and any filling of the on-site wetland, the proposed development shall obtain a US Army Corps of Engineers/Oregon Department of State Lands joint permit.
2. Prior to Approval of Engineering Public Improvement Plans, the developer shall design for street widening improvements (including street lighting and street trees) along the subject property frontage of SW Murdock Road to meet a 3-lane city arterial street section meeting the approval of the Sherwood Engineering Department.
3. Prior to Approval of Engineering Public Improvement Plans, the developer shall design for left turn lanes within SW Murdock Road at the SW Murdock Road/SW Upper Roy Street intersection meeting the approval of the Sherwood Engineering Department.
4. Prior to Approval of Engineering Public Improvement Plans, the developer shall design for new sidewalk ramps on the western side of the SW Murdock Road/SW Upper Roy Street intersection meeting the approval of the Sherwood Engineering Department. These improvements will be city transportation SDC creditable (100%) and Washington County TDT creditable (75%) in accordance with the applicable jurisdictional regulations.
- ~~5. Prior to Approval of Engineering Public Improvement Plans, the developer shall design for new sidewalk ramps on the western side of the SW Murdock Road/SW~~

~~Upper Roy Street intersection meeting the approval of the Sherwood Engineering Department. These improvements will be city transportation SDC creditable (100%) and Washington County TDT creditable (75%) in accordance with the applicable jurisdictional regulations. (duplicate condition to C4 above)~~

6. Prior to Approval of Engineering Public Improvement Plans, the developer shall design for new continental crosswalk and rapid flashing beacon at the SW Murdock Road/SW Upper Roy Street intersection meeting the approval of the Sherwood Engineering Department. These improvements will be city transportation SDC creditable (100%) and Washington County TDT creditable (75%) in accordance with the applicable jurisdictional regulations.
7. Prior to Approval of Engineering Public Improvement Plans, the developer shall design for new local street improvements (including street lighting and street trees) within the subdivision to meet a 28' local standard residential street section meeting the approval of the Sherwood Engineering Department.
8. Prior to Approval of Engineering Public Improvement Plans, an engineering compliance agreement shall be executed between the developer and the City of Sherwood.
9. Prior to Approval of Engineering Public Improvement Plans, the subject development shall design to provide public sanitary sewer service to all proposed lots through new public streets/public easements meeting the approval of the Sherwood Engineering Department.
10. Prior to Approval of Engineering Public Improvement Plans, the subject development shall design to provide water service and fire protection to all proposed lots meeting the approval of the Sherwood Engineering Department.
11. Prior to Approval of Engineering Public Improvement Plans, the subject development shall design to extend public water lines to connect to the water lines within SW Murdock Road, SW Byers Lake Terrace and SW Curry Ridge Drive meeting the approval of the Sherwood Engineering Department.
12. Prior to Approval of Engineering Public Improvement Plans, the subject development shall design to add a fire hydrant along SW Murdock Road meeting the approval of the Sherwood Engineering Department.
13. Prior to Approval of Engineering Public Improvement Plans, the subject development shall design to provide public storm sewer service to all proposed lots, new streets and new street widening meeting the approval of the Sherwood Engineering Department.
14. Prior to Approval of Engineering Public Improvement Plans, the proposed development shall design to provide on-site water quality treatment/hydro-modification facilities with maintenance access to all facility structures in accordance with city and Clean Water Services standards unless otherwise approved by the city and Clean Water Services. These facilities shall be designed meeting the approval of the Sherwood Engineering Department.

15. Prior to Approval of Engineering Public Improvement Plans, the proposed development shall provide a storm report in compliance with CWS standards meeting the approval of the Sherwood Engineering Department.
16. Prior to Approval of Engineering Public Improvement Plans, the proposed development shall obtain a DEQ NPDES 1200-C permit.
17. Prior to Approval of Engineering Public Improvement Plans, a CWS Storm Water Connection Permit Authorization shall be obtained.
18. Prior to Approval of Engineering Public Improvement Plans, the developer shall design to underground the existing overhead utilities along the east side of SW Murdock Road along the frontage of the subject development meeting the approval of the Sherwood Engineering Department.

D. PRIOR TO ISSUANCE OF A SITE GRADING PERMIT

1. None

E. PRIOR TO ISSUANCE OF BUILDING PERMITS

1. Prior to Issuance of Building Permits for each lot, the applicant shall provide plot plans and building plans showing the residential structures meet the development standards of the VLDR-PUD zone. No exceptions to the underlying standards are permitted unless a modification to the PUD is approved pursuant to SZCDC § 16.40.
2. Prior to Issuance of Building Permits, the applicant shall demonstrate how the proposed garages for each residential unit meet the garage standards in SZCDC § 16.12.040.
3. Prior to Issuance of Building Permits, the applicant shall demonstrate compliance with the Residential Design standards in SZCDC § 16.14.010 Table 16.14-1.
4. Prior to Issuance of Building Permits, the applicant shall provide a House Variety Plan that demonstrates compliance with the housing variety standards in Residential Design standards in SZCDC § 16.14.010 Table 16.14-1.
5. Prior to Issuance of Building Permits, substantial completion of the public improvements by the Sherwood Engineering Department is required unless otherwise approved by the Sherwood Engineering Department in the case of a model home.

F. PRIOR TO ACCEPTANCE OF CONSTRUCTED PUBLIC IMPROVEMENTS

1. Prior to Acceptance of Public Improvements, the developer shall dedicate right-of-way as necessary to achieve a 39-foot wide half street right-of-way along the subject property frontage of SW Murdock Road meeting the approval of the Sherwood Engineering Department.
2. Prior to Acceptance of Public Improvements, the developer shall dedicate right-of-way to a 52-foot width for local street improvements within the subject development meeting the approval of the Sherwood Engineering Department.

3. Prior to Acceptance of Public Improvements, the developer shall dedicate a minimum 8-foot wide PUE along all street frontages within the subject development meeting the approval of the Sherwood Engineering Department unless otherwise approved by the City Engineer.
4. Prior to Acceptance of Public Improvements, the developer shall construct all required public improvements meeting the approval of the Sherwood Engineering Department.
5. Prior to Acceptance of the Public Improvements, any public sanitary sewer located on private property shall have a recorded public sanitary sewer easement encompassing the related public sanitary sewer improvements meeting the approval of the Sherwood Engineering Department.
6. Prior to Acceptance of the Public Improvements, the public water system that is currently under construction within the Denali Summit subdivision will be required to have received Acceptance of Public Improvements by the Sherwood Engineering Department.
7. Prior to Acceptance of the Public Improvements, any public storm sewer located on private property shall have a recorded public storm sewer easement encompassing the related public storm sewer improvements meeting the approval of the Sherwood Engineering Department.
8. Prior to Acceptance of the Public Improvements, the tract of land containing the public water quality facilities meeting the approval of the Sherwood Engineering Department shall be dedicated to the City of Sherwood.
9. Prior to Acceptance of the Public Improvements, any fence for protection of the public water quality/hydro-modification facility that is located on private property shall have a Fence and Maintenance Covenant recorded meeting the approval of the Sherwood Engineering Department.
10. Prior to Acceptance of the Public Improvements, Sherwood Broadband utilities (vaults and conduits) shall be installed along the subject property frontage of all streets interior to the subject development and the frontage along SW Murdock Road per requirements set forth in City Ordinance 2005-017 and City Resolution 2005-074.

G. PRIOR TO OCCUPANCY OF STRUCTURES

1. Prior to Occupancy, open space improvements shall be installed in accordance with the Final Open Space Plan and Landscape Plan.
2. Prior to Occupancy each residence, the front yard of each lot shall be fully landscaped excluding any paved off-street parking areas, paved pedestrian paths, and utility areas.
3. Prior to Occupancy, all common landscaped areas must have an irrigation system in accordance with SZCDC § 16.92.040(C).
4. Prior to Occupancy of Each Residence, a minimum of one off-street parking stall shall be provided on the lot. Garage spaces cannot be counted towards meeting this requirement. The minimum stall dimension is 9 ft. x 20 ft

5. Prior to Occupancy of Each Residence, one hard surface driveway shall be provided on the lot. Pavement width shall be a minimum of 10 ft. wide and grades shall not exceed 14%.
6. Prior to Occupancy, street trees shall be installed in accordance with the final landscape plan.
7. Prior to Occupancy, final acceptance of the constructed public improvements shall be obtained from the City of Sherwood Engineering Department unless otherwise approved by the city.
8. Prior to Grant of Occupancy, any private sanitary piping shall be installed in compliance with the current Oregon Plumbing Specialty Code.
9. Prior to Grant of Occupancy, any private water piping shall be installed in compliance with the current Oregon Plumbing Specialty Code.
10. Prior to Grant of Occupancy, any private storm piping shall be installed in compliance with the current Oregon Plumbing Specialty Code.
11. Prior to Occupancy, all open space and visual corridor landscaping shall be installed in accordance with the final landscape plans.

Joy Chang

From: Craig Christensen
Sent: Monday, February 12, 2024 11:03 AM
To: Joy Chang
Subject: RE: Moser Plass - Incompleteness Response Materials

Joy,

Storm sewer along SW Murdock Road may prevent street trees in landscape strip.
Tract B will likely get smaller in size.
Final easements have yet been determined.

All of the above is pending upon final engineering plan approval.

Thank you.

Craig Christensen, P.E.
Senior Civil Engineer, Engineering Dept.
City of Sherwood
(503) 925-2301

-----Original Message-----

From: Joy Chang <ChangJ@SherwoodOregon.gov>
Sent: Monday, February 12, 2024 10:30 AM
To: Craig Christensen <ChristensenC@SherwoodOregon.gov>
Subject: Moser Plass - Incompleteness Response Materials

See attached and thanks for the review.

Joy L. Chang
Senior Planner

Joy Chang

From: Jesse D'Elia <jesse.delia.jd@gmail.com>
Sent: Wednesday, February 14, 2024 6:29 PM
To: Planning Mailbox
Subject: Moser Pass Development Plan PUBLIC COMMENT

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you are expecting this email and/or know the content is safe.

I am providing the following public comment on the MOSER PASS Final Development Plan (LU 2022-020 SUB/PUD).

I request the applicant and/or the city install a crosswalk or 4-way stop sign at the intersection of Upper Roy St. and Murdock Rd. Traffic traveling on Murdock from north to south has limited visibility at this intersection due to rising elevation, and cars are typically accelerating to get up the hill. Also, because of a bend in the road to the south, traffic traveling north at this intersection also has limited visibility. With citizens crossing from the new development to access Murdock Park and the rest of the city, and visa-versa, it would benefit everyone to have a protected area to cross the street here. If you decide not to establish a 4-way stop sign, I would strongly suggest a crosswalk that has an electronic signal for higher visibility.

Thank you for your consideration.

Jesse D'Elia
23125 SW William Ave
Sherwood, OR 97140