

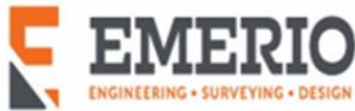
Moser Pass At Denali Final Development Plan

Prepared for:
JT Roth Construction

Prepared by:



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APPLICANT: JT Roth Construction
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Portland, OR 97223

**CIVIL ENGINEER,
PLANNING &**

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SITE

LOCATION: The 12.36-acre subject property is located at 22900 SW Murdock Road

TAX LOTS: 2S133BC0; Tax Lot 1700

SITE SIZE: The subject site totals 12.36 acres in size.

ZONING: VLDR

REQUEST: The applicant is seeking approval of final development plan and final plat by demonstrating compliance with all conditions of approval that are specifically required. This submittal specifically addresses the incompleteness items included in the October 24, 2023, incompleteness letter.

I. INTRODUCTION

On March 7, 2023, JT Roth Construction received approval for a 30-lot subdivision/planned unit development that included an open space area with pedestrian path connections and a public park. The applicant submitted materials to demonstrate compliance with all required conditions of approval for final development plan and final plat approval on September 27, 2023. On October 24, 2023, the applicant received a letter of incompleteness listing the needed materials.



II. INCOMPLETENESS LETTER ITEMS

3. Prior to Final Plat Approval, show a clear vision area on the corners of each street intersection in accordance with SZCDC § 16.58.010 Clear Vision Areas.

Exhibit E shows the clear vision areas but needs to include dimensions with labels. Please revise Exhibit E that include the dimensional requirements for the clear vision areas.

Applicant Response: Exhibit E has been updated to include dimensions for each of the clear vision triangles. The standards of SZCDC 16.58.010 are shown to be met.

5. Prior to Final Development Plan approval, provide a final Landscape Plan (including open space improvements) and Forest Restoration Plan.

The Landscape and the Forest Restoration Plans must be certified by a licensed landscape architect and a Certified Arborist. Please provide their certification stamps.

Applicant Response: The applicant has included the updated Landscape Plan with appropriate certification information by the required professional. Also included in this submittal is a memo by the project Arborist certifying the Forest Restoration Plan.

7. Prior to final plat approval, submit draft deeds for City review dedicating Open Space Tracts C, D, E, and F to the future HOA. The deeds shall be recorded with the final plat.

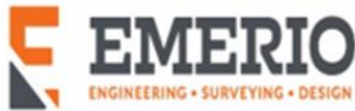
Exhibit B is a Supplemental Declaration for Denali Annexing Moser Plass at Denali. The draft Deeds were not submitted. See attached example.

Applicant Response: The Bargain and Sale Deed has been included in this submittal to demonstrate compliance with the above requirement.

11. Prior to Final Plat Approval, any septic system within the subject property shall be abandoned/removed in accordance with all applicable regulations.

Per Applicant's Exhibit F, the Septic Tank was decommissioned on August 31, 2023. However, Washington County Environmental Health does not have the septic tank decommission (abandonment) documentation on file. Please submit to Washington County Environmental health the required documentation for their files.

Applicant Response: Septic decommissioning materials were sent to Washington County in October 2023 to reflect in their system.



13. Prior to Final Development Plan Approval, a new park identified as Tract F shall be provided in the location of Lots 30 – 32. The design of the park and amenities described below shall be owned and maintained by the HOA unless indicated otherwise. The park and amenity design shall receive approval by the Planning Commission as part of the Final Development Plan

- a. Park shall include trees and landscaping
- b. Park shall include lighting

Submit a lighting plan.

- c. Park shall include a minimum flat area of 20,000 SF that is ADA accessible from the public street. Required amenities can be located in flat area.
- d. Park shall include a sports court / facility based on an identified need or community desire in the 2021 Parks Master Plan.

Per the Sherwood's Parks Master Plan, the proposed bocce ball court and horseshoe pits are not considered sports courts. Examples of sports court are tennis, basketball, pickleball, and volleyball courts.

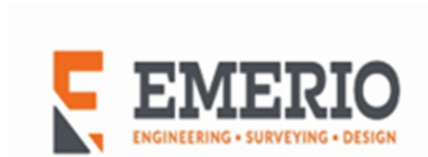
- e. Park shall include a gazebo or other covered structure with tables and seating (minimum 600 SF)

The gazebo needs to be a minimum of 600 SF. Please modify the plans to reflect a gazebo or other covered structure meeting the minimum of 600 SF.

- f. Park shall include minimum of two benches outside the covered structure.
- g. Park shall include a new restroom to match the existing restroom at Cannery Square, or a similar design approved by the Planning Commission. The developer shall be responsible for the installation of underground electrical and plumbing and construction of a concrete pad in the final location of the restroom. The City shall be responsible for purchasing, installing, and long-term maintenance of the restroom. The City shall be responsible for setting the hours of operation, cleaning, and maintenance schedule of the restroom.

See attached details for the restrooms. Coordination with Sherwood Public Works will need to be ongoing.

Applicant Response: The lighting shown on the park plan exhibit (Exhibit D) is consistent with the submitted lighting plan to address the comment above. The applicant has removed the bocce ball court and horseshoe pits from the plan and has replaced those facilities with a basketball court to meet the desire of the City. The gazebo is shown to have an 'interior' area of 600 sf, includes a picnic table and lighting (lighting also reflected in the submitted lighting plan). The restroom detail has been added for reference and remaining Public Works conditions are ongoing.



PLAT COMMENTS

- 1. Sherwood Engineering Department reviewed the plat stating that necessary easements for city utilities need to match the submitted engineering plans (see attached). The Plat should also label all the Open Space Tracts (Tract C and Tract D missing labels).**
- 2. Plat Declaration Page and Plat Notes needs to be submitted.**
- 3. The application identified the plat as “Tentative”. Please submit the latest with the above requested changes.**

Applicant Response: A final plat prepared by a licensed surveyor has been included with this submittal. The submitted plat labels all tracts, easements and ‘Tentative’ have been removed.

III. CONCLUSION

The applicant has submitted required materials to demonstrate compliance with applicable conditions of approval and respectfully requests Planning Commission approval for the final development plan.

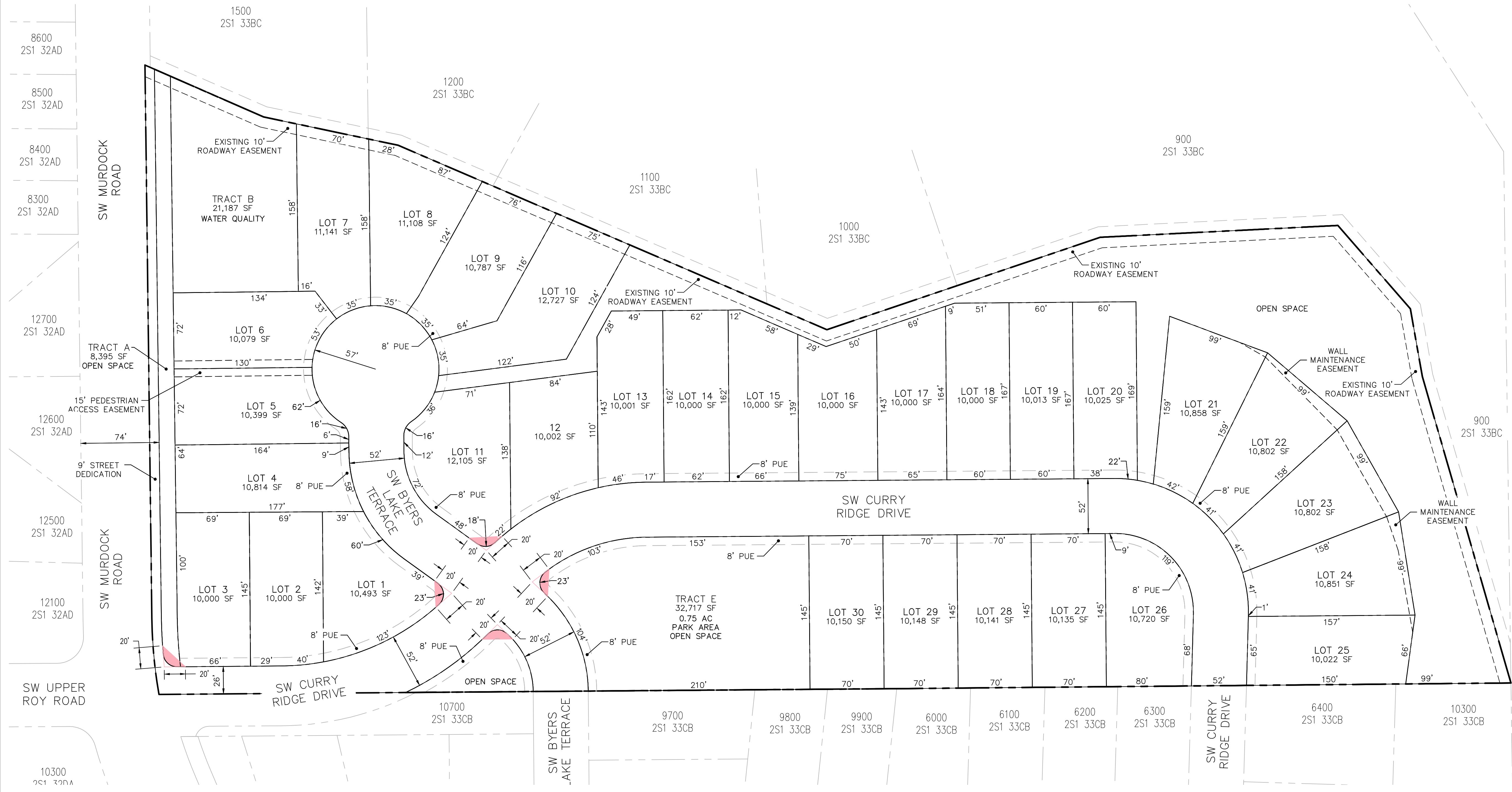
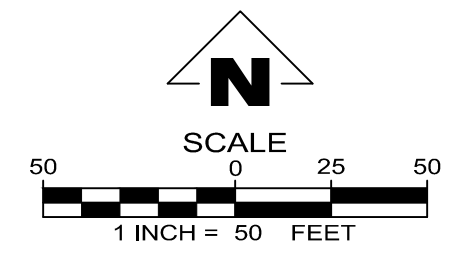
Attached Exhibits:

- Exhibit 1: Pedestrian Guard Rail for Steep Slopes
- Exhibit E: Clear Vision
- Exhibit 2: Landscape & Forest Restoration Plans
- Exhibit B: Deed
- Exhibit 3: Well Decommissioning
- Exhibit D: Tract E Park (Lighting & Amenities)
- Exhibit 4: Plat

Exhibit 1

Pedestrian Guard Rail Exhibit

Exhibit E



TENTATIVE PLAT
SCALE: 1" = 50'

SETBACK REQUIREMENTS	
FRONT:	15 FT.
GARAGE:	20 FT.
REAR:	20 FT.
SIDE:	5 FT.
SIDE STREET:	15 FT.

THESE PLANS ARE FULL SIZE ON 34x22 (ANSI-D) PAPER. IF PLOTTED ON 11x17 (ANSI-B) SCALE ACCORDINGLY.

MOSER PASS AT DENALI
TAX MAP 2S133BC
TAX LOT 1700
SHERWOOD, OREGON

CLEAR VISION
EXHIBIT

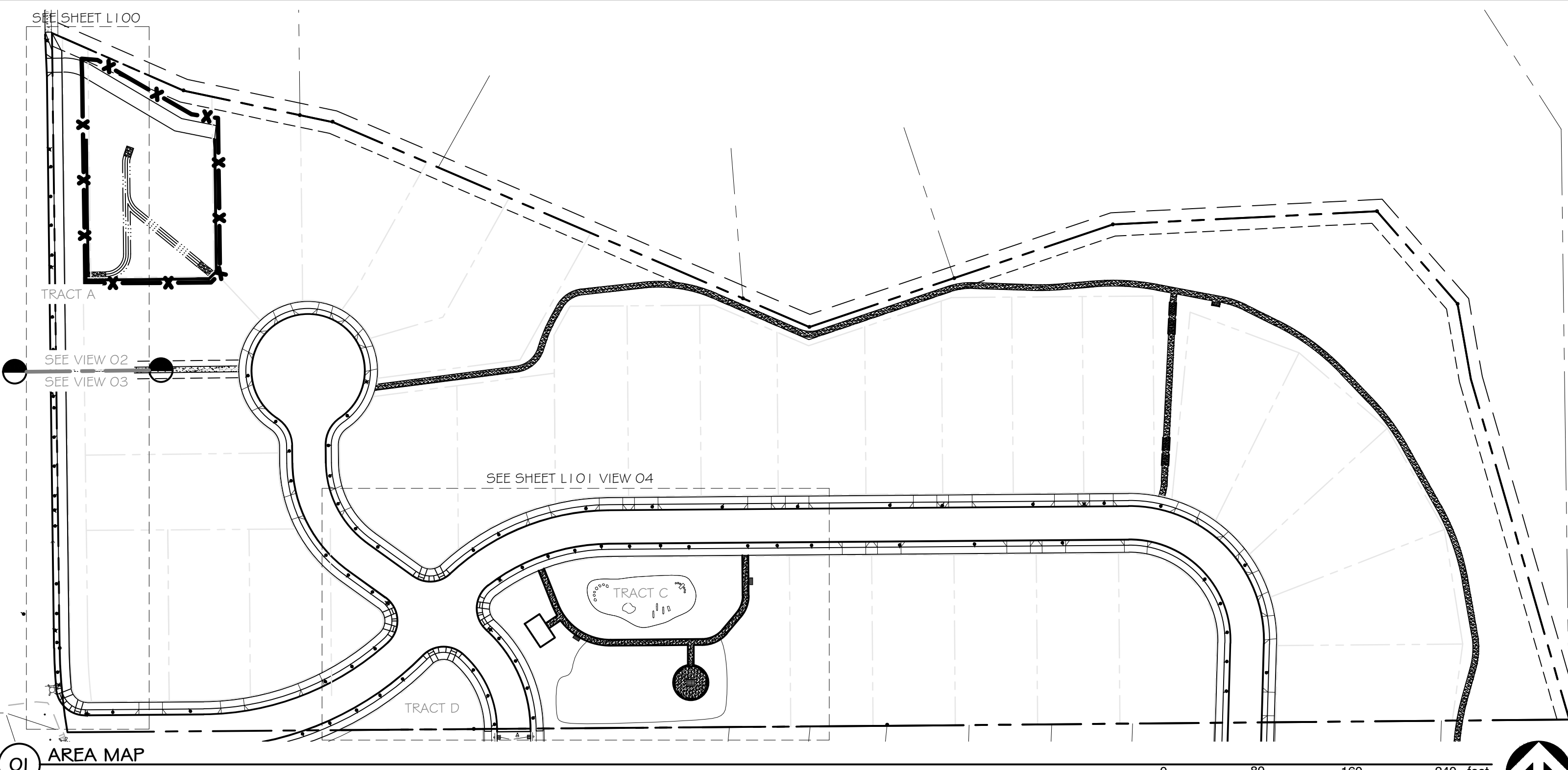
NO.	DATE	DESCRIPTION

EMERIO
ENGINEERING - SURVEYING - DESIGN
644 SW FALLDOCK PLACE SUITE 100
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TEL: (503) 746-8812
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FILE: P:\2020-016 Moser Subdivision Sherwood.dwg (exhibits)\2020-016_05 Clear Sight Tri Layout_05 Plat_1 Plot Date: 10/25/2023 1:35 PM, by: Josh Ayers

Exhibit 2

Landscape & Forest
Restoration Plans



PLANT SCHEDULE

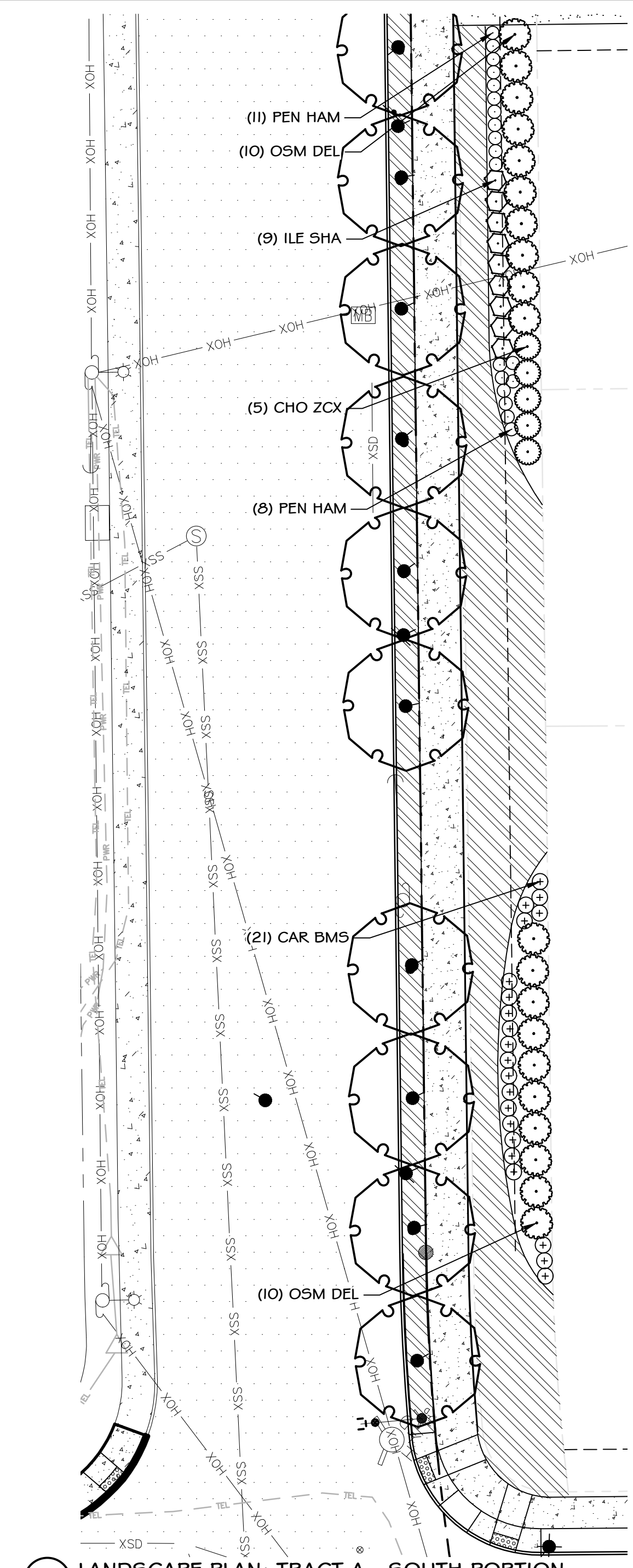
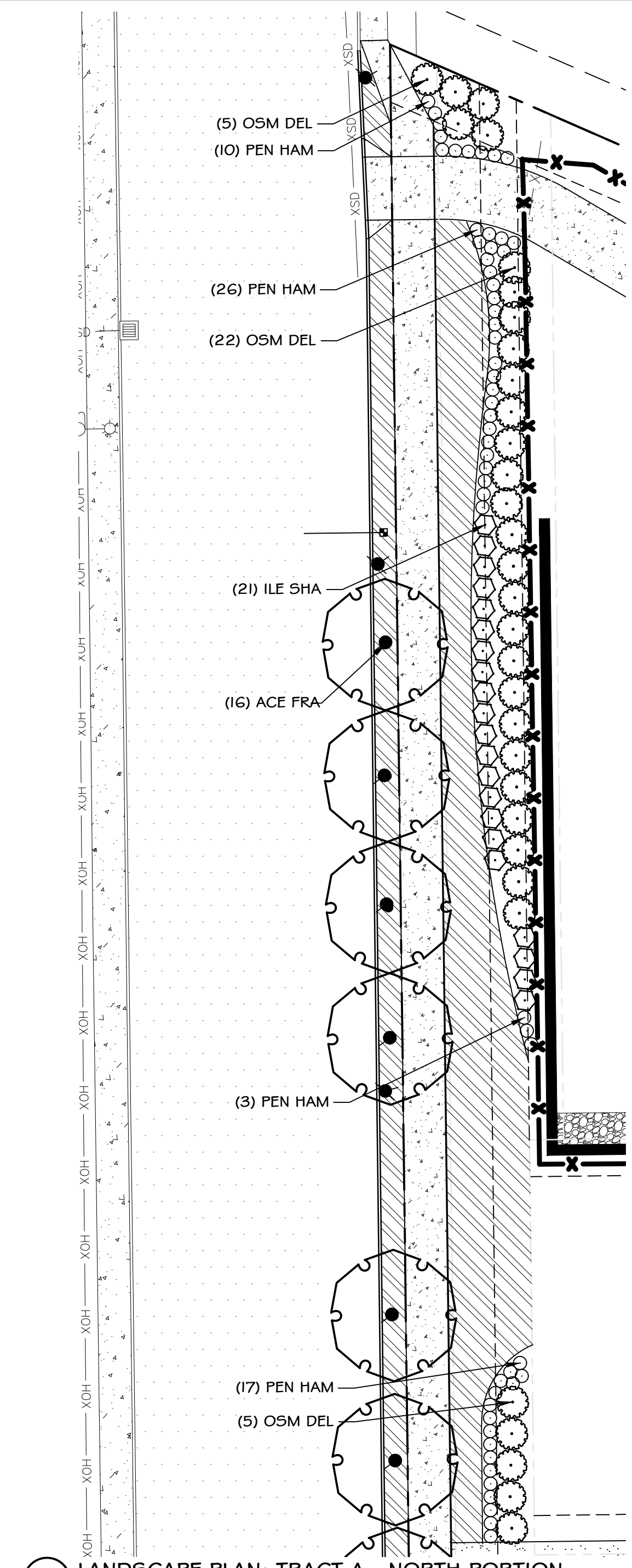
SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CANOPY	QTY
TREES					
	ACE FRA	Acer rubrum 'Franksred' / Red Sunset® Maple City of Sherwood Canopy Spread: 25'	2" Cal.	25'	16
	FRA OXY	Fraxinus oxycarpa 'Raywood' / Raywood Ash	2" Cal.	30'	4
	PIN FLE	Pinus flexilis 'Vanderwolf's Pyramid' / Vanderwolf's Pyramid Limber Pine	6" - 8" Ht.	15'	3
SHRUBS					
	CAR BMS	Caryopteris x clandonensis 'Blue Mist' / Blue Mist Bluebeard	2 gal.	36" o.c.	42
	CEA VCT	Ceanothus x 'Victoria' / Victoria Wild Lilac	5 gal.	72" o.c.	17
	CHO ZCX	Choisya x dewitteana 'Aztec Pearl' / Aztec Pearl Mexican Orange	5 gal.	60" o.c.	26
	ILE SHA	Ilex glabra 'Shamrock' / Shamrock Inkberry Holly	2 gal.	48" o.c.	30
	OSM DEL	Osmanthus delavayi / Delavayi Osmanthus	5 gal.	72" o.c.	52
	VAC OVA	Vaccinium ovatum / Evergreen Huckleberry	2 gal.	36" o.c.	17
	VIB SPR	Viburnum tinus 'Spring Bouquet' / Spring Bouquet Laurustinus	2 gal.	48" o.c.	14
PERENNIALS					
	MIS MOR	Miscanthus sinensis 'Morning Light' / Morning Light Eulalia Grass	1 gal.	48" o.c.	17
	PEN HAM	Pennisetum alopecuroides 'Hamel' / Hameln Fountain Grass	1 gal.	30" o.c.	75
	RUD GO2	Rudbeckia fulgida sullivanii 'Goldsturm' / Goldsturm Coneflower	1 gal.	24" o.c.	38
	SED AU3	Sedum x 'Autumn Joy' / Autumn Joy Sedum	1 gal.	24" o.c.	21

TURF AND MULCH SCHEDULE

SYMBOL	DESCRIPTION
	Lawn
	PT 705: Xeriscape Lawn Alternative Mix includes: Perennial Ryegrass - Lolium perenne Hard Fescue - Festuca trachyphylla Quatro Tetraploid Sheep Fescue - Festuca ovina 'Quatro' White Yarrow - Achillea millefolium Dutch White Clover - Trifolium repens Strawberry Clover - Trifolium fragiferum Sweet Alyssum - Lobularia maritima Applied at 2 lbs/ 1000 sqft
	PT 769 R&R Eco-Turf Mix Mix includes: Quatro Tetraploid Sheep Fescue - Festuca ovina 'Quatro' Banfield Perennial Ryegrass - Lolium perenne 'Banfield' Eureka II Hard Fescue - Festuca trachyphylla 'Eureka II' Microclover® - Trifolium repens var Pipolina ssp Microclover Applied at 5-7 lbs/1000sqft
	Cedar Playground Chips

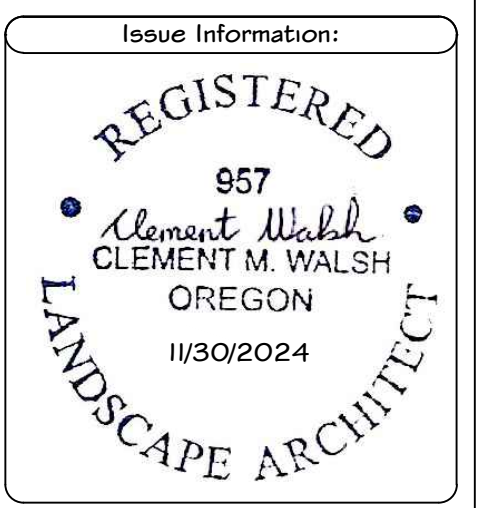
Planting Plan General Notes:

- Contractor shall verify location of all site utilities prior to landscape implementation.
- Location of existing trees shall be verified in the field by the contractor prior to the start of work.
- Project is to be irrigated by an automatic, underground system, which will provide full coverage for all plant material. The system shall use drip lines where possible and high efficiency spray heads for all other areas. The system shall be designed/built by landscape contractor. This system should be guaranteed for a minimum of one year.
- Contractor shall guarantee plants for a period of one year after final acceptance of project.
- Landscape architect or owner's representative shall approve layout of all plants prior to installation.
- Plant material shall meet standards set forth in the latest edition of the American standard for nursery stock (ANSI-Z60.1). All plant materials are required to have sufficient root growth to hold the soil intact when removed from the container but shall not be root bound.
- If any conflicts or discrepancies are observed between the landscape drawings, existing conditions, and/or utility locations, notify the landscape architect.
- All plant beds disturbed by installation shall be lightly tilled, receive fertilizer and 2 - 3 inches of mulch.
- Plant locations on the plan are diagrammatic and may be subject to adjustment in the field by the contractor to avoid conflict.
- All plants are to be fully foliated, well branched and true to form.
- Contractor is to:
 - Verify plant count. If there is a discrepancy, the planting layout shall be consulted as the correct source. Actual plant quantities to be determined by required plant spacing.
 - Adjust plantings in the field as necessary.



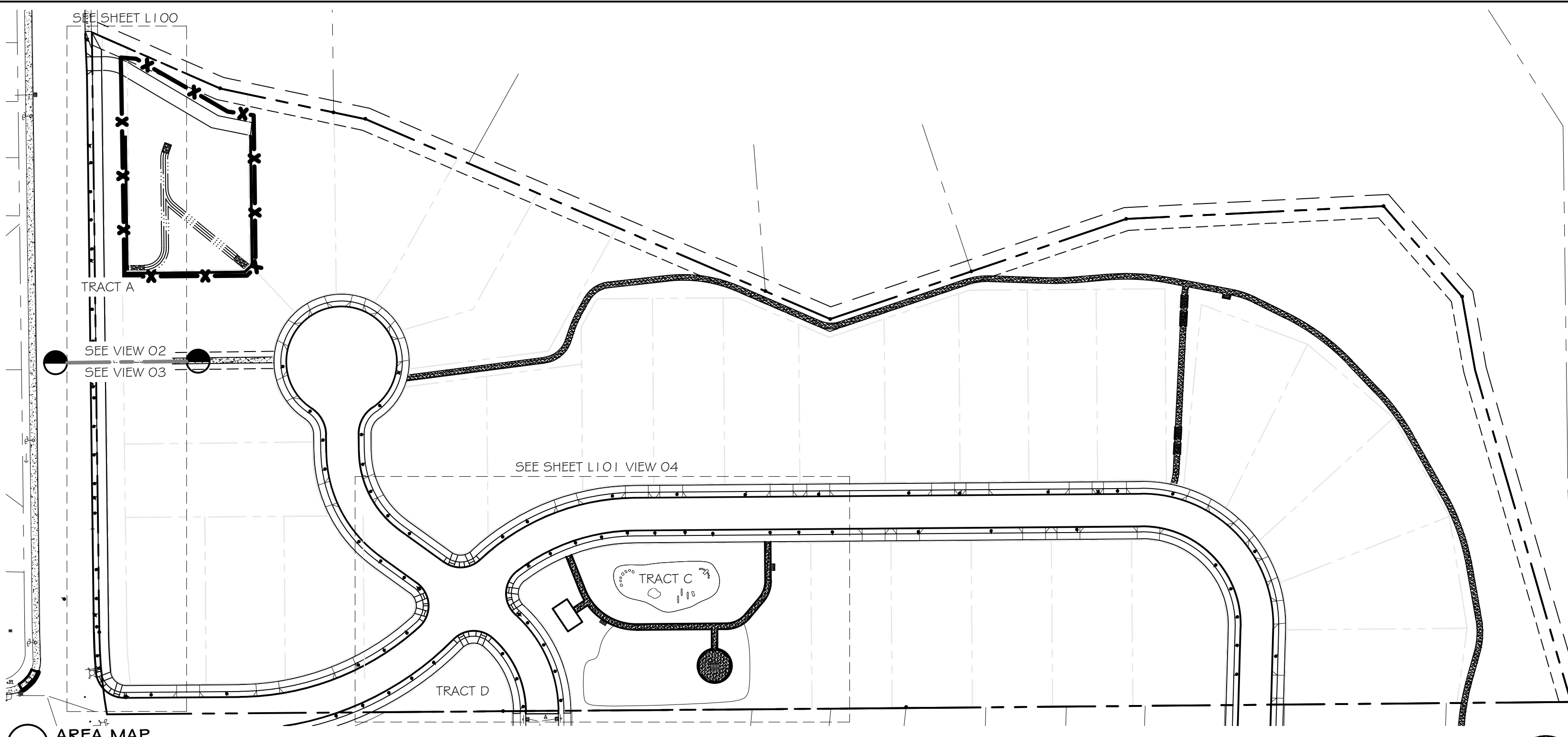
Revisions:
Project Information:

Project name: Moser Pass At Denali
 Project address: Tax Map 25133BC
 Tax Lot 1700
 Sherwood, OR 97140

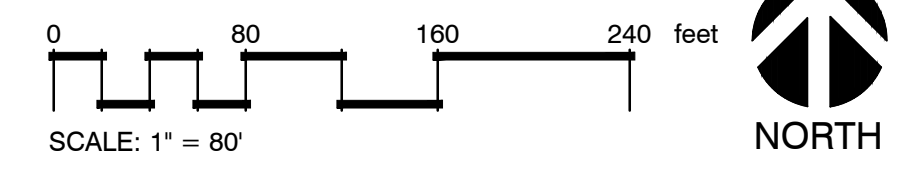


CLEMENT WALSH
 LANDSCAPE ARCHITECT INC.
 1225 13th St.
 West Linn, OR 97068
 503.898.0130
 ClementWalsh.com

Project no.	2023-042
Drawn by:	Enka Kleinbrink
Checked by:	Clement Walsh
Sheet size:	24" x 36"
Scale:	Noted
Plot date:	November 22, 2023
Sheet no.	1 of 3
Sheet title:	Landscape Plan: Tract A
Drawing:	L100



01 AREA MAP



See Sheet L100 For Plant Schedule

Revisions:

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Project Information:

Project name: **Moser Pass At Denali**
 Project address: Tax Map 25133BC
 Tax Lot 1700
 Sherwood, OR 97140

Issue Information:

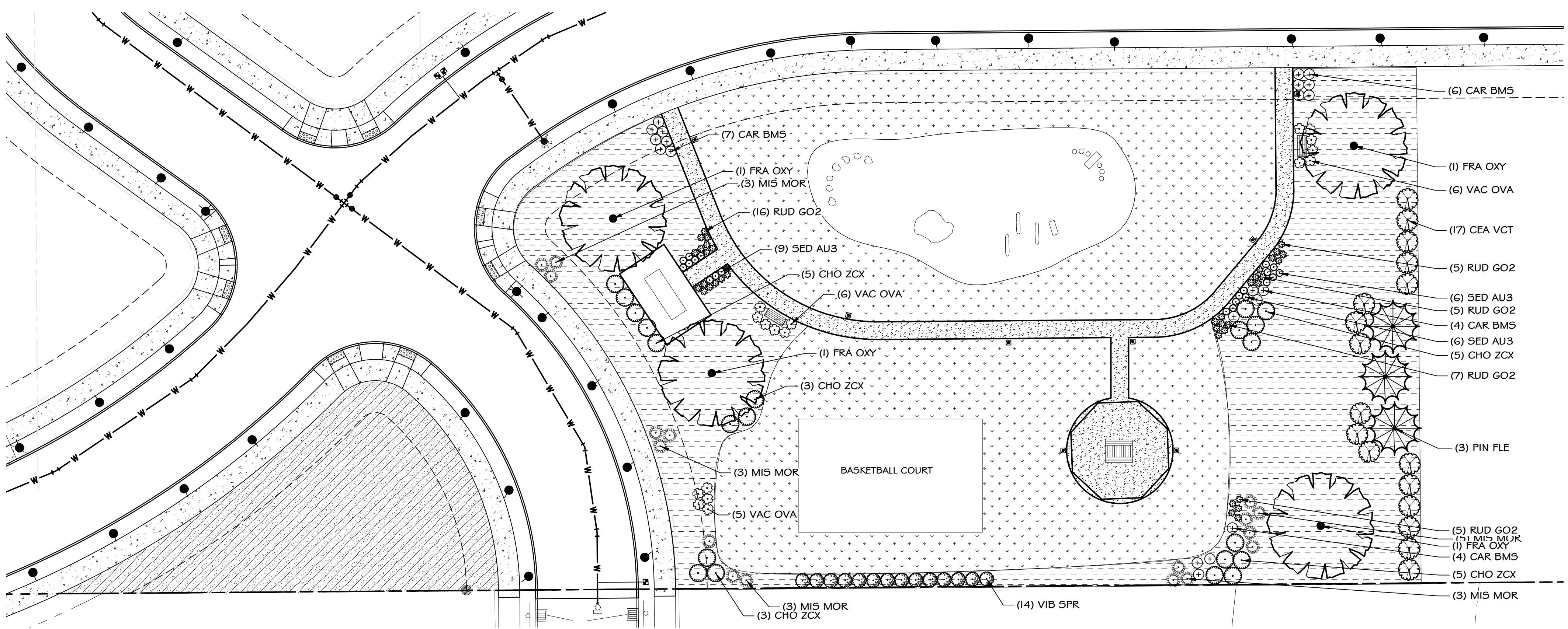


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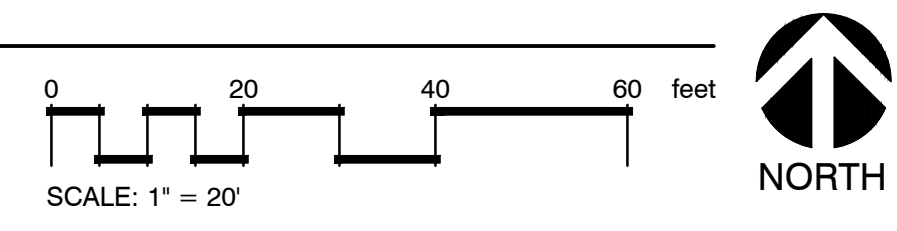
Project no. 2023-042
 Drawn by: Enka Kleibrink
 Checked by: Clement Walsh
 Sheet size: 24" x 36"
 Scale: Noted
 Plot date: November 21, 2023
 Sheet no. 2 of 3

Sheet title: Landscape Plan:
Tract D # E

Drawing:
L101



04 LANDSCAPE PLAN: TRACT D AND E



Outline Specifications Planting:

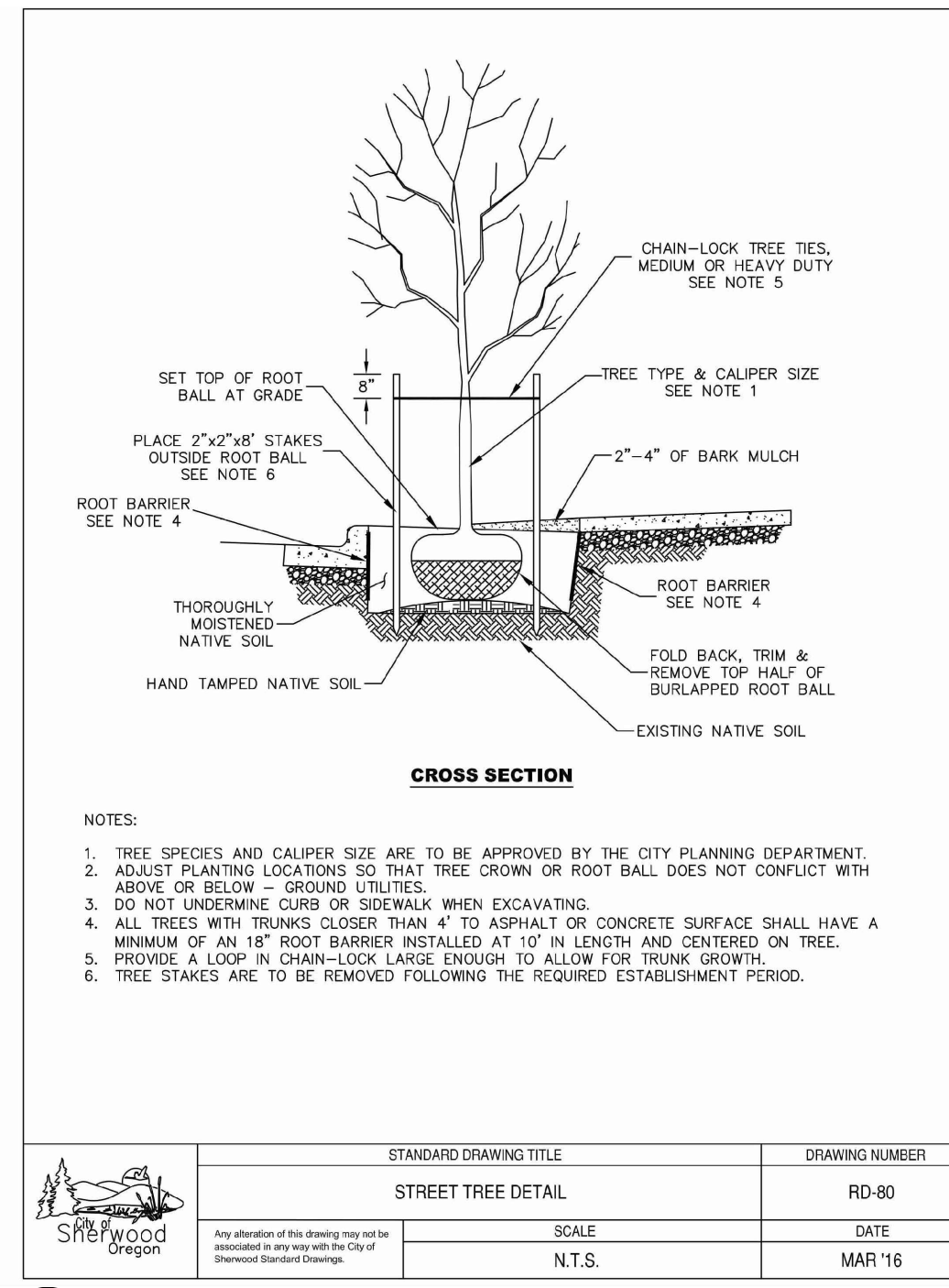
- A. QUALITY AND SIZE**
- Quality and size of plants should conform to the American Association of Nurserymen Standards for Nursery Stock.
 - The American Association of Nurserymen's guides to on-site plant selection should be used as a guideline for inspecting plants delivered to the job.
 - All specified plants should be reasonably uniform in size, texture, and color for the species, in relatively good health with no damage or diseases.
 - Groundcover plants: All rooted cuttings should be healthy vegetative material with well-established roots at one or more nodes. Container grown stock should have viable roots through at least 50% of the medium.
- B. PLANT HEALTH**
- All plants used should comply with Federal and State laws and quarantines that affect their use
 - In the absence or lack of clarity of details regarding the Specifications and Plans, best practice is always to be employed. All work is to be carried out to this level of workmanship, and with the highest quality of both materials and construction.
- C. SUBMITTALS**
- Samples of materials including, but not limited to, plants, seed, staking materials, fertilizers and soil amendments may be required. Contractor should provide samples when called for by code, specifications, or client's representative.
- D. NOTIFICATION**
- The Landscape Architect or the Owner's Representative is to be given a minimum of 3 days' advance notice of times for inspections. The LA or Owner's Representative maintains the right of rejection of sub-standard materials at project site, regardless of inspections at growing site. As a result, each plant that does not meet the standards outlined above, or in any way failing to meet the requirements shall be noted as rejected, removed from the site immediately, and replaced by the Contractor at his or her expense, and replaced with plants, shrubs, or trees which meet the needed requirements.
- E. SUBSTITUTIONS**
- All substitutions of plants and/or materials specified should be approved in writing by the Landscape Architect or the Owner's Representative. Substitution requests should have similar characteristics to the original selections.
- F. ENVIRONMENTAL CONDITIONS**
- When plantings have to take place in wet or muddy soils or in times of high temperatures, steps should be taken to minimize compaction in the planting areas and to assure adequate moisture levels for plant survival. Planting should not take place in freezing weather or in frozen ground.
- G. SCHEDULING**
- Planting operations should be scheduled to allow the shortest possible time between plant delivery to job sites and actual planting.
- H. GUARANTEE AND REPLACEMENT**
- All plant material shall be:
 - Guaranteed from the completion and final inspection of work for one full growing season or one year, whichever is longer.
 - Replaced by the Contractor during this period, if any plant material is not in good condition and producing new growth with plants of the same quality, size, variety, and age as the original at no cost to the owner under guarantee by the Contractor.
 - Exceptions to this guarantee: include material damaged by severe weather conditions; due to Owner's negligence; normally unforeseen peculiarities of the planting site; or lost due to vandalism.
 - All receipts for soil amendment and topsoil delivery are to be kept on site for Owner's Representative's inspection.
- I. PROTECTION**
- Existing roads, sidewalks, and curbs, landscaping, and other features are to be protected to remain as final work. Location of underground utilities to be verified prior to doing work. Any damage to service lines, existing features, etc. caused by landscaping installation are to be repaired to the original condition.
- J. PLANT QUALITY ASSURANCE**
- All plants should be properly stored to assure health at planting time.
 - Nursery stock shall be healthy, well branched and rooted, formed true to variety and species, full foliated, free of disease, injury, defects, insects, scars, breaks, weeds, and weed roots. Trees shall have straight trunks, symmetrical tips, and have an intact single leader. Any trees with double leaders will be rejected upon inspection. All Plants: True to name, with one of each bundle or lot tagged with the common and botanical name and size of the plants in accordance with standards of practice of the American Association of Nurserymen, and shall conform to the Standardized Plant Names, 1942 Edition.
 - Container grown stock: Small container-grown plants, furnished in removable containers, shall be well-rooted to ensure healthy growth. Container plants grown in containers a minimum of one year prior to delivery, with roots filling container but not root bound. Bare root stock roots are to be well-branched and fibrous. Balled and burlapped (B4B) ball shall be of natural size and firmness to ensure healthy growth, and the burlap sound.
- K. TOPSOIL AND FINAL GRADES**
- Contractor may stockpile site topsoil for possible reuse in landscape beds. Stockpiled topsoil to be tested by a soil's laboratory for nursery or agricultural use and recommendations for amendments to be followed.
 - Site topsoil to be screened to remove all grass clods and debris larger than 1". Existing site topsoil to be amended with compost at a ratio of 3:1, with 3 units of existing soil to one unit of compost. In lieu of amending site topsoil, contractors may choose to use imported 3-way topsoil. Topsoil to be placed at a minimum of 6" in all landscape bed areas and incorporated into existing subgrade. Topsoil to be placed at a minimum of 12" in all tree pit areas. In all instances, placed topsoil to be incorporated into existing grade.
 - Landscape Contractor is to determine and verify with the General Contractor the condition of the site topsoil. Supply alternate bid for imported topsoil if the existing topsoil is not conducive to proper plant growth, with Landscape Contractor importing the required amount.
 - Landscaping shall include finished grades and even distribution of topsoil to meet planting requirements:
 - Grades and slopes shall be as indicated.
 - Planting bed grades shall be approximately 3" below adjacent walks, paving, finished grade lines etc., to allow for bark application.
 - Finish grading shall remove all depressions or low areas to provide adequate drainage throughout the area.

Planting Specifications:

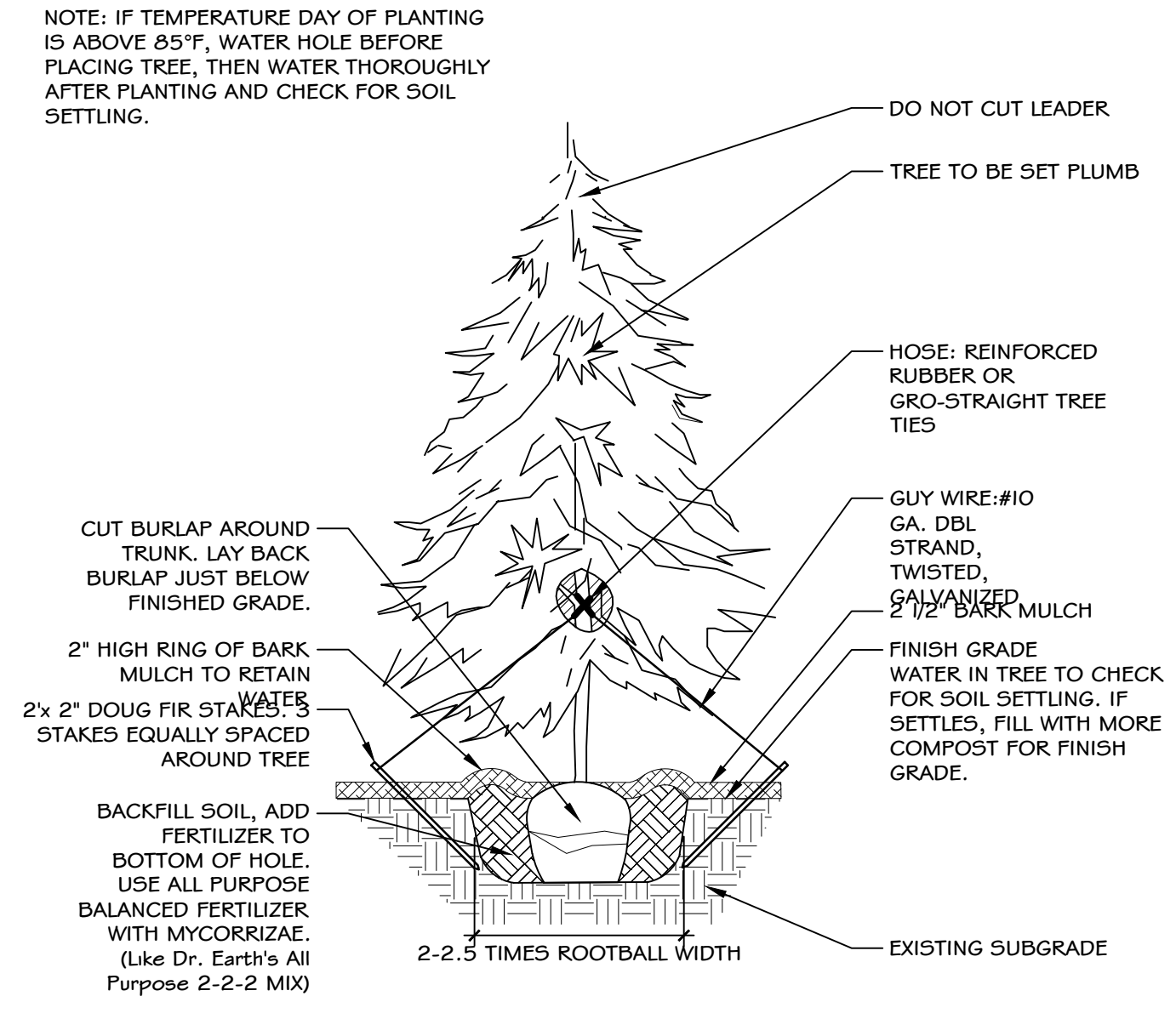
- A. HERBICIDES**
- Prior to soil preparation, all areas showing any undesirable weed or grass growth shall be treated with Roundup or Cheeatah Pro in strict accordance with the manufacturer's instructions at least one week prior to planting. An alternative method of treating/removing undesirable weed or grass growth must be approved by the Landscape Architect or the Owner's Representative.
 - When used, herbicides should conform to national, state, and local codes; should only be used as per label instructions; and should be used in a safe and environmentally protective manner. Applications should only be made by individuals properly licensed by the ODA.
- B. SOIL PREPARATION**
- Soil should be reasonably free of rocks, debris, and noxious weeds. Soils should be tested and, if it is subsoil or of poor quality, sufficient topsoil or amendments should be brought in to assure plant health.
 - Work all areas by:
 - Rototilling to a minimum depth of 8"
 - Removing all stones (over 1/2" size), sticks, mortar, large clumps of vegetation, roots, debris, or extraneous matter turned up in working
 - Leveling, smoothing and lightly compacting area to plus or minus 0.10' (feet) of required grades.
 - Imported soils should be free of disease, weeds, pests, and debris. Soil amendments should be free of diseases, pests, weeds, and or chemicals including herbicides.
- C. PLANTING HOLE**
- PREPARATION:** Should consist of laying out plant locations, digging holes, and adding amendments if called for.
 - LOCATIONS:** Plants should be located as per plan or specification. Placement should be modified to avoid existing utilities, and irrigation equipment. Major movement of plants should be approved by owner or owner's representative. If the contractor recognizes problems with ultimate plant size for area specified, contractor should inform Landscape Architect or the Owner's Representative in writing about substituting or moving plant.
- 2. PLANT HOLES**
- Planting holes should be dug with a width 2 to 2 1/2 times the root ball and to a depth 2" - 4" less than the original root ball's depth in the container or ball. The depth of the root ball in the planting hole should leave the root crown 2" above the finished grade to allow for settling after planting and mulch application.
 - Planting holes should be dug with the sides as vertical as the soil will allow. In heavy soils the sides taper away from the center of the planting pit. The base of the planting hole should be left undisturbed if possible and should be firmed prior to planting.
 - In heavy soils, if the sides of the planting hole are glazed, the sides of the hole should be scarified.
 - For planting bare root trees and shrubs, a cone shaped mound should be created in the base of the planting hole to support the roots.
- D. SOIL MIX**
- Prepare soil mix in each planting hole by mixing:
- 2-part native topsoil (no subsoil)
 - 1 part compost (as approved)
- For groundcovers areas add 2" of compost (or as approved) and rototill in to the top 6" of soil.
- Thoroughly mix in planting hole and add fertilizers at the following rates:
- 2-part native topsoil (no subsoil)
 - Small shrubs: 1/8 pound per plant
 - Shrubs: 1/3 to 1/2 pounds per plant
 - Trees: 1/3 to 1.0 pounds per plant
- E. FERTILIZER**
- Fertilizers may be organic or synthetic and can be in pellet, tabular, granular, or liquid form. All fertilizers used must have labeling that conforms to environmental and safety requirements set forth by state and national regulations.
 - All fertilizers should be applied as per label instructions, as indicated by soil tests and in a manner that is environmentally safe.
 - Do not apply fertilizer to Water Quality Swale.
- F. PLANTING TREES AND SHRUBS**
- MOVING:** As trees and shrubs are moved to position on the site, the container and/or root ball should be always supported. Do not carry plants by trunks/branches only.
 - Container plants should be removed carefully from containers, checked for circling or girdling roots, and placed plumb in the planting hole. If there are circling and/or girdling roots, they should be pulled outward and straightened or pruned prior to planting.
 - Balled and bur lapped plants should be placed in the planting hole, then the ties should be removed completely. Burlap should be cut off at least from the top half the ball and if treated, should be removed entirely. Care should be taken to tuck burlap deep into planting hole so that it cannot wick moisture to the soil surface after planting.
 - TREES WITH WIRE BASKETS,** the wire grids should be cut down completely to the base, unless the nursery guide says otherwise.
 - BAREROOT:** Trees and shrubs should only be planted in the bare root season for the area being planted. Damaged and/or dead roots should be removed prior to planting and the crown should remain un-pruned. Roots should be placed over a compacted mound in the planting hole and carefully filled over to remove large air pockets. Care should be taken to ensure graft is no lower than soil level.
 - BACKFILL:** Prior to backfilling, the soil and backfill should be moist but not wet. In heavy soils, planting should take place in native soil removed from the hole. In light soils the backfill should be mixed with soil amendments as specified. Amendments with high carbon to nitrogen ratios should not be used when planting new plants. Planting holes should be backfilled in layers to firmly surround the plant's roots. Large air pockets should all be removed. If planting holes are settled using water, care should be taken to avoid over compaction and subsequent loss of structure.
 - WATERING:** Plants should be thoroughly watered in after back fill. In light soils or situations where water will not stay in plant root zone area, water basins should be created to facilitate watering until the plants are established.
 - FINISH GRADING:** All planting areas should be graded to a smooth finish and mulched to a 2" - 4" depth as specified to complete the work. For planting bare root trees and shrubs, a cone shaped mound should be created in the base of the planting hole to support the roots.
 - PRUNING:** At planting time, pruning should be kept to a minimum. Damaged, diseased and/or dead material should be removed.

- G. PLANTING GROUNDCOVER, ANNUAL AND PERENNIAL PLANTS**
- For groundcover, perennial and/or annual plantings, entire beds should be prepared and amended as specified prior to planting. Plants should be planted at the spacing and pattern specified and then watered in.
- H. STAKING OF TREES**
- Stake or guy all trees. Stakes shall be 2" X 2" (nom.) quality tree stakes with point. They shall be of Douglas Fir, clear and sturdy. Stake to be minimum 2/3 the height of the tree, not to exceed 8'-0". Drive stake firmly 1'-6" below the planting hole. Tree ties for deciduous trees shall be "Chainlock" (or better). For Evergreen trees use "Gro-Strait" Tree Ties (or a reinforced rubber hose and guy wires) with guy wires of a minimum 2 strand twisted 1/2 ga. wire. Staking and guying shall be loose enough to allow movement of tree while holding tree upright. Stakes should be removed after installation about a season and a half. If special circumstances warrant it, staking may remain on for longer periods, but ties should be checked every three months to prevent binding or girdling of trunks.
- I. MULCHING OF PLANTINGS**
- Mulch should be free of disease and insects.
 - Mulch planting areas with a fine dark bark to a depth of 2" in ground cover areas and 2 1/2" in shrub beds. Apply evenly, not higher than grade of plant as it came from the nursery, and rake to a smooth finish. Water thoroughly, then hose down planting area with fine spray to wash leaves of plants.
- J. SEEDING TURFGRASS: SOIL PREPARATION**
- Soil should be prepared as in Section B: Soil Preparation
 - Finish grade should be a minimum of 1" below surface of adjoining hardscapes.
 - Prior to seeding or sodding, soil should be evenly moistened.
 - Fertilization should be based on soil tests and low amounts of soluble nitrogen should be applied prior to planting.
 - Prior to seeding or sodding, entire area should be rolled with a drum roller to firmly compact the grade.
- L. SEEDING**
- Soil should be rolled prior to seeding and the top 1/4" (one quarter inch) of surface lightly loosened.
 - One half of seed should be sown in one direction and one half in opposite direction.
 - After seed has been sown, it should be covered with a raking method (hand raked, tiller rake or steel chain mat) so that it is covered with 1/4" - 1/3" of soil or mulch unless otherwise specified by supplier.
 - Seed bed should be kept evenly moist until grass is well established.
 - Mowing should begin when grass has reached a height 50% taller than the height it will be regularly mowed (varies according to turf type).
 - Fine Lawn Seed Mix is to consist of Pro-Time Lawn Seed PT-303 Lawn Mix for sun, or PT-305 for sunshade mix or similar. Sow Seed at 7-10 lbs. / 1000 sq. ft.
 - Rough seed mix is to consist of Pro-Time Lawn Seed PT-705, or similar. Sow at 2-3 lbs. / 1,000 sq. ft.
- M. GENERAL MAINTENANCE**
- Work described in these specifications is to be consistently maintained and protected against all defects of materials and workmanship, through final acceptance. Plants not in normal healthy condition at the end of this period are to be replaced. Plants are to be watered, weeded, cultivated, mulched and/or reset to proper grade or upright position, dead wood removed, and necessary standard operations maintained. Irrigate when necessary to avoid drying out of plant materials, and to promote healthy growth.
- O. CLEAN-UP**
- At completion of each stage of work all extra material, supplies, equipment, etc., shall be removed from the site. All walks, paving, or other surfaces shall be swept clean, mulch areas shall have debris removed. All areas of the project shall be kept tidy.

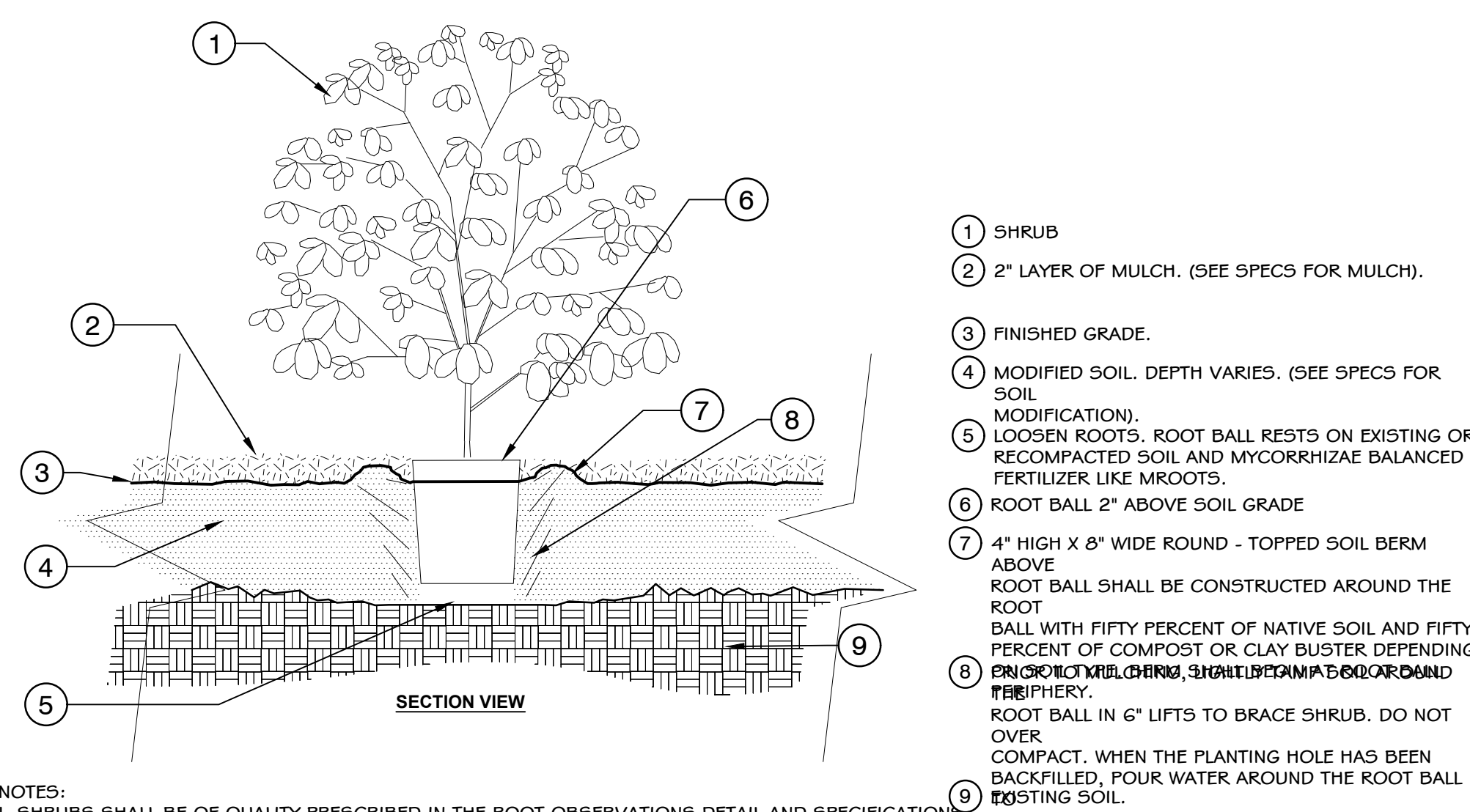
NOTE: ANY PROPOSED CHANGES TO OUR SPECIFICATION OR DETAILS SHOULD BE APPROVED BY THE LANDSCAPE ARCHITECT. LIKEWISE, IN ACCORDANCE WITH BEST PRACTICES OF LOCAL LANDSCAPE INSTALLATION, SHOULD THE LANDSCAPE ARCHITECT BE SO ADVISED.



1 DECIDUOUS STREET TREE DETAIL



2 EVERGREEN TREE PLANTING

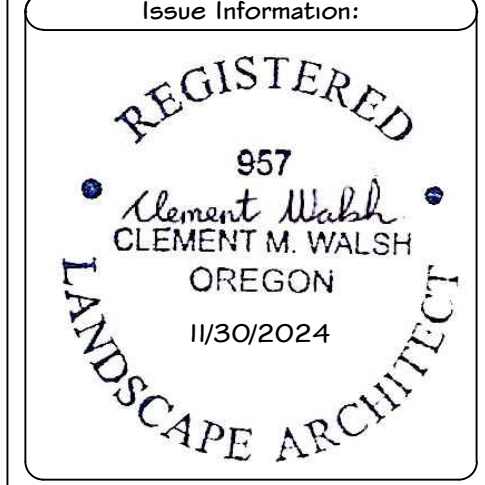


3 SHRUB - MODIFIED SOIL

Revisions:

Project Information:

Project name: Moser Pass At Denali
Project address: Tax Map 25133BC, Tax Lot 1700, Sherwood, OR 97140



CLEMENT WALSH LANDSCAPE ARCHITECT INC.
1225 13th St.
West Linn, OR 97068
503.898.0130
ClementWalsh.com

Project no. 2023-042
Drawn by: Enka Kleinbrink
Checked by: Clement Walsh
Sheet size: 24" x 36"
Scale: Noted
Plot date: November 21, 2023
Sheet no. 3 of 3
Sheet title: Landscape Plan Specifications

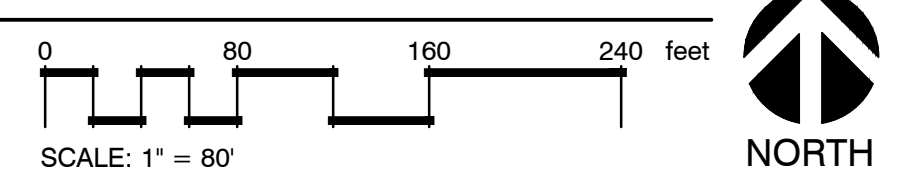
Drawn: L102



01 AREA MAP

IRRIGATION SCHEDULE

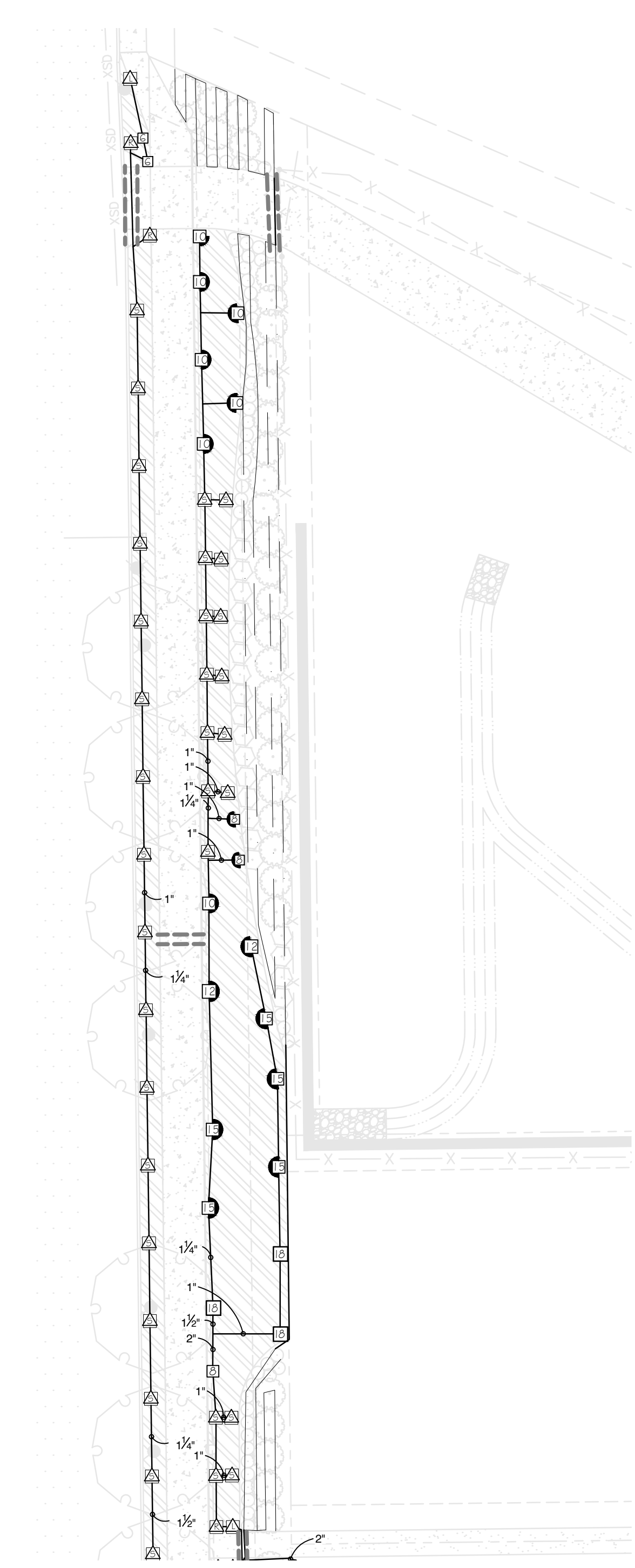
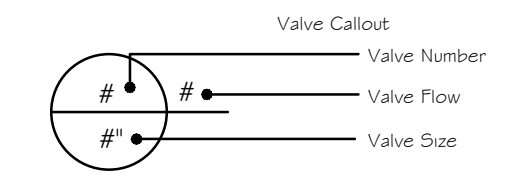
SYMBOL	MANUFACTURER/MODEL	QTY
	Rain Bird 1804-SAM-PRS 15 Strip Series	76
	Rain Bird 1804-SAM-PRS 8 Series MPR	2
	Rain Bird 1804-SAM-PRS 10 Series MPR	9
	Rain Bird 1804-SAM-PRS 12 Series MPR	7
	Rain Bird 1804-SAM-PRS 15 Series MPR	14
	Rain Bird 1804-SAM-PRS ADJ	9
	Rain Bird R-VAN14 1804-SAM-P45	8
	Rain Bird R-VAN18 1804-SAM-P45	11
	Rain Bird R-VAN24 1804-SAM-P45	23
SYMBOL	MANUFACTURER/MODEL	QTY
	Rain Bird 5004-PC 1.5	3
	Rain Bird 5004-PC 3.0	5
	Rain Bird 5004-PC-LA 1.0	9
	Rain Bird 5004-PC-LA 1.5	1
	Rain Bird 5004-PC-LA 2.0	4
SYMBOL	MANUFACTURER/MODEL	QTY
	Rain Bird XFD-06-18 Drip Ring	7
	Rain Bird XFD-06-18	2,466 l.f.
SYMBOL	MANUFACTURER/MODEL	QTY
	Rain Bird PGA Globe 1"	3
	Rain Bird PGA Globe 2"	5
	Rain Bird 33-DRC - 3/4 3/4"	1
	Matco Norca 514 Series Gate Valve	1
	Zurn 350 - 1 1/2 Backflow Preventer 1-1/2"	1
	Rain Bird ESP4ME3 with (2) ESP-SM3	1
	Rain Bird WR2-RFC	1
	Point of Connection	1
	Irrigation Lateral Line: PVC Class 200 SDR 21 1"	2,818 l.f.
	Irrigation Lateral Line: PVC Class 200 SDR 21 1 1/4"	353.4 l.f.
	Irrigation Lateral Line: PVC Class 200 SDR 21 1 1/2"	198.3 l.f.
	Irrigation Lateral Line: PVC Class 200 SDR 21 2"	430.5 l.f.
	Irrigation Mainline: PVC Class 200 SDR 21 2"	717.5 l.f.
	Pipe Sleeve: PVC Class 200 SDR 21	152.8 l.f.



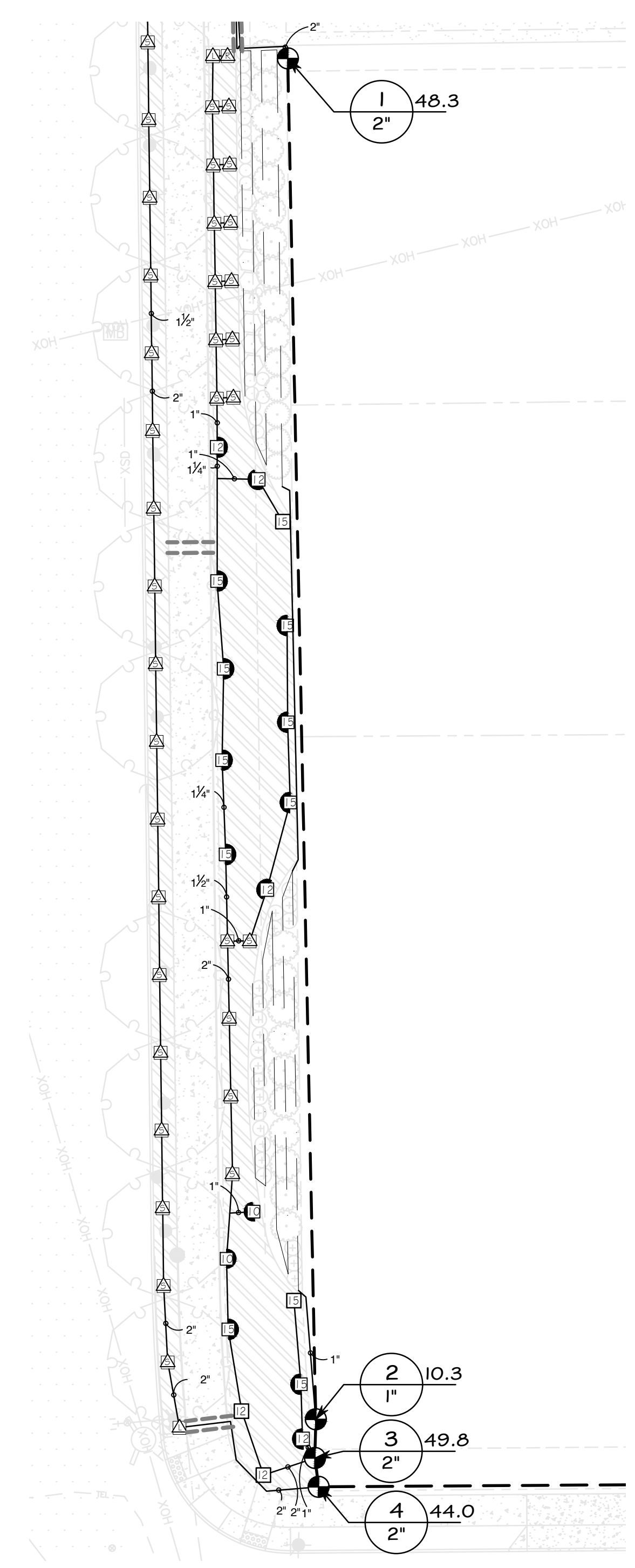
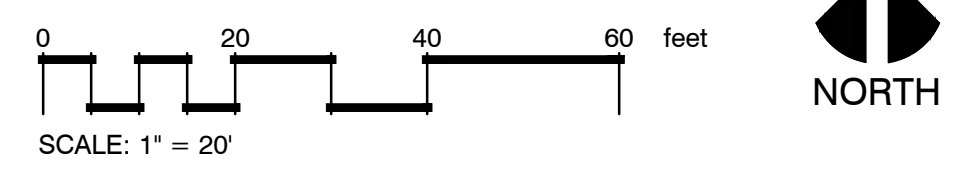
IRRIGATION CONSTRUCTION GENERAL NOTES:

- The contractor shall examine the site and familiarize themselves with all conditions relevant to the work. Contractor will coordinate with other contractors to ensure timely placing of necessary sleeves and piping under walks, curbs, and paving.
- Contractor will avoid damage to underground utilities and existing irrigation and all damage will be repaired at contractor's expense.
- Irrigation installation shall be coordinated with the proposed planting plan and the existing site.
- All heads on drawings are diagrammatic. Actual field conditions may require adding, deleting, or making minor adjustments in spacing of heads to insure full coverage of all plant material. Adjust spray heads as necessary to minimize over-spray. Radius reduction shall not affect full and even water coverage.
- Contractor to notify owner's representative or landscape architect of any conditions that may affect the installation of the irrigation system.
- Irrigation system design is for 65 psi (working). Notify landscape architect prior to construction if static pressure is over 80 psi or under 40 psi.
- All mainlines to be a minimum of 18" below grade. Lateral lines are to be a minimum of 12" below grade. Pipes shall be kept out of the dripline of existing trees.
 - If trenching for lateral lines impacts the roots of existing trees, then the contractor shall explore utilizing 1/2" FlexiPipe.
- Size lateral pipe according to following:
 - 1-18 GPM 1"
 - 19-40 GPM 1.5"
 - 41-60 GPM 2"
- Use group valve boxes for ease of maintenance and locate these boxes in groundcover beds where possible.
- Install spray heads minimum 3" from adjacent curbs, pavement and planting bed edges; 6" from curbs in parking lots unless directed otherwise by owner's representative or landscape architect.
- Install dripline with irrigation staples spaced every 3 ft unless otherwise directed by owner's representative or landscape architect.
- Control wires will be 14 gauge single strand w/ jacket.
- Install 3/4" brass manual drain valves at low points or end of mainline. Valve to be installed with a valve marker and cover.
- A tracer wire shall be installed along the top of mainlines. Tape to piping at 10' intervals with standard black 3/4" electrical tape.
- Sleeving for mainline, wires, and laterals must be placed prior to paving. Sleeving pipe will be scheduled 40 PVC. All sleeving will be placed in the trench, on top of rock free soil, and backfilled with rock free soil. Sleeves for mainline will be 6". All sleeving for laterals will be twice the size of the lateral. Sleeving as shown on the plan is schematic. Contractor is to verify count and placement. Sleeves shall be 24" in depth under drives and roadways, 18" in depth under walkways.
- Guarantee: all material and labor used in construction of the irrigation system shall be fully guaranteed for one year beginning at the time of acceptance by the client.
- Install quick coupler valves throughout the site at locations designated by owner.

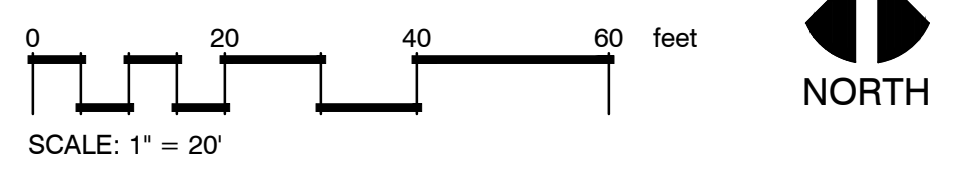
FLOW TOTALS	
Drip Ring:	0.8
Dripline:	17.3
Turf Rotary:	54.0
Turf Rotor:	33.9
Turf Spray:	142.0
Total:	248.1 GPM
FLOW AVAILABLE	
Drip Ring:	50 GPM
Dripline:	1 Valves
Turf Rotary:	1 Valves
Turf Rotor:	2 Valves
Turf Spray:	1 Valves
Total:	3 Valves
	8 Valves



02 IRRIGATION PLAN: TRACT A - NORTH PORTION



03 IRRIGATION PLAN: TRACT A - SOUTH PORTION



Revisions:

Project Information:

Project name: Moser Pass At Denali
 Project address: Tax Map 25133BC
 Tax Lot 1700
 Sherwood, OR 97140

Issue Information:



CLEMENT WALSH
 LANDSCAPE ARCHITECT INC.
 1225 13th St.
 West Linn, OR 97068
 503.898.0130
 ClementWalsh.com

Project no. 2023-042
 Drawn by: Enka Kleibrink
 Checked by: Clement Walsh
 Sheet size: 24" x 36"
 Scale: Noted
 Plot date: November 21, 2023
 Sheet no. 1 of 2

Sheet title: Irrigation Plan:
 Tract A - North

Drawn:

See Sheet LIIO For Irrigation Schedule
And Irrigation Notes

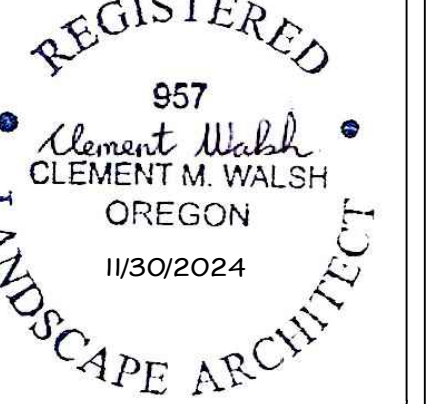
Revisions:

Project Information:

Project name:
Moser Pass At Denali

Project address:
Tax Map 25133BC
Tax Lot 1700
Sherwood, OR 97140

Issue Information:



CLEMENT WALSH
LANDSCAPE ARCHITECT INC.
1225 13th St.
West Linn, OR 97068
503.898.0130
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Project no. 2023-042
Drawn by: Enka Kleibrink
Checked by: Clement Walsh
Sheet size: 24" x 36"
Scale: Noted
Plot date: November 21, 2023
Sheet no. 2 of 2

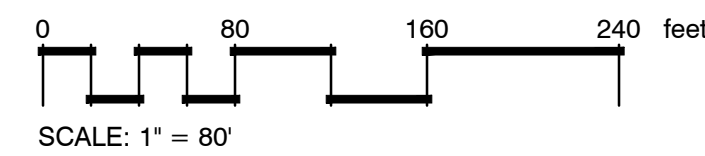
Sheet title: Irrigation Plan:
Tract D # E

Drawing:

LIIE



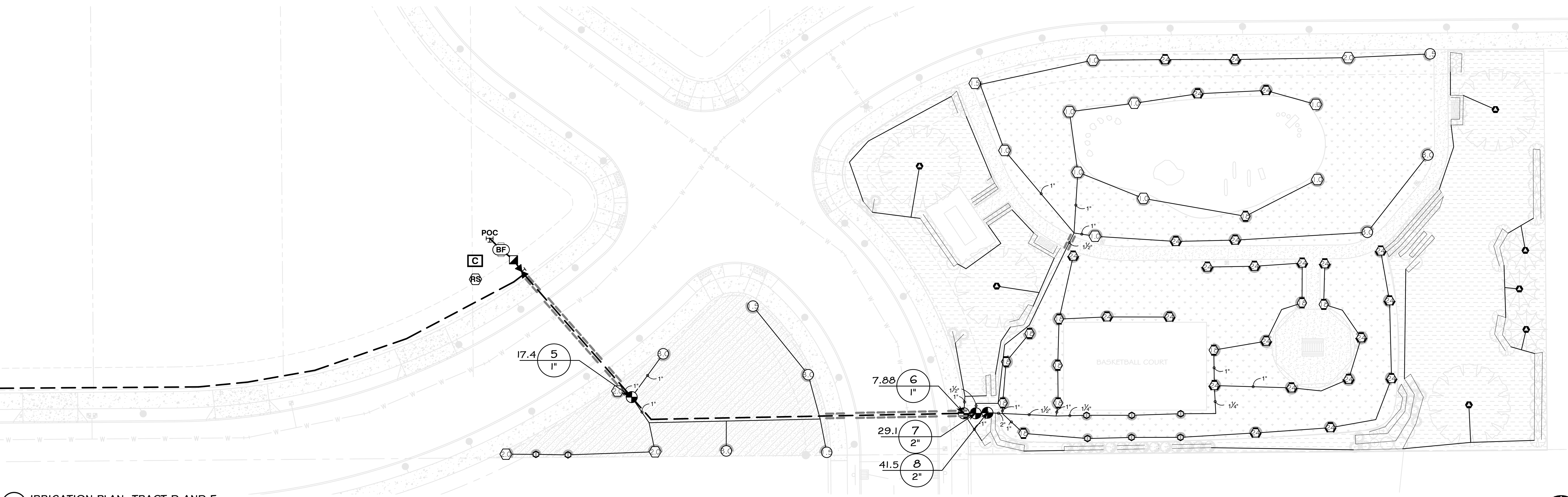
01 AREA MAP



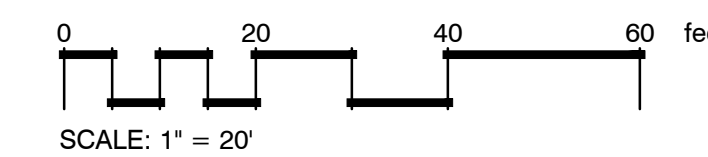
SCALE: 1" = 80'



NORTH



04 IRRIGATION PLAN: TRACT D AND E



SCALE: 1" = 20'



NORTH

December 22, 2023

Ash Creek Forest Management, LLC
P.O. Box 231208
Tigard, OR 97281-1208



Moser Pass at Denali Forestry Plan Response

Ash Creek,

I reviewed the Moser Pass at Denali Vegetated Corridor Master Plan dated December 21, 2023. A survey of the work site by Northwest Surveying Incorporated dated March 7, 2022, was provided. An inventory of trees by Peter van Oss dated March 15, 2022, was also provided. The Moser Pass at Denali Vegetated Corridor Master Plan proposes creating an oak forest habitat in the northeast corner of the development (Tract C). Based on the contents of the master plan, in addition to the data provided by the survey and tree inventory, I approve the Moser Pass at Denali Vegetated Corridor Master Plan.

If you have any questions about my observations or recommendations, please contact me.

A handwritten signature in black ink, appearing to read "N. Tompulis".

Nicholas Tompulis
Associate Consulting Arborist
Plant Healthcare Specialist
ISA Certified Arborist #PN-9556A
ISA Tree Risk Assessment Qualified
ntompulis@bartlett.com

Exhibit B

After recording return to:
Denali Homeowners Association
c/o J.T. Roth Construction Inc.
12600 SW 72nd Ave #200
Tigard, OR 97223

No change in tax statements.

Bargain and Sale Deed

J.T. Roth Construction, Inc., an Oregon company, Grantor, conveys to, Denali Homeowners Association, an Oregon nonprofit corporation, Grantee, the following real property described below.

Tracts C, D, and E, Moser Pass at Denali, in the City of Sherwood, Washington County, Oregon.

BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON TRANSFERRING FEE TITLE SHOULD INQUIRE ABOUT THE PERSON'S RIGHTS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009, AND SECTIONS 2 TO 7, CHAPTER 8, OREGON LAWS 2010. THIS INSTRUMENT DOES NOT ALLOW USE OF THE PROPERTY DESCRIBED IN THIS INSTRUMENT IN VIOLATION OF APPLICABLE LAND USE LAWS AND REGULATIONS. BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON ACQUIRING FEE TITLE TO THE PROPERTY SHOULD CHECK WITH THE APPROPRIATE CITY OR COUNTY PLANNING DEPARTMENT TO VERIFY THAT THE UNIT OF LAND BEING TRANSFERRED IS A LAWFULLY ESTABLISHED LOT OR PARCEL, AS DEFINED IN ORS 92.010 OR 215.010, TO VERIFY THE APPROVED USES OF THE LOT OR PARCEL, TO DETERMINE ANY LIMITS ON LAWSUITS AGAINST FARMING OR FOREST PRACTICES, AS DEFINED IN ORS 30.930, AND TO INQUIRE ABOUT THE RIGHTS OF NEIGHBORING PROPERTY OWNERS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009, AND SECTIONS 2 TO 7, CHAPTER 8, OREGON LAWS 2010.

The true consideration for this conveyance is other valuable consideration.

Dated this _____ day of _____ 202__.

By: McKenzie C. Roth, Vice President

STATE OF OREGON, County of _____)ss

This instrument was acknowledged be for me on _____ day of _____, 20____
by McKenzie C. Roth. as Vice President of J.T. Roth Construction, Inc.

Notary Public for Oregon
My commission expires:

Exhibit 3

Well Decommissioning

WATER SUPPLY WELL REPORT - Map with location identified must be attached and shall include an approximate scale and north arrow

WASH 81470

10/9/2023

Map of Hole



Exhibit D



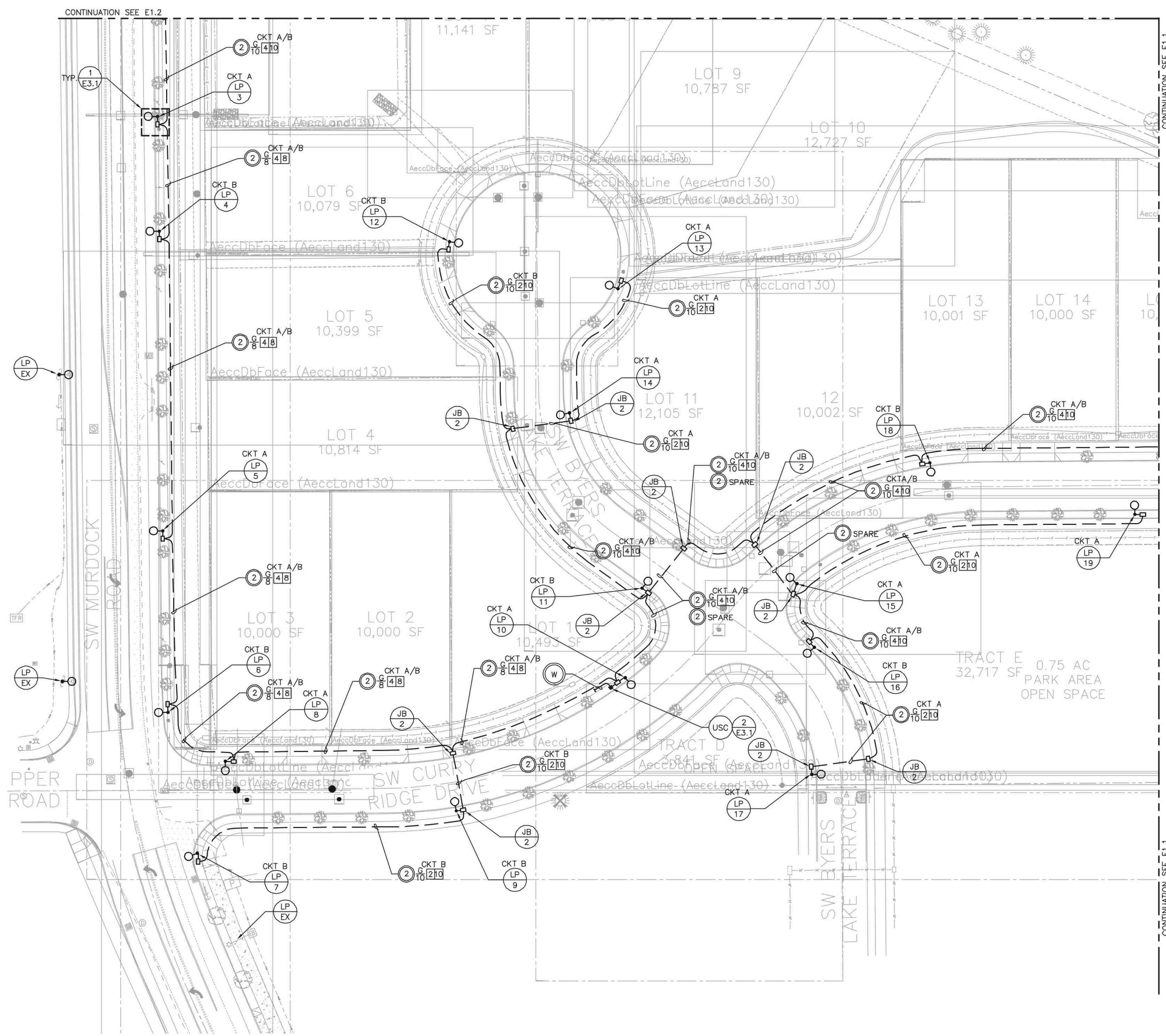
R&W ENGINEERING, INC.
 "Engineering Integrated Solutions"
 8615 S.W. Allen Blvd., Suite 107
 Beaverton, Oregon 97005
 Phone: (503) 726-3317
 Fax: (503) 726-3326
 E-mail: rweg@rweg.com

REV	DATE	DESCRIPTION

**MOSER PASS AT DENALI
 SHERWOOD, OREGON**
PARTIAL SITE PLAN - ELECTRICAL

DESIGNED: KJR
 DRAWN: MJP
 CONTACT: KJR
 PROJECT #: 1761.001.001
 DATE: 01/31/2024

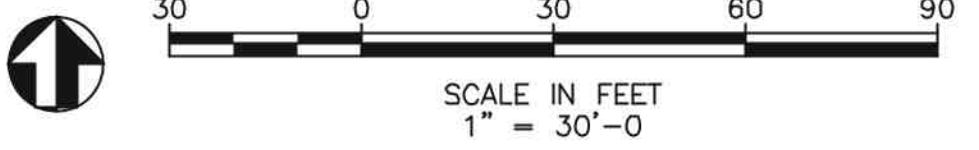
DRAWING NO.
E1.0
 SHEET 2 OF 8



GENERAL NOTES

- A. REFER TO SHEET E0.1 FOR SYMBOL LEGEND, GENERAL NOTES, APPROVED EQUIPMENT, AND POLE AND LUMINAIRE SCHEDULE.
- B. REFER TO SHEET E3.1 FOR SERVICE DETAILS AND TYPICAL STREET LIGHT INSTALLATION DETAILS.

1 PARTIAL SITE PLAN - ELECTRICAL
 E1.0 SCALE: 1" = 30'-0"



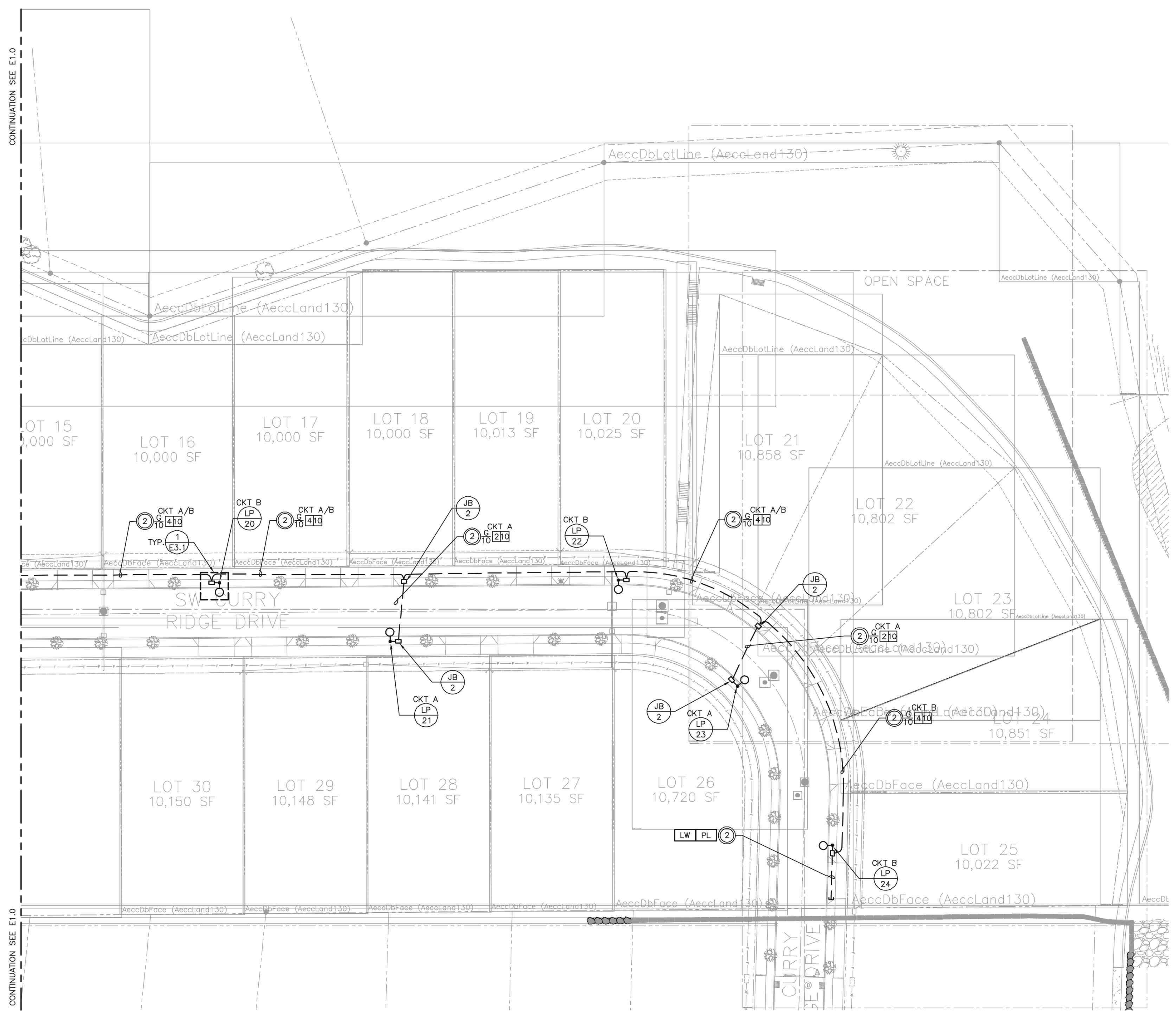
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 AT FULL SCALE
 IF IT DOES NOT MEASURE 2
 INCHES, SCALE ACCORDINGLY



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GENERAL NOTES

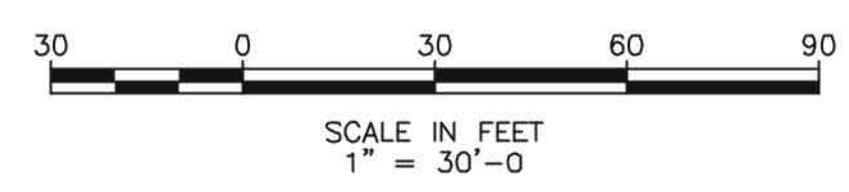
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CONTINUATION SEE E1.0

CONTINUATION SEE E1.0

1 PARTIAL SITE PLAN - ELECTRICAL
 E1.1 SCALE: 1" = 30'-0"



THIS LINE IS 2 INCHES
 AT FULL SCALE
 IF IT DOES NOT MEASURE 2
 INCHES, SCALE ACCORDINGLY

REV	DATE	DESCRIPTION

**MOSER PASS AT DENALI
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DRAWING NO.
E1.1
 SHEET 3 OF 8



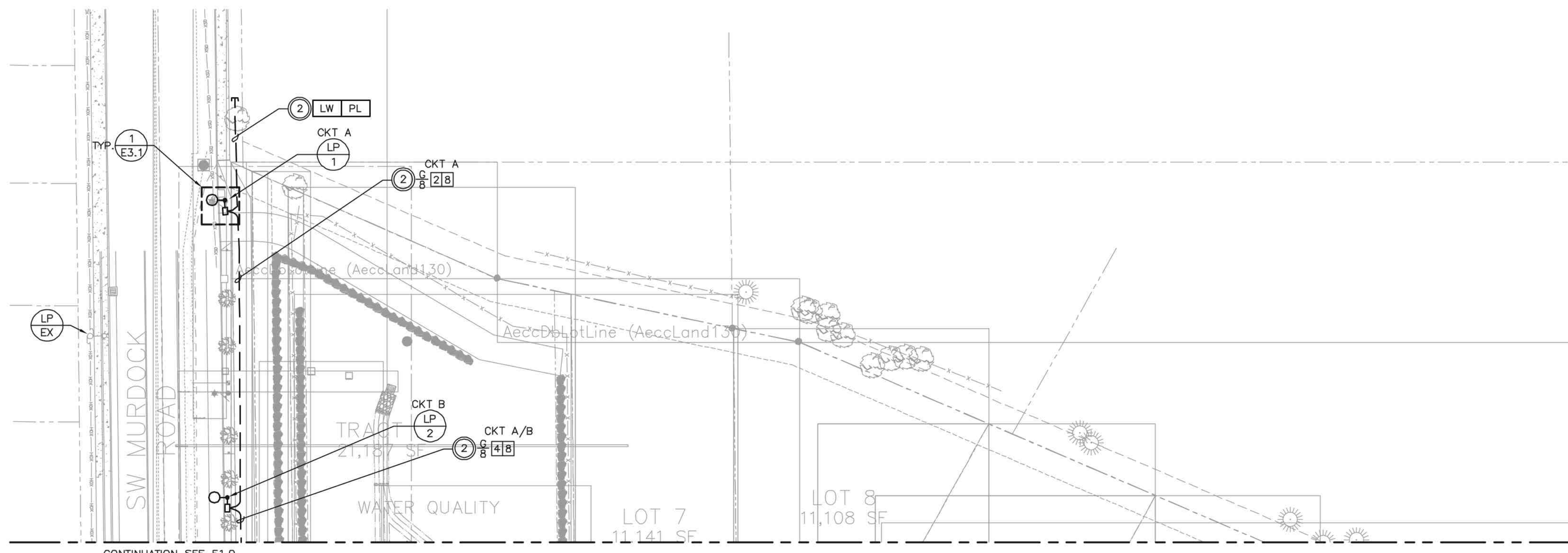
R&W ENGINEERING, INC.
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REV	DATE	DESCRIPTION

MOSER PASS AT DENALI SHERWOOD, OREGON
PARTIAL SITE PLAN - ELECTRICAL

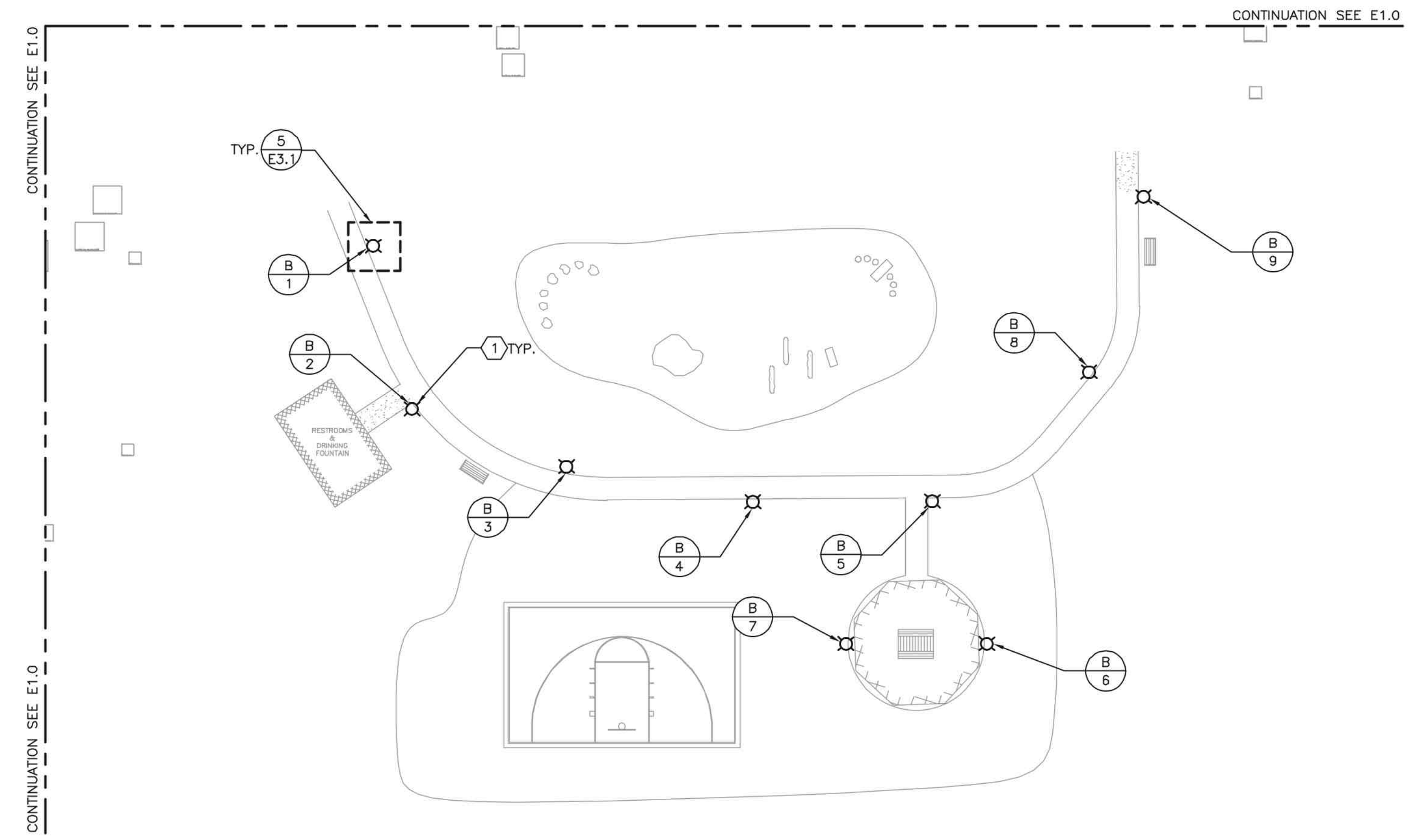
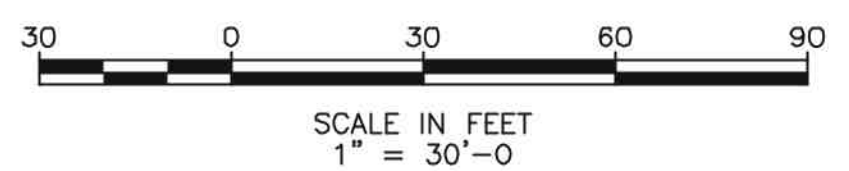
DESIGNED: KJR
 DRAWN: MJP
 CONTACT: KJR
 PROJECT #: 1761.001.001
 DATE: 01/31/2024

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E1.2
 SHEET 4 OF 8



CONTINUATION SEE E1.0

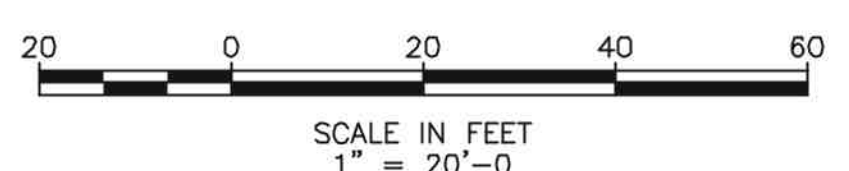
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 SCALE: 1" = 30'-0"



CONTINUATION SEE E1.0

CONTINUATION SEE E1.0

2 PARTIAL SITE PLAN - ELECTRICAL
 SCALE: 1" = 20'-0"



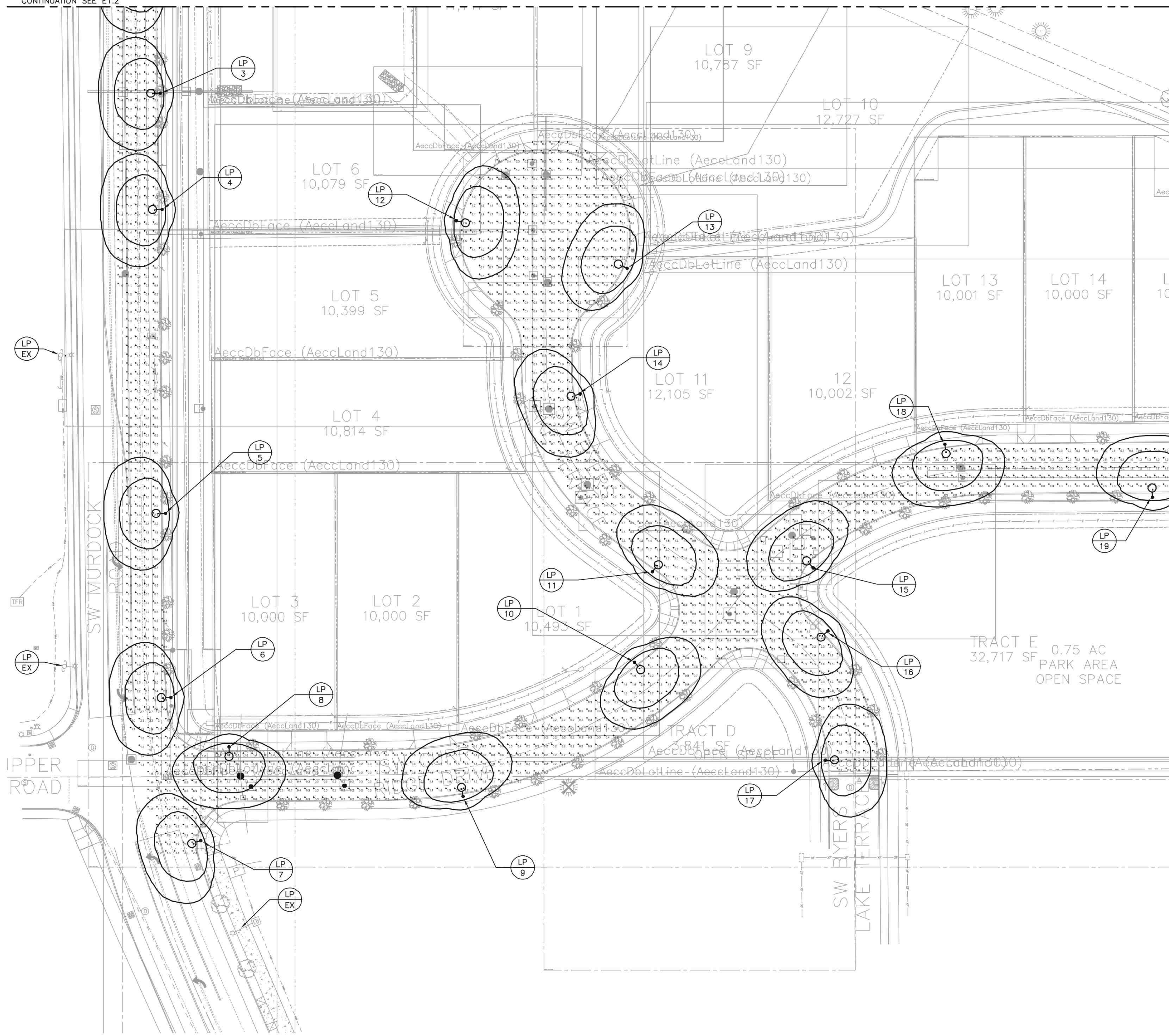
- GENERAL NOTES**
- A. REFER TO SHEET E0.1 FOR SYMBOL LEGEND, GENERAL NOTES, APPROVED EQUIPMENT, AND POLE AND LUMINAIRE SCHEDULE.
 - B. REFER TO SHEET E3.1 FOR SERVICE DETAILS AND TYPICAL STREET LIGHT INSTALLATION DETAILS.

- NOTES THIS SHEET**
- 1 BOLLARD POWER PROVIDED BY SOLAR CHARGED BATTERIES.

THIS LINE IS 2 INCHES AT FULL SCALE
 IF IT DOES NOT MEASURE 2 INCHES, SCALE ACCORDINGLY

CONTINUATION SEE E1.2

CONTINUATION SEE E1.1



GENERAL NOTES

- A. REFER TO SHEET E0.1 FOR SYMBOL LEGEND, GENERAL NOTES, APPROVED EQUIPMENT, AND POLE AND LUMINAIRE SCHEDULE.
- B. REFER TO SHEET E3.1 FOR SERVICE DETAILS AND TYPICAL STREET LIGHT INSTALLATION DETAILS.
- C. FOOT CANDLE ISO CURVES ARE SHOWN AS A SINGLE FIXTURE CONTRIBUTION WITH SET VALUES. THE ISO CURVE VALUES MAY NOT MATCH THE CALCULATION PLANE POINT VALUES, SINCE THE CALCULATION PLANE CAN BE A CONTRIBUTION FROM MORE THAN ONE LUMINAIRE.



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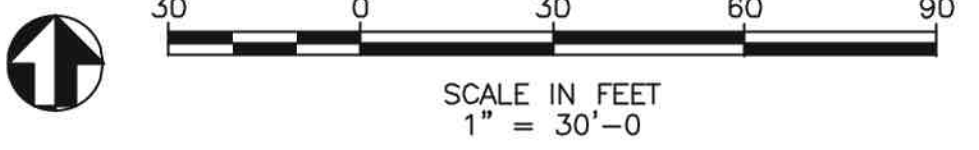
REV	DATE	DESCRIPTION

MOSER PASS AT DENALI SHERWOOD, OREGON
PARTIAL SITE PLAN - PHOTOMETRIC

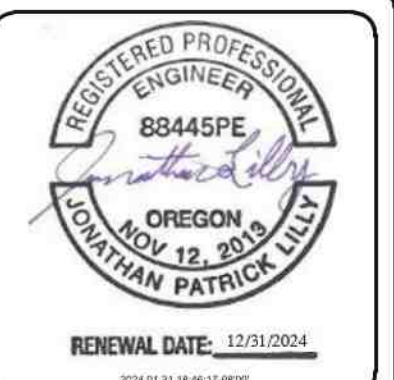
DESIGNED: KJR
 DRAWN: MJP
 CONTACT: KJR
 PROJECT #: 1761.001.001
 DATE: 01/31/2024

DRAWING NO.
E2.0
 SHEET 5 OF 8

1 PARTIAL SITE PLAN - PHOTOMETRIC
 E1.0 SCALE: 1" = 30'-0"



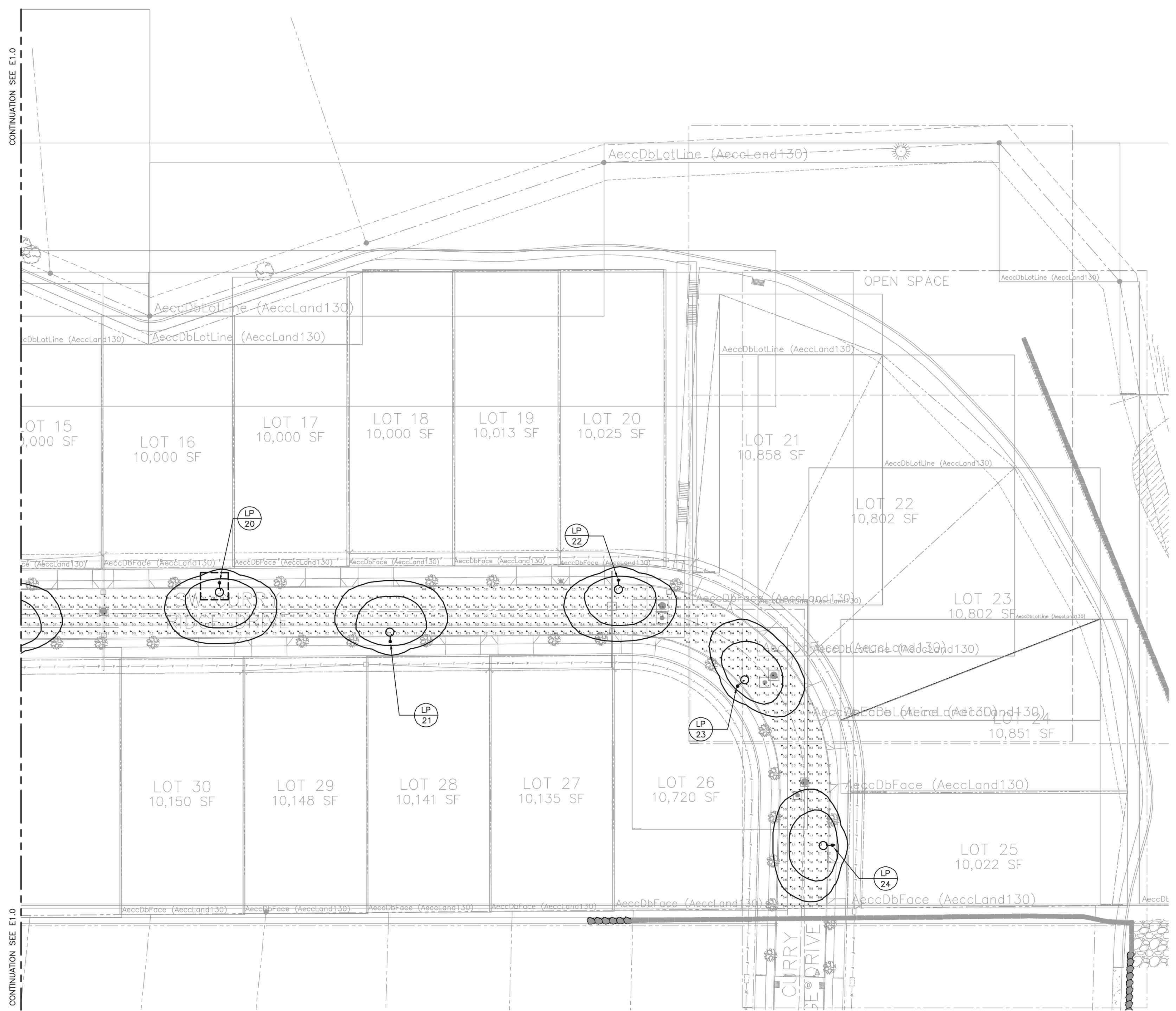
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 E-mail: rweg@rweg.com

GENERAL NOTES

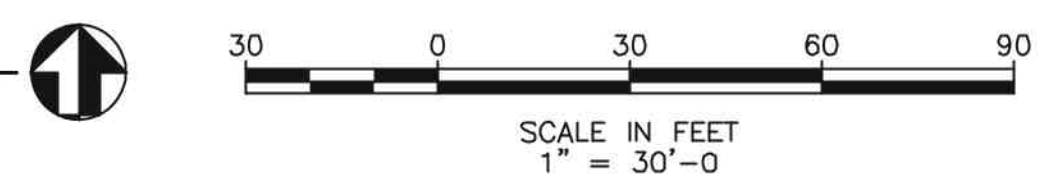
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- C. FOOT CANDLE ISO CURVES ARE SHOWN AS A SINGLE FIXTURE CONTRIBUTION WITH SET VALUES. THE ISO CURVE VALUES MAY NOT MATCH THE CALCULATION PLANE POINT VALUES, SINCE THE CALCULATION PLANE CAN BE A CONTRIBUTION FROM MORE THAN ONE LUMINAIRE.



CONTINUATION SEE E1.0

CONTINUATION SEE E1.0

1 PARTIAL SITE PLAN - PHOTOMETRIC
 E2.1 SCALE: 1" = 30'-0"



THIS LINE IS 2 INCHES
 AT FULL SCALE
 IF IT DOES NOT MEASURE 2
 INCHES, SCALE ACCORDINGLY

REV	DATE	DESCRIPTION

**MOSER PASS AT DENALI
 SHERWOOD, OREGON**
 PARTIAL SITE PLAN - PHOTOMETRIC

DESIGNED: KJR
 DRAWN: MJP
 CONTACT: KJR
 PROJECT #: 1761.001.001
 DATE: 01/31/2024

DRAWING NO.
E2.1
 SHEET 6 OF 8



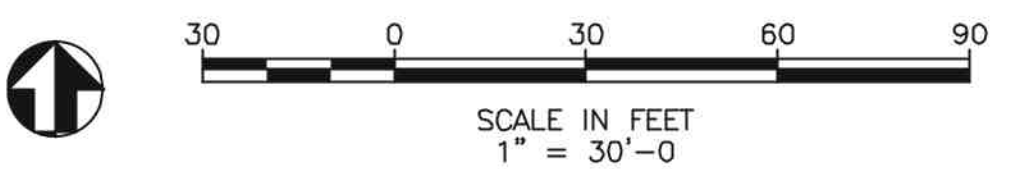
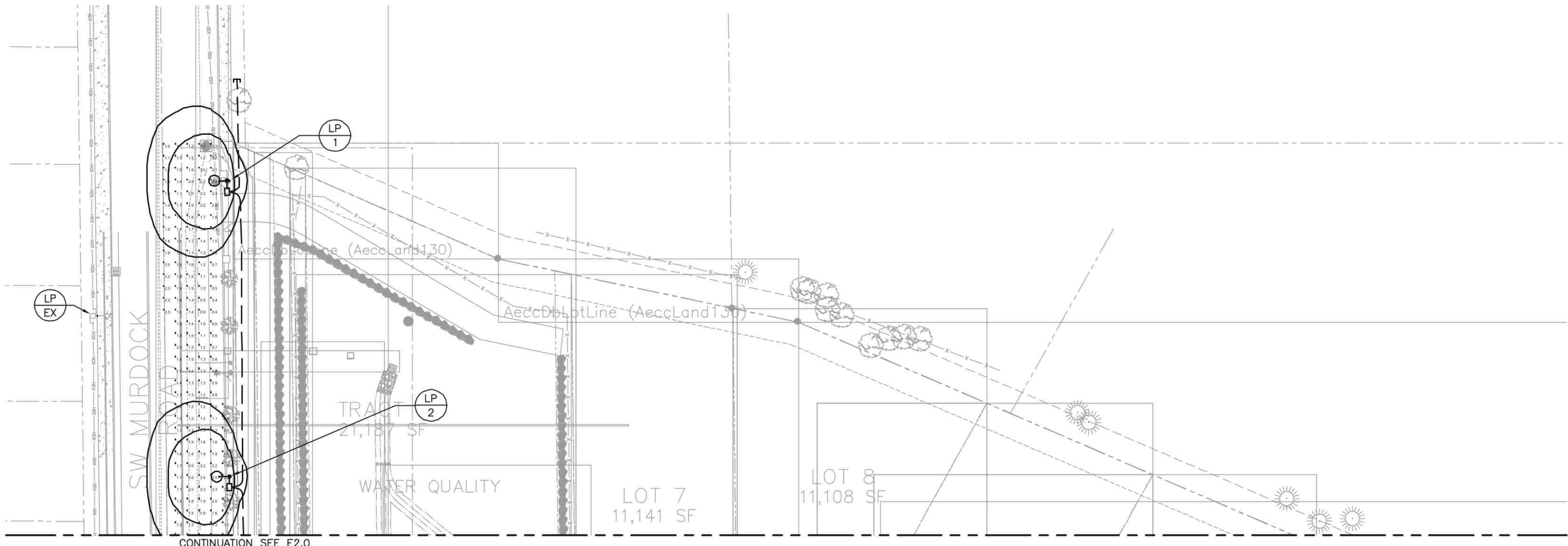
R&W ENGINEERING, INC.
 "Engineering Integrated Solutions"
 9615 SW Allen Blvd., Suite 107
 Beaverton, Oregon 97005
 Phone: (503) 726-3317
 Fax: (503) 726-3326
 E-mail: rwen@rwen.com

REV	DATE	DESCRIPTION	BY

**MOSER PASS AT DENALI
 SHERWOOD, OREGON**
PARTIAL SITE PLAN - PHOTOMETRIC

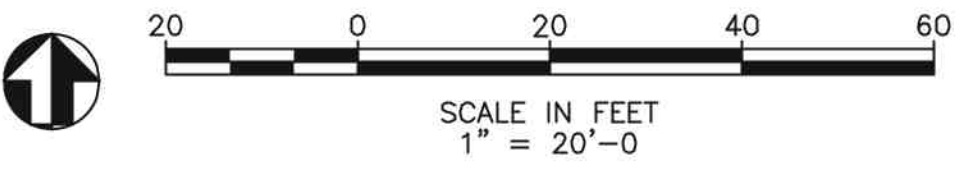
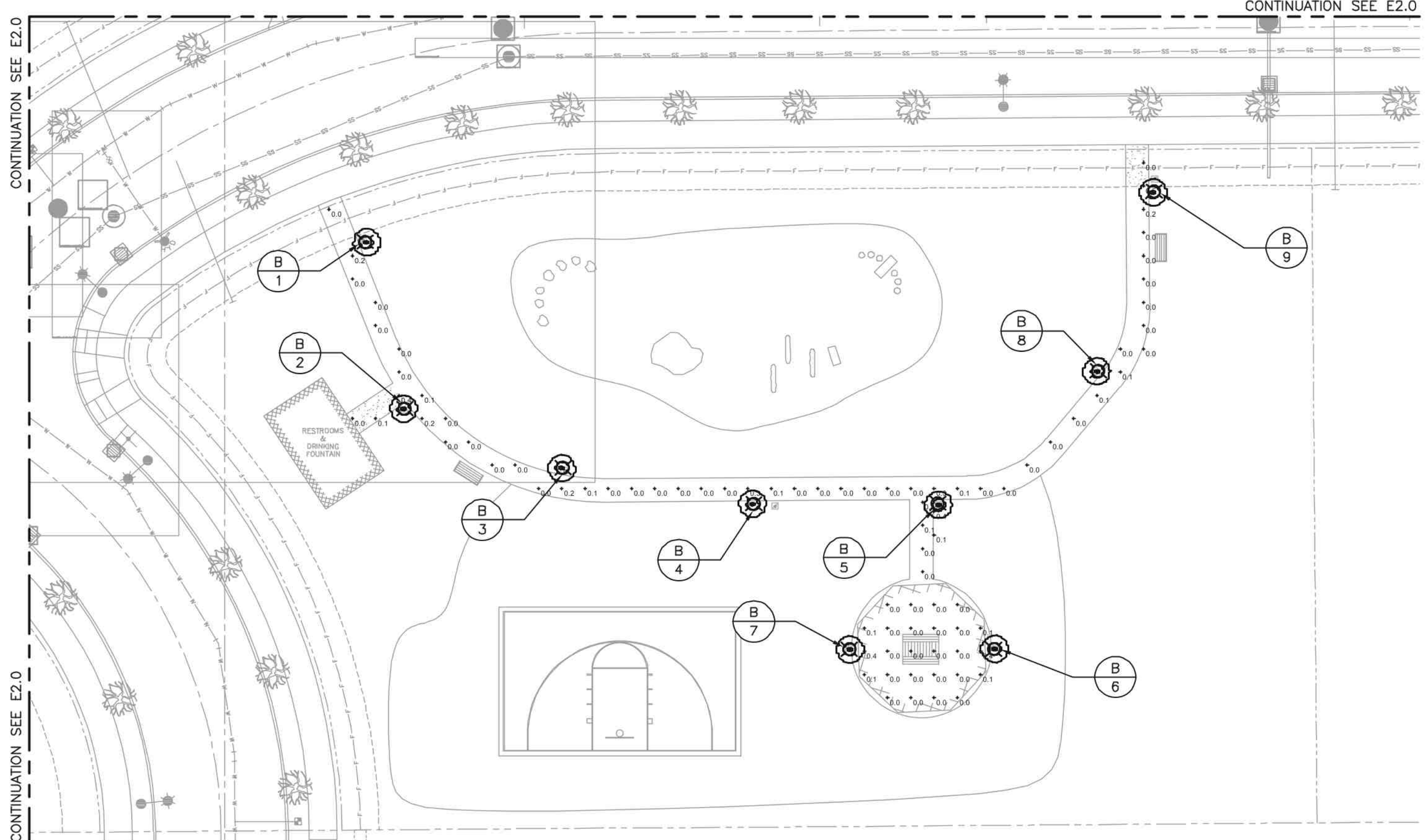
DESIGNED: KJR
 DRAWN: MJP
 CONTACT: KJR
 PROJECT #: 1761.001.001
 DATE: 01/31/2024

DRAWING NO.
E2.2
 SHEET 7 OF 8

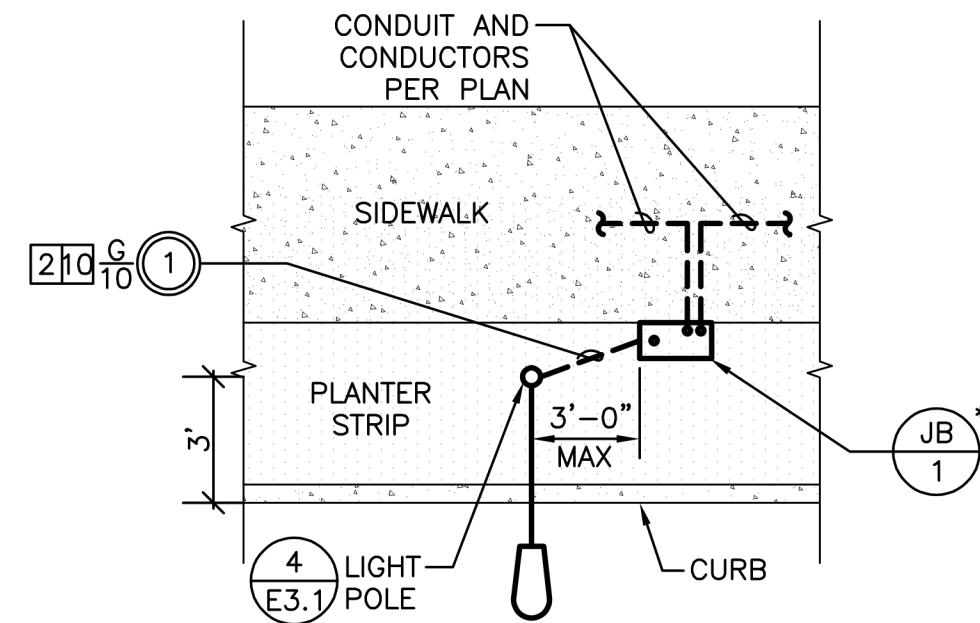


GENERAL NOTES

- A. REFER TO SHEET E0.1 FOR SYMBOL LEGEND, GENERAL NOTES, APPROVED EQUIPMENT, AND POLE AND LUMINAIRE SCHEDULE.
- B. INNER LUMINAIRE ISO CURVE INDICATES 1 FOOT CANDLE. OUTER LUMINAIRE ISO CURVE INDICATES 0.5 FOOT CANDLES.
- C. FOOT CANDLE ISO CURVES ARE SHOWN AS A SINGLE FIXTURE CONTRIBUTION WITH SET VALUES. THE ISO CURVE VALUES MAY NOT MATCH THE CALCULATION PLANE POINT VALUES, SINCE THE CALCULATION PLANE CAN BE A CONTRIBUTION FROM MORE THAN ONE LUMINAIRE.

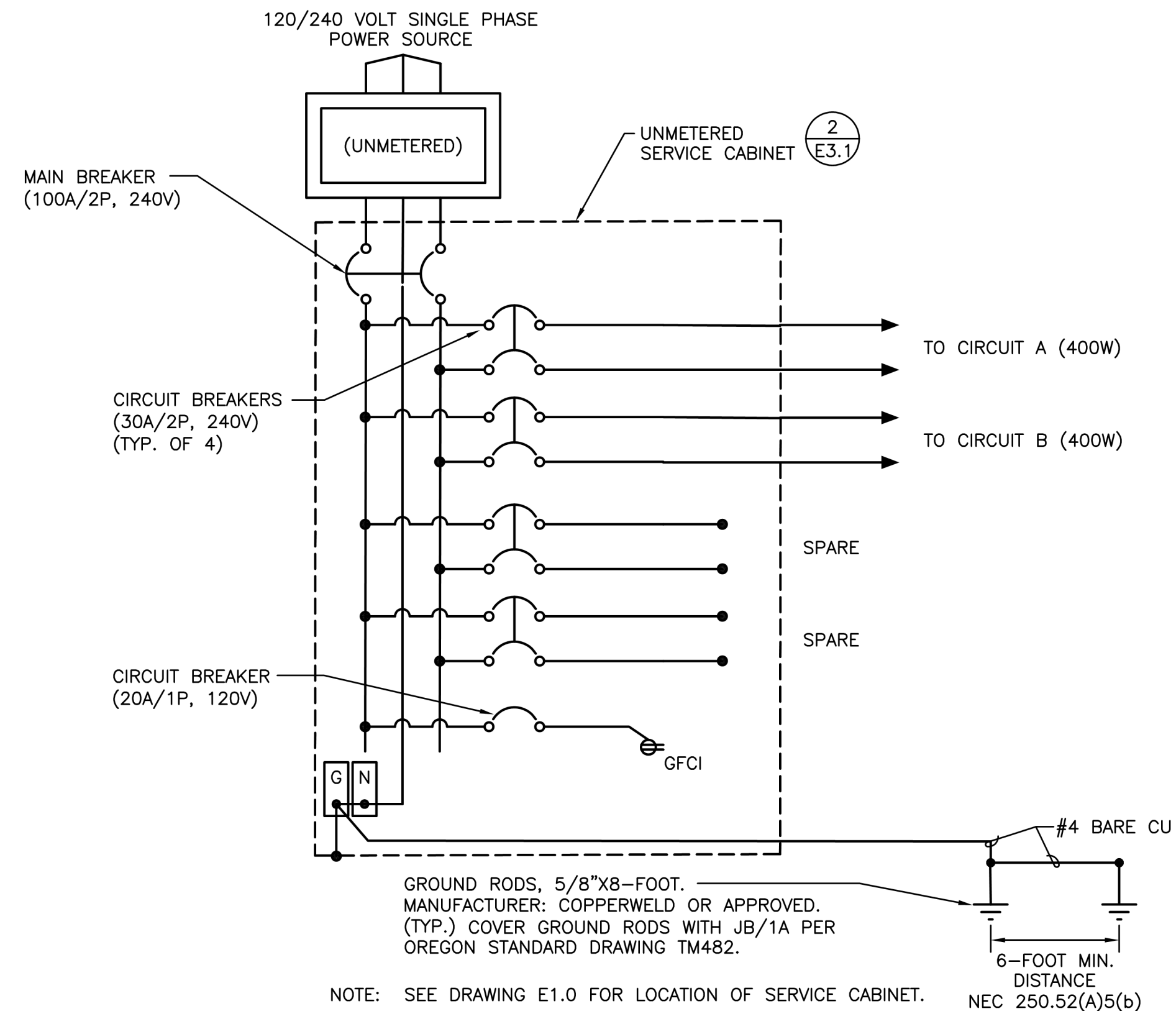


THIS LINE IS 2 INCHES
 AT FULL SCALE
 IF IT DOES NOT MEASURE 2
 INCHES, SCALE ACCORDINGLY



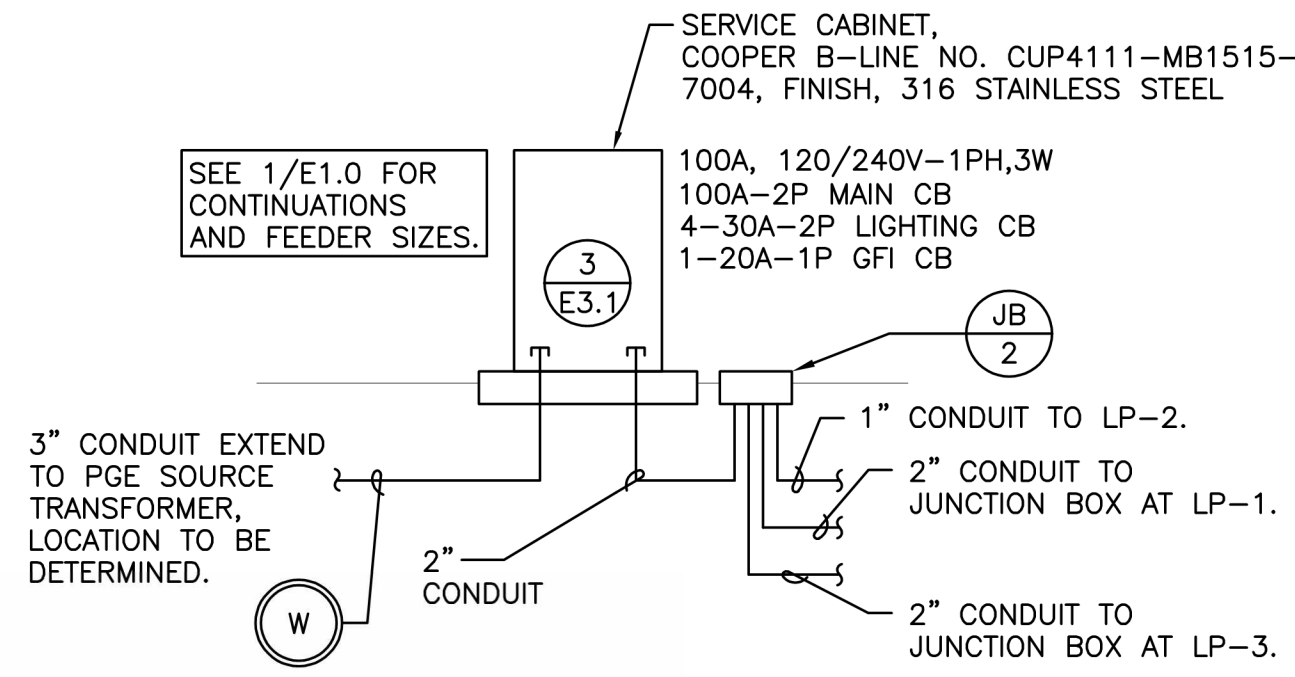
NOTE: SEE PLAN FOR CIRCUIT INFORMATION.
 * PROVIDE JB-2 FOR CIRCUITS THAT HAVE MORE THAN TWO 2" CONDUIT.

1 TYPICAL STREET LIGHT DETAIL (PLANTER STRIP)
 E3.1 NOT TO SCALE



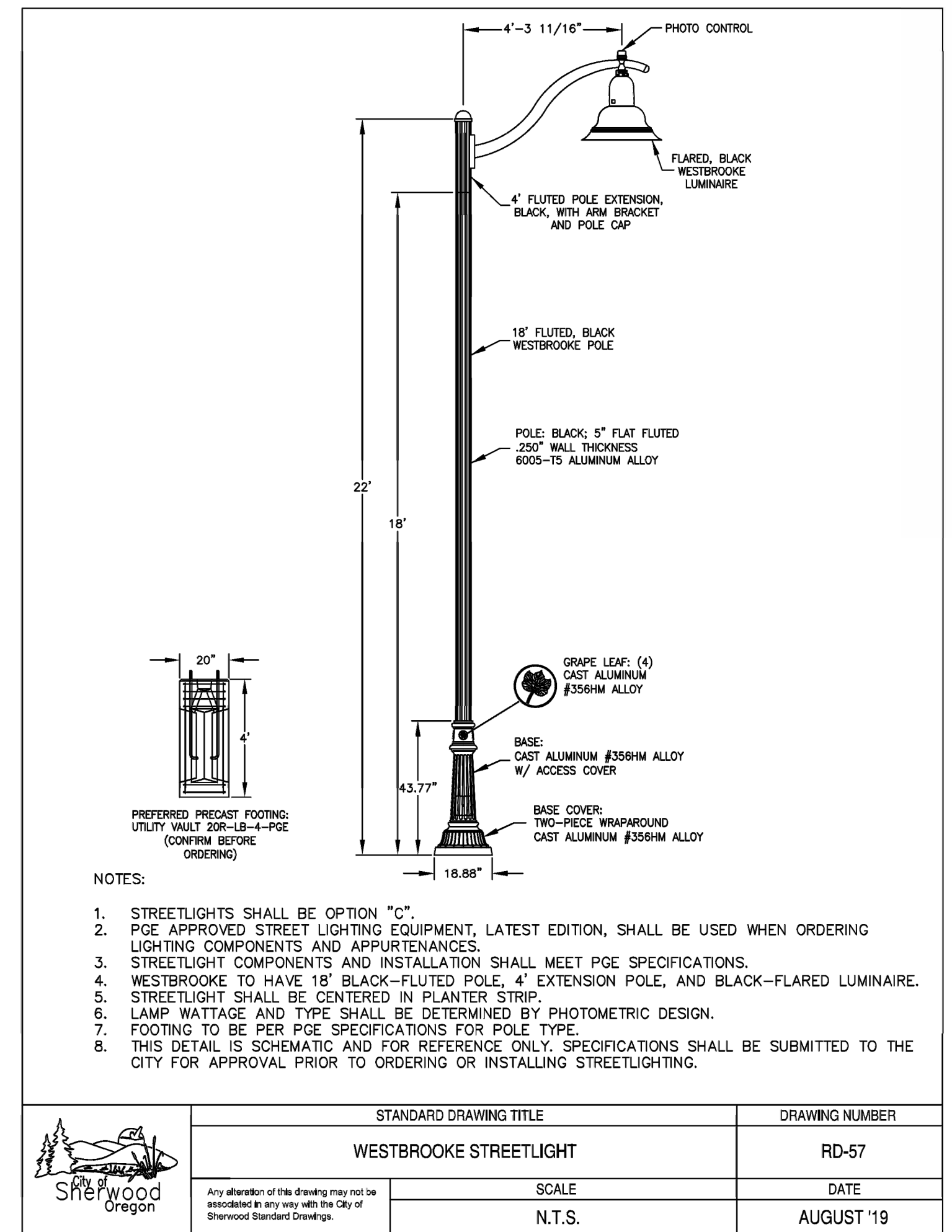
NOTE: SEE DRAWING E1.0 FOR LOCATION OF SERVICE CABINET.

NEC 250.52(A)5(b)



2 UNMETERED SERVICE CABINET
 E3.1 NOT TO SCALE

3 UNMETERED SERVICE CABINET CIRCUIT DIAGRAM
 E3.1 NOT TO SCALE

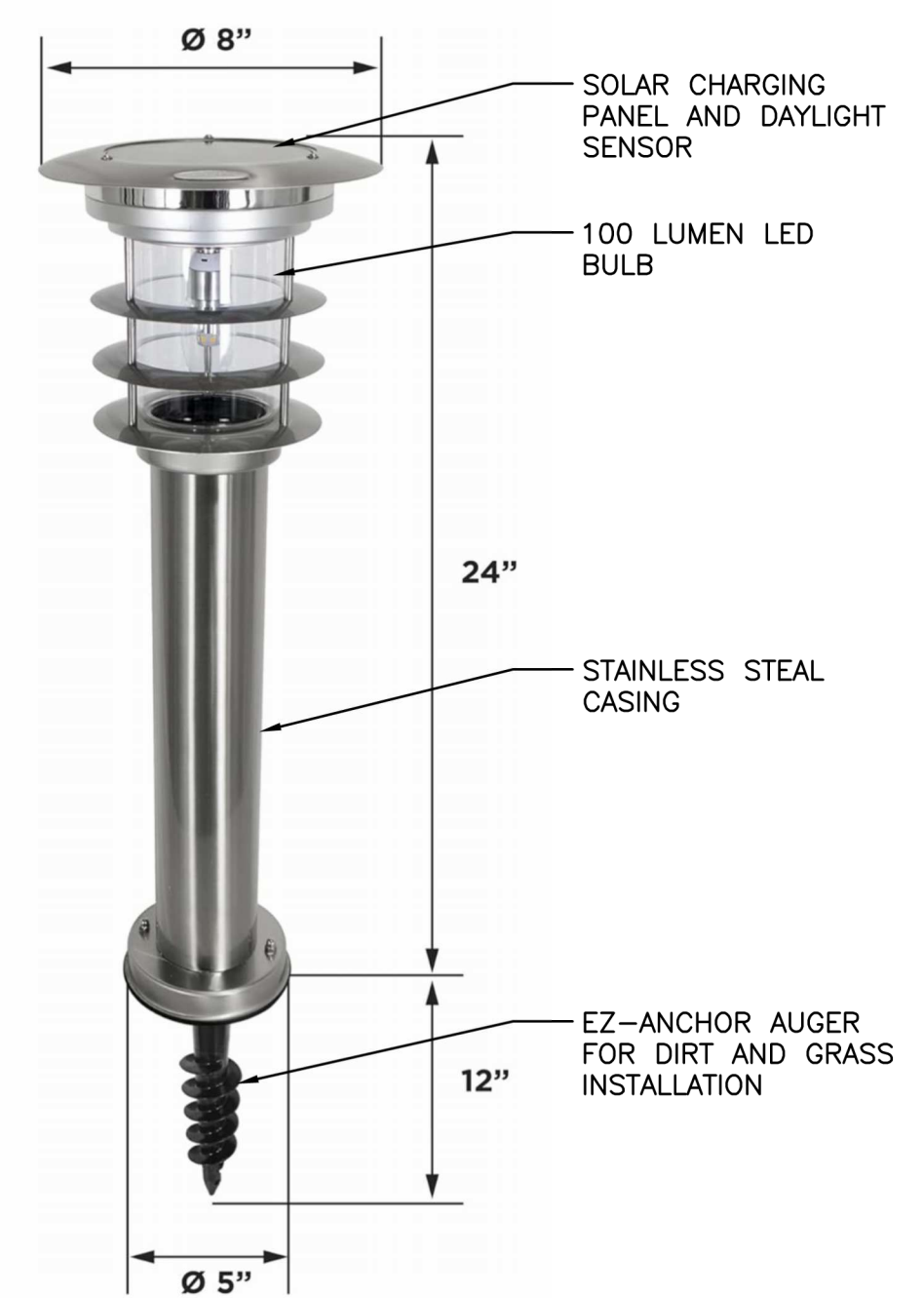


- NOTES:
1. STREETLIGHTS SHALL BE OPTION "C".
 2. PGE APPROVED STREET LIGHTING EQUIPMENT, LATEST EDITION, SHALL BE USED WHEN ORDERING LIGHTING COMPONENTS AND APPURTENANCES.
 3. STREETLIGHT COMPONENTS AND INSTALLATION SHALL MEET PGE SPECIFICATIONS.
 4. WESTBROOKE TO HAVE 18' BLACK-FLUTED POLE, 4' EXTENSION POLE, AND BLACK-FLARED LUMINAIRE.
 5. STREETLIGHT SHALL BE CENTERED IN PLANTER STRIP.
 6. LAMP WATTAGE AND TYPE SHALL BE DETERMINED BY PHOTOMETRIC DESIGN.
 7. FOOTING TO BE PER PGE SPECIFICATIONS FOR POLE TYPE.
 8. THIS DETAIL IS SCHEMATIC AND FOR REFERENCE ONLY. SPECIFICATIONS SHALL BE SUBMITTED TO THE CITY FOR APPROVAL PRIOR TO ORDERING OR INSTALLING STREETLIGHTING.

STANDARD DRAWING TITLE	DRAWING NUMBER
WESTBROOKE STREETLIGHT	RD-57
SCALE	DATE
N.T.S.	AUGUST '19

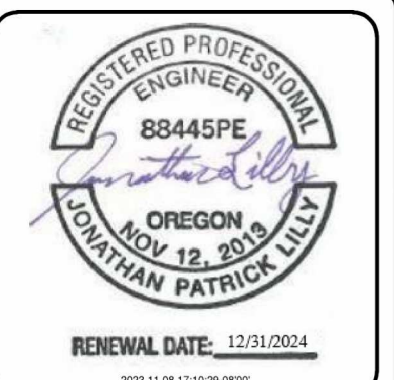
NOTE: DETAIL PROVIDED BY CITY OF SHERWOOD AND NOT PREPARED BY ENGINEER OF RECORD

4 WESTBROOKE STREETLIGHT DETAIL
 E3.1 NOT TO SCALE



5 BOLLARD LUMINAIRE DETAIL
 E3.1 NOT TO SCALE

THIS LINE IS 2 INCHES AT FULL SCALE
 IF IT DOES NOT MEASURE 2 INCHES, SCALE ACCORDINGLY



R&W ENGINEERING, INC.
 "Engineering Integrated Solutions"
 9815 S.W. Allen Blvd., Suite 101
 Beaverton, Oregon 97005
 Phone: (503) 726-3326
 Fax: (503) 726-3326
 E-mail: rwen@rwen.com

REV	DATE	DESCRIPTION

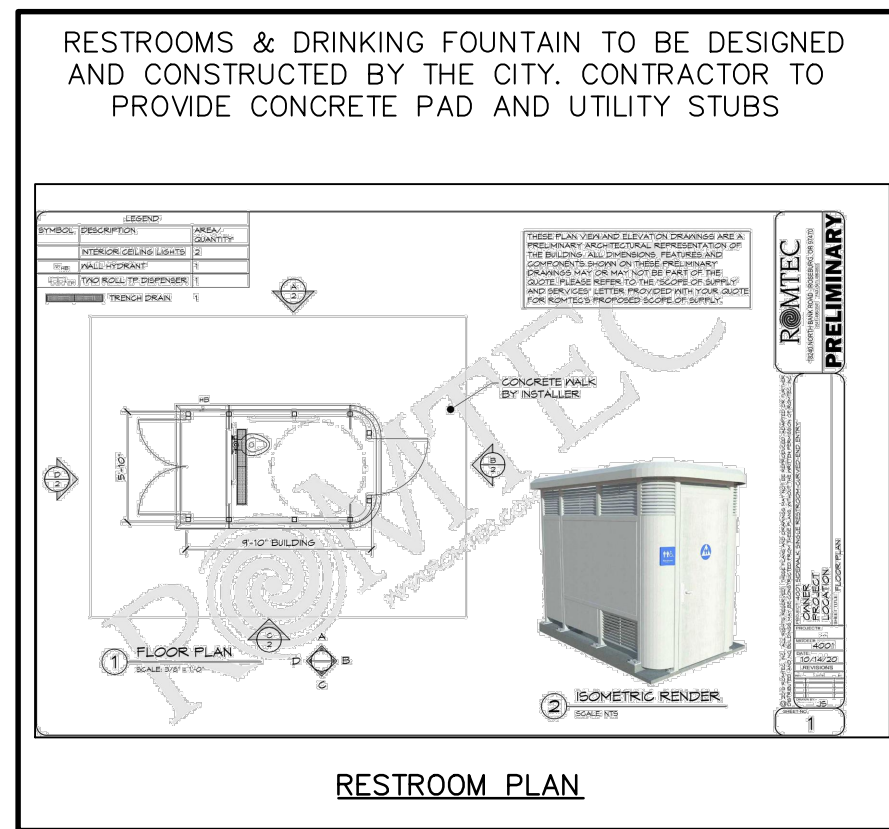
MOSER PASS AT DENALI SHERWOOD, OREGON
 STREET LIGHTING DETAILS

DESIGNED: KJR
 DRAWN: MJP
 CONTACT: KJR
 PROJECT #: 1761.001.001
 DATE: 11/08/2023

DRAWING NO.
E3.1
 SHEET 8 OF 8



CONCEPTUAL NATURAL PLAY STRUCTURES



RESTROOM PLAN

RESTROOMS & DRINKING FOUNTAIN TO BE DESIGNED AND CONSTRUCTED BY THE CITY. CONTRACTOR TO PROVIDE CONCRETE PAD AND UTILITY STUBS

LANDSCAPE & TREE NOTE

A LANDSCAPING AND TREE PLANTING PLAN SHALL BE PART OF THE FINAL PARK DESIGN BY OTHERS.

FLAT (ADA COMPLIANCE) AREA NOTE

THE PARK AREA HAS 29,000 SF OF FLAT (ADA COMPLIANT) AREA WITH A SLOPE OF 2.0% OR LESS.

PARK LIGHTING NOTE

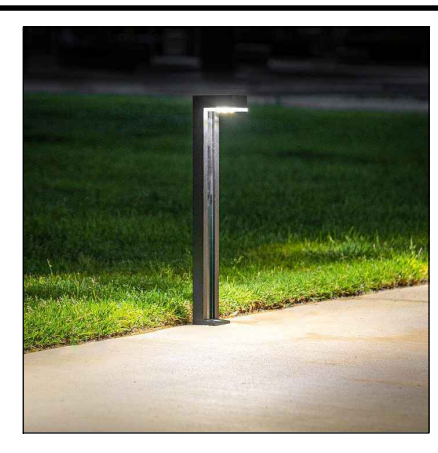
LIGHTING FOR THE PARK SHALL BE INSTALLED PER A LIGHTING DESIGN WHICH IS TO BE PART OF THE FINAL PARK DESIGN BY OTHERS. THIS PLAN ONLY SHOWS A CONCEPTUAL LIGHT DESIGN WITH TENTATIVE LOCATIONS.



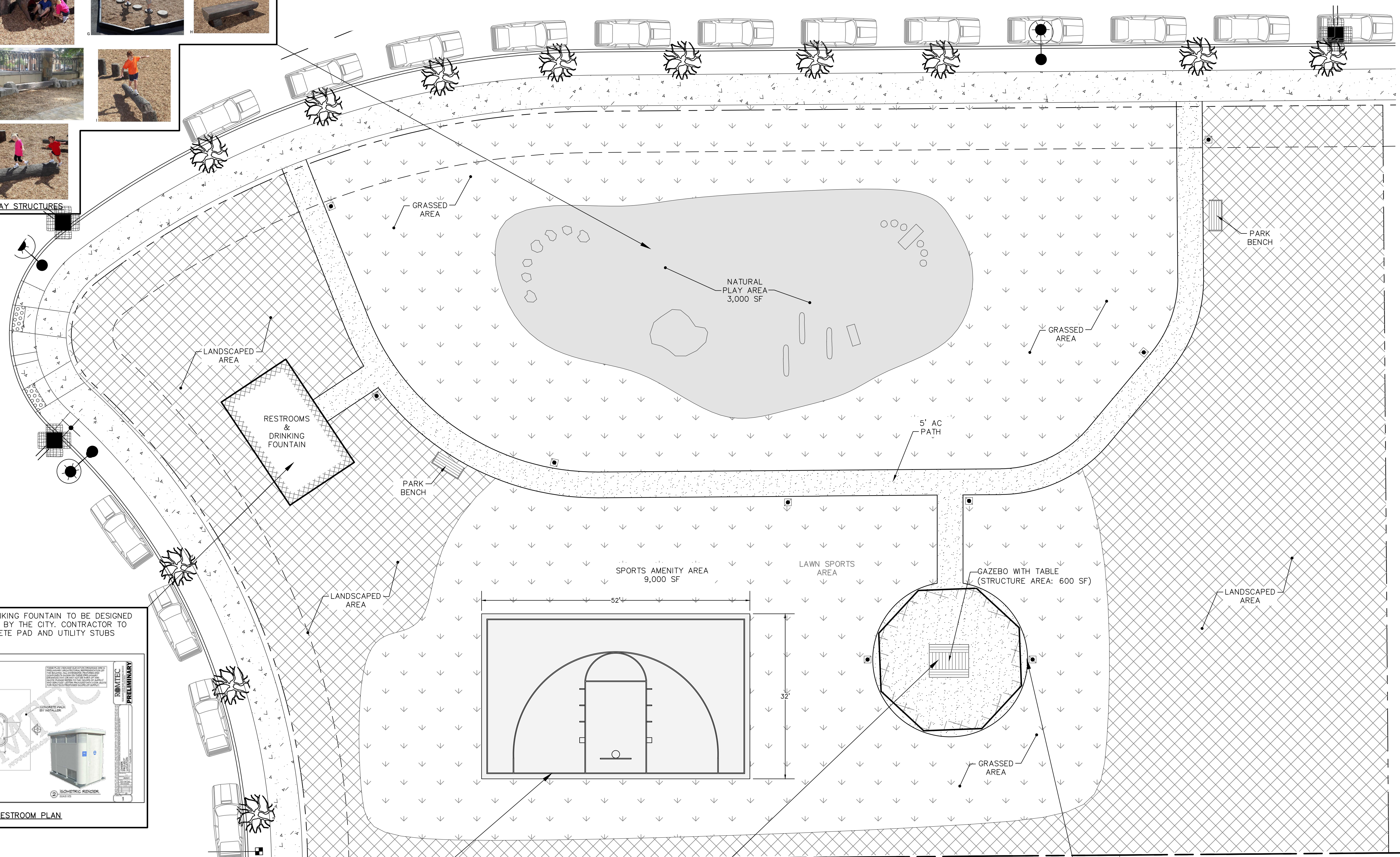
CONCEPTUAL BASKETBALL COURT



CONCEPTUAL GAZEBO



CONCEPTUAL PED. PATH LIGHTING



MOSER PASS AT DENALI

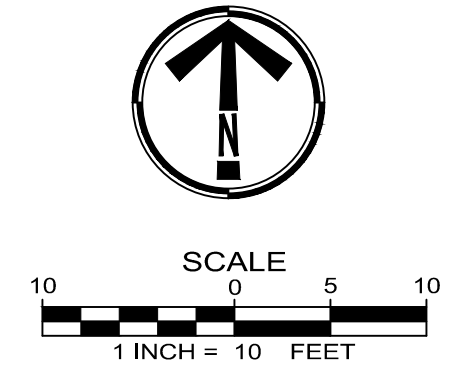
TAX MAP 2S133BC
TAX LOT 1700
SHERWOOD, OREGON

PARK EXHIBIT

NO.	DATE	DESCRIPTION



6446 SW FALLBROOK PLACE, SUITE 100
BEAVERTON, OREGON 97008
TEL: (503) 746-8812
FAX: (503) 639-9592
www.emeriodesign.com



SHEET

1

OF

1

Exhibit 4

Plat

MOSER PASS AT DENALI

LOCATED IN THE NW 1/4 OF SECTION 33,
TOWNSHIP 2 SOUTH, RANGE 1 WEST, W.M.,
CITY OF SHERWOOD, WASHINGTON COUNTY, OREGON
DATED: NOVEMBER 26, 2023

RECORDED AS DOCUMENT NO. _____ REVIEW COPY

SHEET 1 OF 5

PREPARED FOR

JT ROTH CONSTRUCTION
12600 SW 72ND AVENUE, SUITE 200
PORTLAND, OREGON 97223

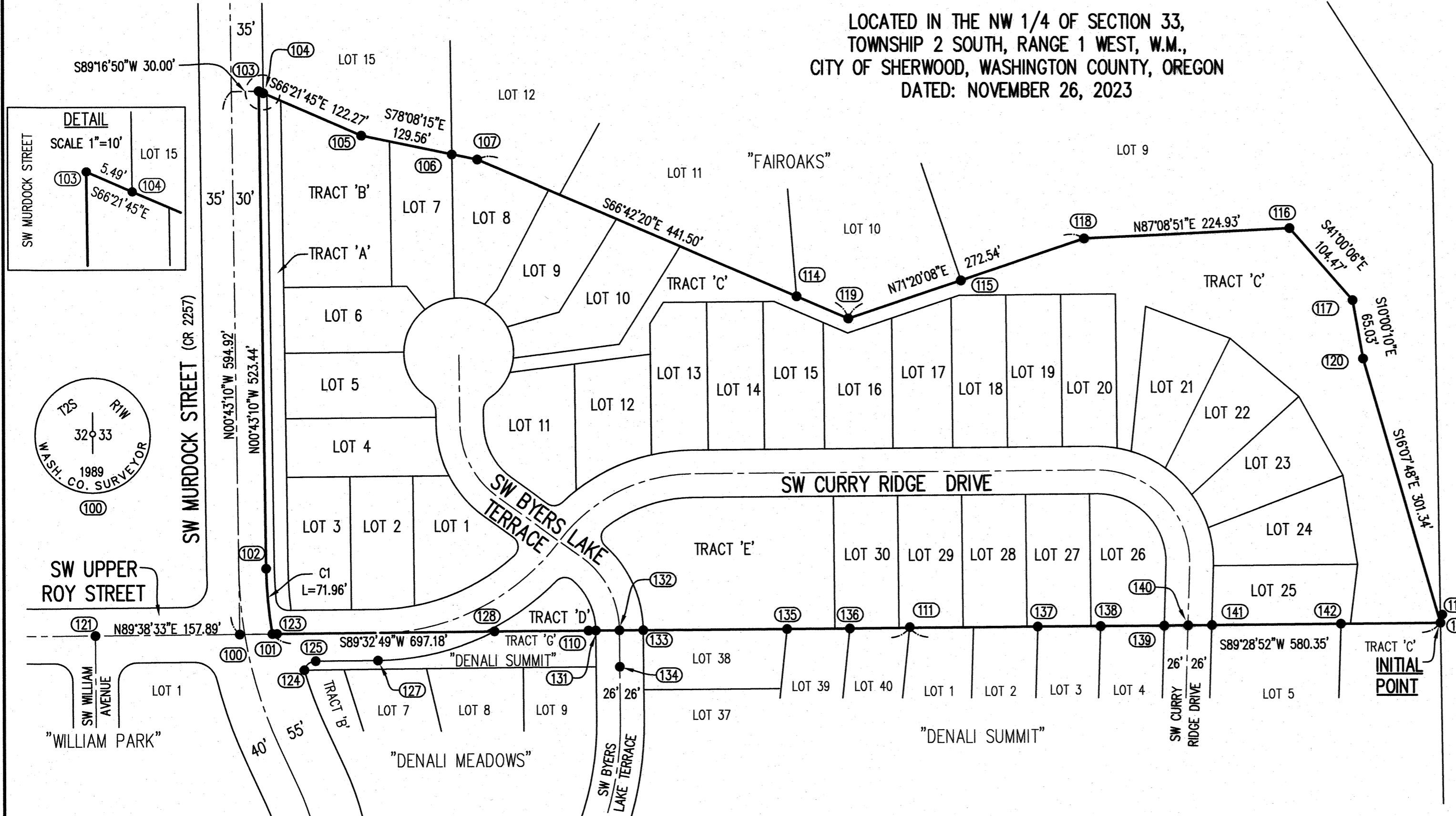
NARRATIVE

THE PURPOSE OF THIS SURVEY IS TO SUBDIVIDE THE PROPERTY DESCRIBED IN A DEED RECORDED AS DOC. NO. 2021-129211, WASHINGTON COUNTY DEED RECORDS, AS APPROVED BY THE CITY OF SHERWOOD UNDER CASE FILE NO.: LU2022-020 SUB/PUDS.

I HELD THE BOUNDARY RESOLUTION AND BASIS OF BEARING PER THE OUTER BOUNDARY SURVEY NUMBER ??????. ALL FOUND MONUMENTS ARE HELD, UNLESS NOTED, AND ALL DIMENSIONS BETWEEN FOUND MONUMENTS ARE RECORD AND MEASURED PER SAID SURVEY.

LEGEND (ALL SHEETS)

- ▲ SET 5/8" X 30" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "NORTHWEST SURVEYING, INC"
- SET 5/8" X 30" IRON ROD WITH 2" ALUMINUM CAP STAMPED "NORTHWEST SURVEYING, INC."
- FOUND MONUMENT AS NOTED IN DESCRIPTIONS
- I.R. IRON ROD
- YPC YELLOW PLASTIC CAP
- SN SURVEY NUMBER, WASHINGTON COUNTY SURVEY RECORDS
- DOC. NO. DOCUMENT NUMBER, WASHINGTON COUNTY DEED RECORDS
- PP PARTITION PLAT NUMBER, WASHINGTON COUNTY PLAT RECORDS
- P.U.E. PUBLIC UTILITY EASEMENT
- S.D.E. STORM SEWER EASEMENT TO THE CITY OF SHERWOOD
- S.S.E. SANITARY SEWER EASEMENT TO THE CITY OF SHERWOOD
- P.P.A.E. PUBLIC PEDESTRIAN ACCESS EASEMENT



FOUND MONUMENT DESCRIPTIONS

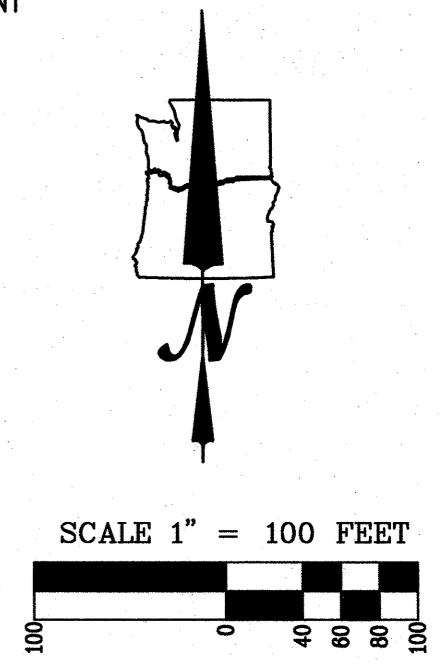
- (100) ILLEGIBLE 2" BRASS DISK STAMPED AS SHOWN, IN MONUMENT CASE; PER U.S.B.T. ENTRY 2002-062; HELD
- (101) 5/8" IRON ROD WITH NO CAP; PER SN 20158; HELD (DESTROYED BY CONSTRUCTION AND NOT RESET)
- (102) 3/4" IRON PIPE WITH YPC STAMPED "WASHINGTON COUNTY SURVEYOR"; PER PLAT OF COUNTY ROAD NO. 2257; HELD
- (103) 5/8" IRON ROD WITH YPC STAMPED "BURTON ENGINEERING"; PER "FAIROAKS"; HELD
- (104) 5/8" IRON ROD WITH YPC STAMPED "BURTON ENGINEERING"; PER "FAIROAKS"; HELD
- (105) 5/8" IRON ROD WITH NO CAP; PER "FAIROAKS"; HELD
- (106) 5/8" IRON ROD WITH YPC STAMPED "BURTON ENGINEERING"; PER "FAIROAKS"; BEARS S11°51'45"W 0.25'
- (107) 5/8" IRON ROD WITH NO CAP; PER "FAIROAKS"; HELD
- (110) 5/8" IRON ROD WITH YPC STAMPED "D.C.S. INC. LS 1856"; PER SN 30340; HELD
- (111) 5/8" IRON ROD WITH NO CAP; PER SN 20158; BEARS N10°31'38"W 0.78'
- (112) 5/8" IRON ROD WITH 1-1/2" ALUMINUM CAP STAMPED "R. BANCROFT L.S.1124"; PER SN 20972; HELD
- (113) 5/8" IRON ROD WITH NO CAP; PER SN 20158; BEARS N06°33'35"E 1.19'
- (114) 5/8" IRON ROD WITH YPC STAMPED "BURTON ENGINEERING"; PER "FAIROAKS"; HELD
- (115) 5/8" IRON ROD WITH YPC STAMPED "BURTON ENGINEERING"; PER "FAIROAKS"; BEARS S18°39'52"E 0.10'
- (116) 5/8" IRON ROD WITH YPC STAMPED "BURTON ENGINEERING"; PER "FAIROAKS"; HELD
- (117) 5/8" IRON ROD WITH YPC STAMPED "BURTON ENGINEERING"; PER "FAIROAKS"; HELD
- (118) 5/8" IRON ROD WITH YPC STAMPED "BURTON ENGINEERING"; PER "FAIROAKS"; HELD
- (119) 5/8" IRON ROD WITH YPC STAMPED "AKS ENGR."; PER SN 30496; HELD
- (120) 5/8" IRON ROD WITH YPC STAMPED "BURTON ENGINEERING"; PER "FAIROAKS"; HELD
- (121) 5/8" IRON ROD WITH 1-1/2" ALUMINUM CAP STAMPED "W.L.Mc. L.S.808"; PER "WILLIAM PARK"; HELD
- (123) 5/8" IRON ROD WITH YPC STAMPED "EMERIO DESIGN"; PER "DENALI SUMMIT"; BEARS N00°27'11"E 0.08' (DESTROYED BY CONSTRUCTION AND NOT RESET)
- (124) 5/8" IRON ROD WITH YPC STAMPED "EMERIO DESIGN"; PER "DENALI SUMMIT"; HELD
- (125) 5/8" IRON ROD WITH YPC STAMPED "EMERIO DESIGN"; PER "DENALI SUMMIT"; HELD
- (127) 5/8" IRON ROD WITH YPC STAMPED "EMERIO DESIGN"; PER "DENALI SUMMIT"; HELD
- (128) 5/8" IRON ROD WITH YPC STAMPED "EMERIO DESIGN"; PER "DENALI SUMMIT"; BEARS N00°27'11"W 0.10'
- (131) 5/8" IRON ROD WITH YPC "EMERIO DESIGN"; PER "DENALI SUMMIT"; HELD
- (132) 5/8" IRON ROD WITH 2" ALUMINUM CAP STAMPED "EMERIO DESIGN"; PER "DENALI SUMMIT"; HELD
- (133) 5/8" IRON ROD WITH YPC STAMPED "EMERIO DESIGN"; PER "DENALI SUMMIT"; HELD
- (134) 5/8" IRON ROD WITH YPC STAMPED "EMERIO DESIGN"; PER "DENALI SUMMIT"; HELD
- (135) 5/8" IRON ROD WITH YPC STAMPED "EMERIO DESIGN"; PER "DENALI SUMMIT"; HELD
- (136) 5/8" IRON ROD WITH YPC STAMPED "EMERIO DESIGN"; PER "DENALI SUMMIT"; HELD
- (137) 1-1/8" COPPER DISK IN STONE STAMPED "EMERIO DESIGN"; PER "DENALI SUMMIT"; HELD
- (138) 5/8" IRON ROD WITH YPC STAMPED "EMERIO DESIGN"; PER "DENALI SUMMIT"; BEARS S00°31'08"E 0.19'
- (139) 5/8" IRON ROD WITH YPC STAMPED "EMERIO DESIGN"; PER "DENALI SUMMIT"; BEARS S00°31'08"E 0.07'
- (140) 5/8" IRON ROD WITH 2" ALUMINUM CAP STAMPED "EMERIO DESIGN"; PER "DENALI SUMMIT"; BEARS N62°54'04"E 0.20'
- (141) 5/8" IRON ROD WITH YPC STAMPED "EMERIO DESIGN"; PER "DENALI SUMMIT"; BEARS N53°59'14"E 0.18'
- (142) 5/8" IRON ROD WITH YPC STAMPED "EMERIO DESIGN"; PER "DENALI SUMMIT"; HELD

SHEET INDEX

- SHEET 1 PLAT BOUNDARY, FOUND MONUMENT DESCRIPTIONS, NARRATIVE AND LEGEND
- SHEET 2 LOTS 1-5, 30, TRACT D, TRACT E AND PORTION OF TRACT A
- SHEET 3 LOTS 6-16, TRACT B AND PORTIONS OF TRACTS A AND C
- SHEET 4 LOTS 17-29 AND PORTIONS OF TRACT C
- SHEET 5 SURVEYOR'S CERTIFICATE, DECLARATION, ACKNOWLEDGMENT, CONSENT AFFIDAVIT, PLAT NOTES, CITY OF SHERWOOD AND WASHINGTON COUNTY APPROVALS

REGISTERED PROFESSIONAL LAND SURVEYOR

 OREGON
 JANUARY 15, 2022
 CLINTON H. STUBBS JR.
 55469LS
 RENEWS: 06/30/24



CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	CHORD
C1	71.96	447.46	9°12'52"	N05°19'36"W 71.89

JOB NAME:	JT ROTH MOSER
JOB NUMBER:	2400
DRAWN BY:	BJA
CHECKED BY:	CHS
DRAWING NO:	2400 PLAT

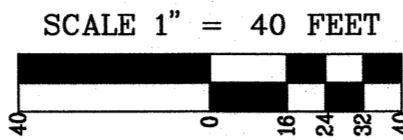
NORTHWEST SURVEYING, Inc.
 1815 NW 169th PLACE, SUITE 2090
 BEAVERTON, OR 97006
 PHONE: 503-848-2127 FAX: 503-848-2179
 www.nwsrvy.com

MOSER PASS AT DENALI

RECORDED AS DOCUMENT NO. REVIEW COPY

SHEET 2 OF 5

LOCATED IN THE NW 1/4 OF SECTION 33,
TOWNSHIP 2 SOUTH, RANGE 1 WEST, W.M.,
CITY OF SHERWOOD, WASHINGTON COUNTY, OREGON
DATED: NOVEMBER 26, 2023



PREPARED FOR

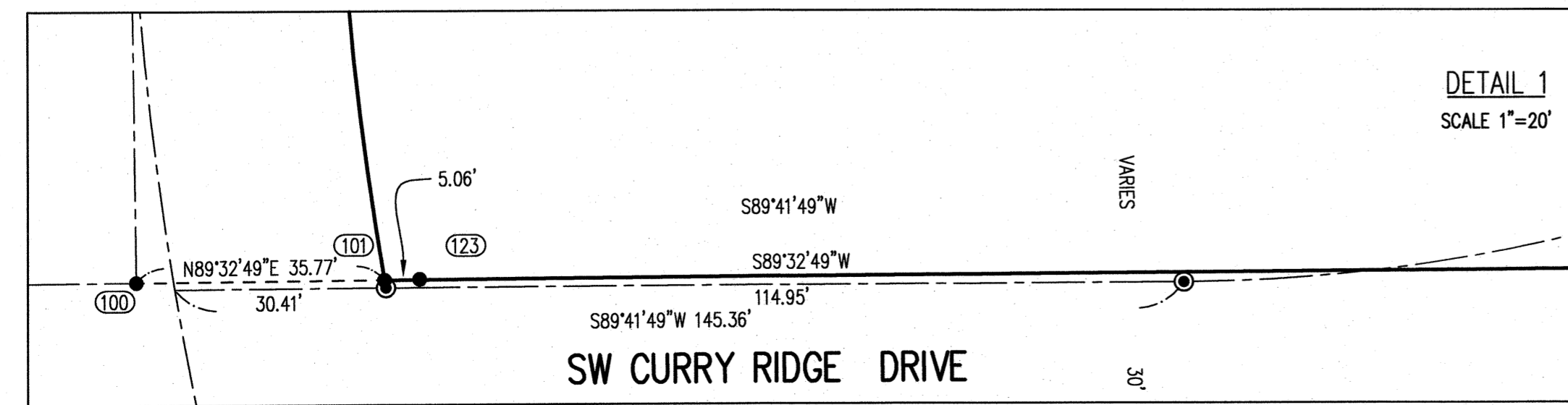
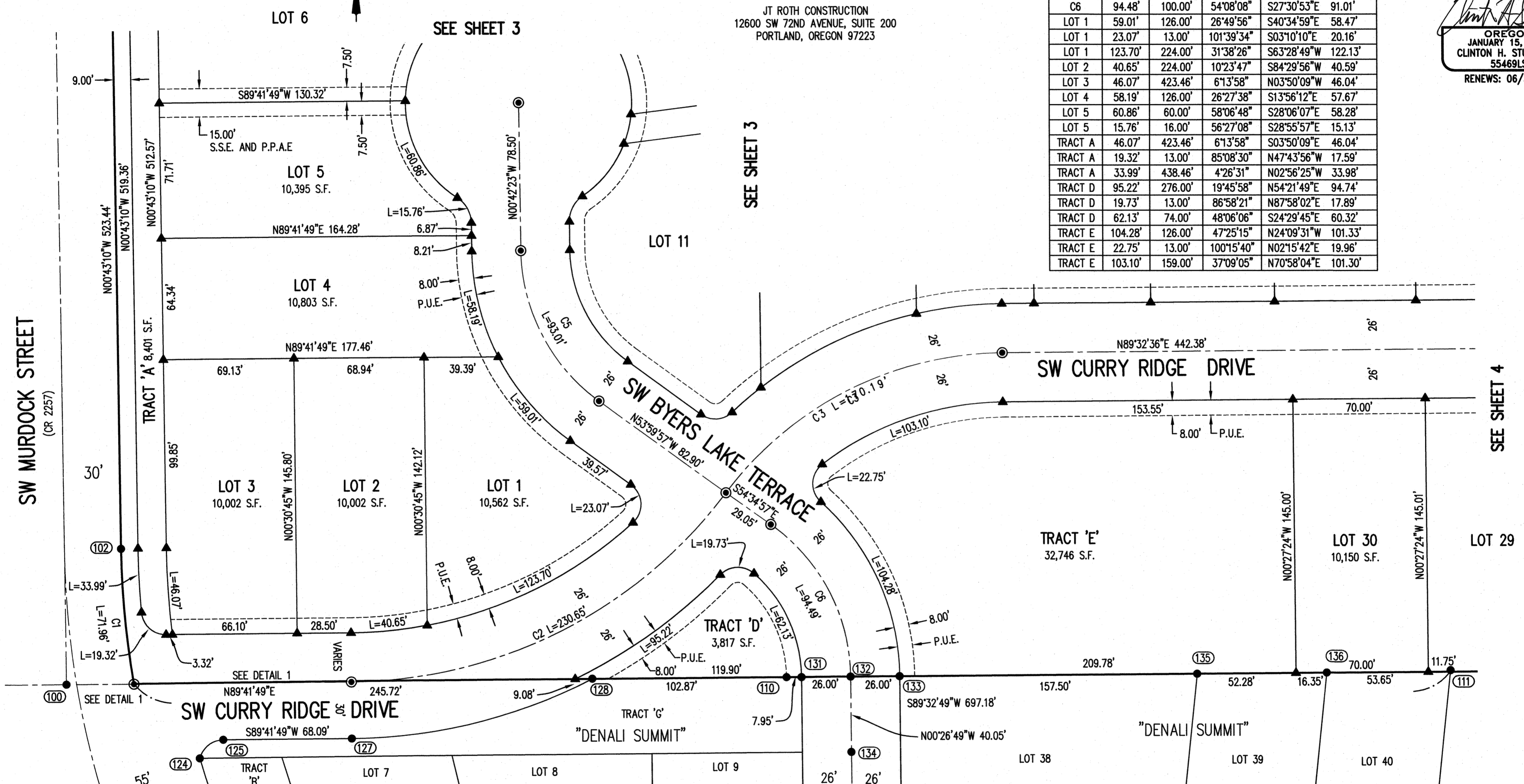
JT ROTH CONSTRUCTION
12600 SW 72ND AVENUE, SUITE 200
PORTLAND, OREGON 97223

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	CHORD
C1	71.96	447.46	9°12'52"	N05°19'36"W 71.89'
C2	230.65	250.00	52°51'42"	N63°15'58"E 222.56'
C3	170.19	185.00	52°42'29"	N63°11'22"E 164.25'
C5	93.01	100.00	53°17'34"	N27°21'10"W 89.70'
C6	94.48	100.00	54°08'08"	S27°30'53"E 91.01'
LOT 1	59.01	126.00	26°49'56"	S40°34'59"E 58.47'
LOT 1	23.07	13.00	101°39'34"	S03°10'10"E 20.16'
LOT 1	123.70	224.00	31°38'26"	S63°28'49"W 122.13'
LOT 2	40.65	224.00	10°23'47"	S84°29'56"W 40.59'
LOT 3	46.07	423.46	6°13'58"	N03°50'09"W 46.04'
LOT 4	58.19	126.00	26°27'38"	S13°56'12"E 57.67'
LOT 5	60.86	60.00	58°06'48"	S28°06'07"E 58.28'
LOT 5	15.76	16.00	56°27'08"	S28°55'57"E 15.13'
TRACT A	46.07	423.46	6°13'58"	S03°50'09"E 46.04'
TRACT A	19.32	13.00	85°08'30"	N47°43'56"W 17.59'
TRACT A	33.99	438.46	4°26'31"	N02°56'25"W 33.98'
TRACT D	95.22	276.00	19°45'58"	N54°21'49"E 94.74'
TRACT D	19.73	13.00	86°58'21"	N87°58'02"E 17.89'
TRACT D	62.13	74.00	48°06'06"	S24°29'45"E 60.32'
TRACT E	104.28	126.00	47°25'15"	N24°09'31"W 101.33'
TRACT E	22.75	13.00	100°15'40"	N02°15'42"E 19.96'
TRACT E	103.10	159.00	37°09'05"	N70°58'04"E 101.30'

REGISTERED
PROFESSIONAL
LAND SURVEYOR

OREGON
JANUARY 15, 2002
CLINTON H. STUBBS, JR.
55469LS
RENEWS: 06/30/24



JOB NAME:	JT ROTH MOSER
JOB NUMBER:	2400
DRAWN BY:	BJA
CHECKED BY:	CHS
DRAWING NO:	2400 PLAT

BOUNDARY TOPOGRAPHIC CONSTRUCTION CADASTRAL

NORTHWEST

1815 NW 169th PLACE, SUITE 2090
BEAVERTON, OR 97006
PHONE: 503-848-2127 FAX: 503-848-2179
www.nwsrvy.com

SURVEYING, Inc.

MOSER PASS AT DENALI

RECORDED AS DOCUMENT NO. _____

REVIEW COPY

SHEET 3 OF 5

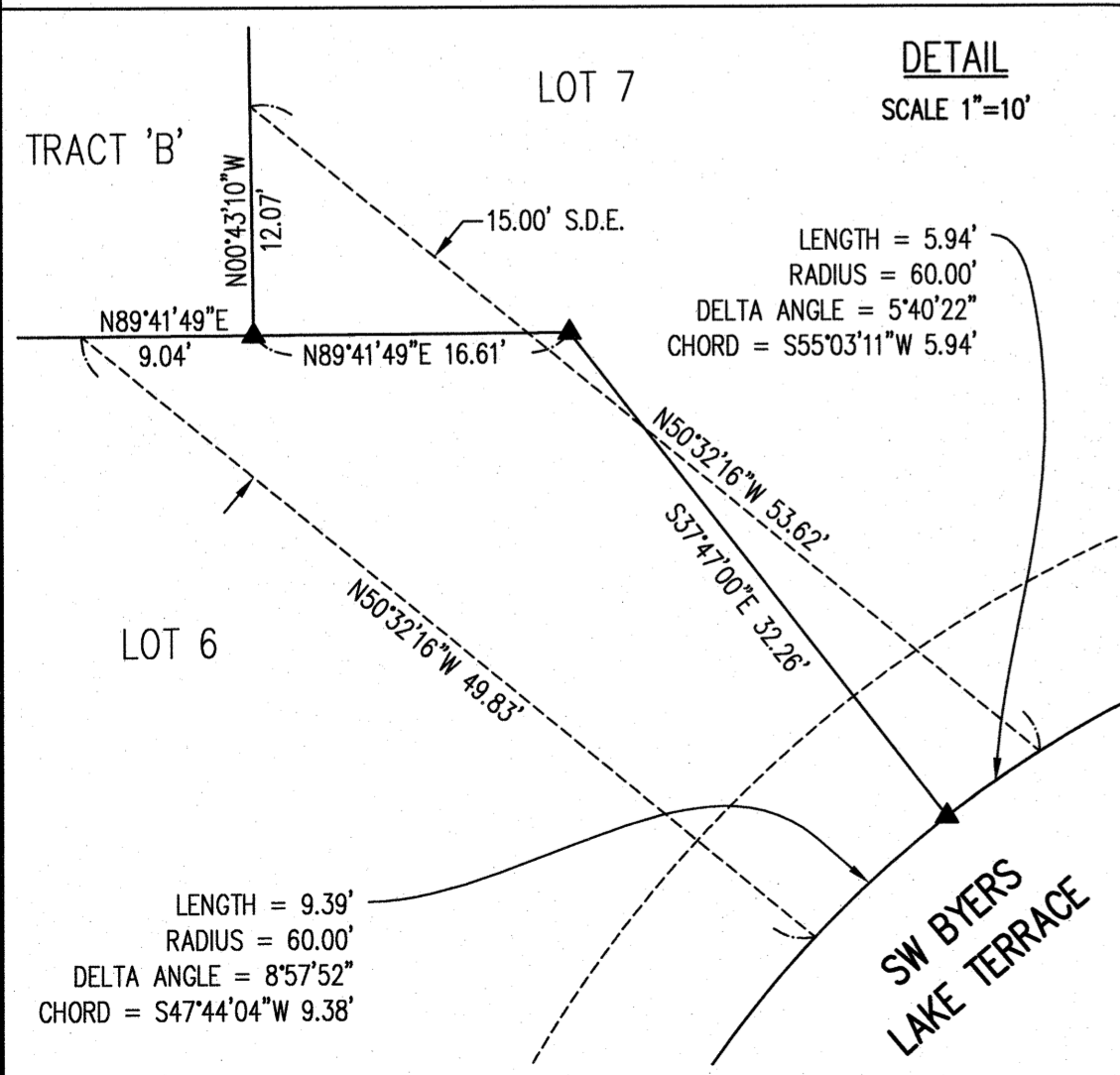
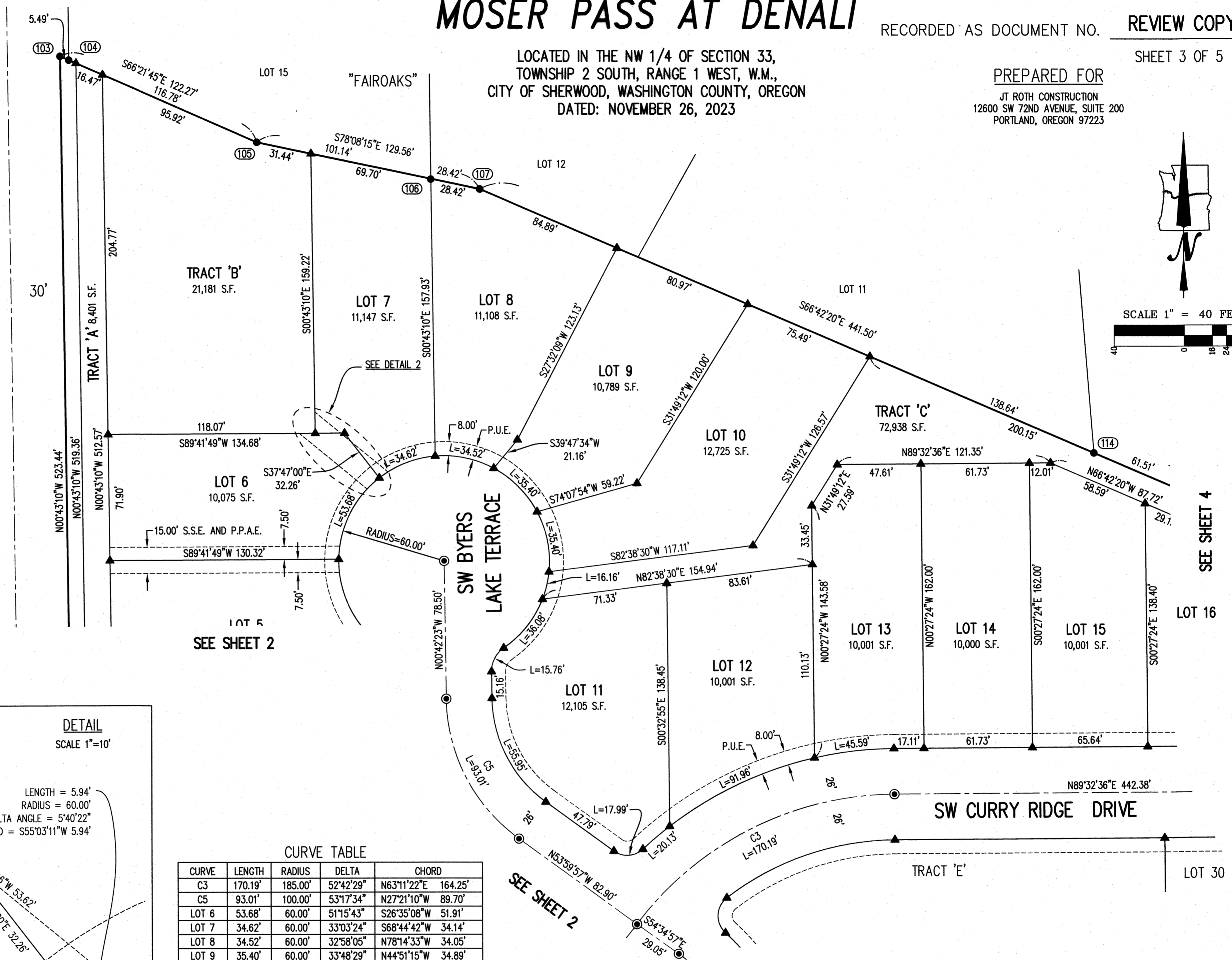
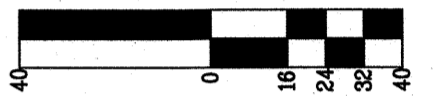
LOCATED IN THE NW 1/4 OF SECTION 33,
TOWNSHIP 2 SOUTH, RANGE 1 WEST, W.M.,
CITY OF SHERWOOD, WASHINGTON COUNTY, OREGON
DATED: NOVEMBER 26, 2023

PREPARED FOR

JT ROTH CONSTRUCTION
12600 SW 72ND AVENUE, SUITE 200
PORTLAND, OREGON 97223



SCALE 1" = 40 FEET



CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	CHORD
C3	170.19'	185.00'	52°42'29"	N63°11'22"E 164.25'
C5	93.01'	100.00'	53°17'34"	N27°21'10"W 89.70'
LOT 6	53.68'	60.00'	51°15'43"	S26°35'08"W 51.91'
LOT 7	34.62'	60.00'	33°03'24"	S68°44'42"W 34.14'
LOT 8	34.52'	60.00'	32°58'05"	N78°14'33"W 34.05'
LOT 9	35.40'	60.00'	33°48'29"	N44°51'15"W 34.89'
LOT 10	35.40'	60.00'	33°48'29"	N11°02'46"W 34.89'
LOT 11	20.13'	211.00'	5°27'55"	S49°27'39"W 20.12'
LOT 11	17.99'	13.00'	79°16'21"	S86°14'52"W 16.59'
LOT 11	55.95'	74.00'	43°19'10"	N22°21'58"W 54.63'
LOT 11	15.76'	16.00'	56°27'08"	N27°31'11"E 15.13'
LOT 11	36.08'	60.00'	34°27'15"	N38°31'08"E 35.54'
LOT 12	15.76'	16.00'	56°27'08"	S27°31'11"W 15.13'
LOT 13	36.08'	60.00'	34°27'15"	N38°31'08"E 35.54'
TRACT C	16.16'	60.00'	15°26'01"	N13°34'30"E 16.11'

REGISTERED PROFESSIONAL LAND SURVEYOR
Clinton H. Stubbs Jr.
OREGON
JANUARY 15, 2002
CLINTON H. STUBBS JR.
554691S
RENEWS: 06/30/24

JOB NAME: JT ROTH MOSER
JOB NUMBER: 2400
DRAWN BY: BJA
CHECKED BY: CHS
DRAWING NO: 2400 PLAT

BOUNDARY TOPOGRAPHIC CONSTRUCTION CADASTRAL

NORTHWEST
1815 NW 169th PLACE, SUITE 2090
BEAVERTON, OR 97006
PHONE: 503-848-2127 FAX: 503-848-2179
www.nwsrvy.com

SURVEYING, Inc.

SEE SHEET 4

SEE SHEET 2

LOT 5
SEE SHEET 2

MOSER PASS AT DENALI

LOCATED IN THE NW 1/4 OF SECTION 33,
TOWNSHIP 2 SOUTH, RANGE 1 WEST, W.M.,
CITY OF SHERWOOD, WASHINGTON COUNTY, OREGON
DATED: NOVEMBER 26, 2023

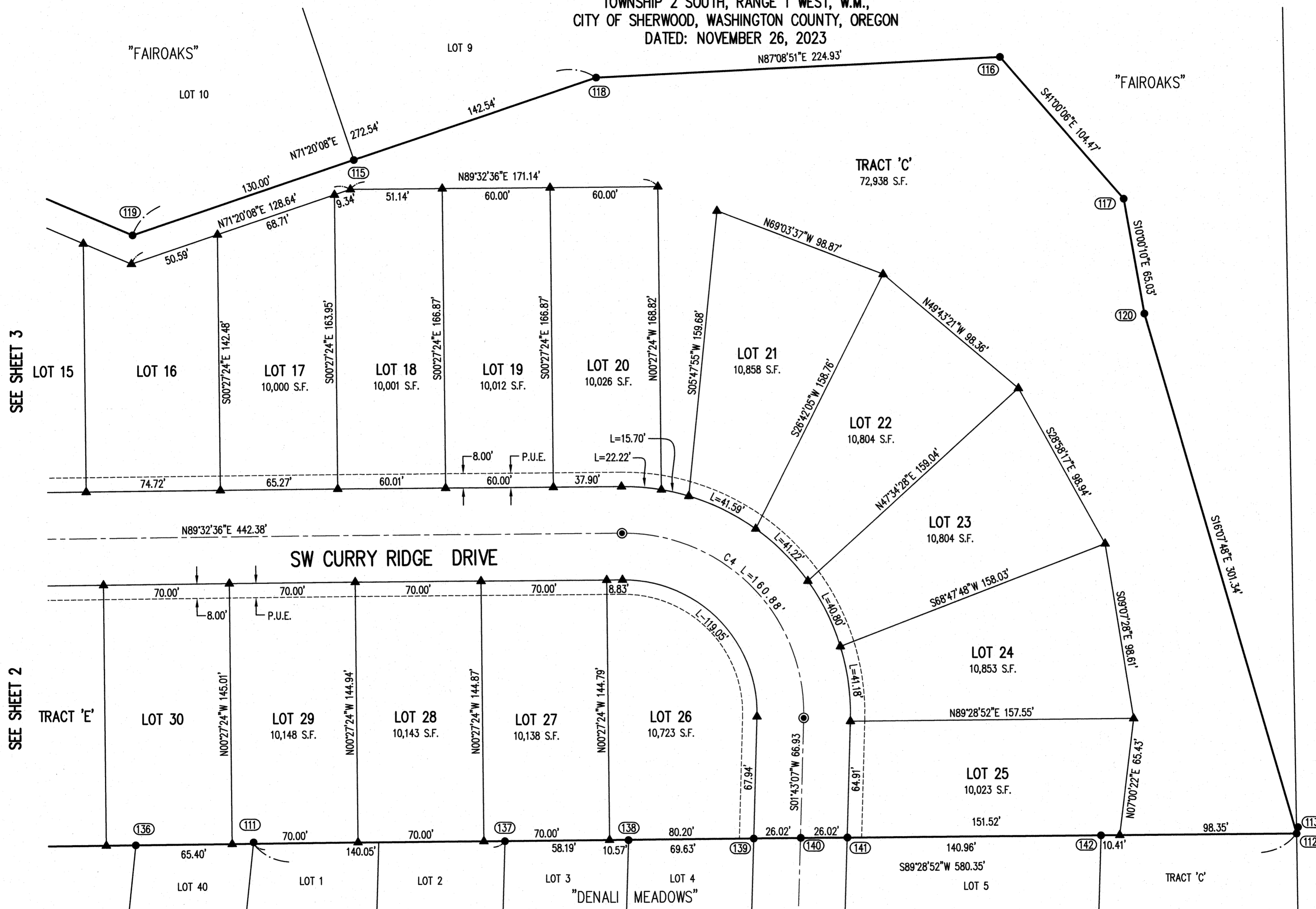
RECORDED AS DOCUMENT NO.

REVIEW COPY

SHEET 4 OF 5

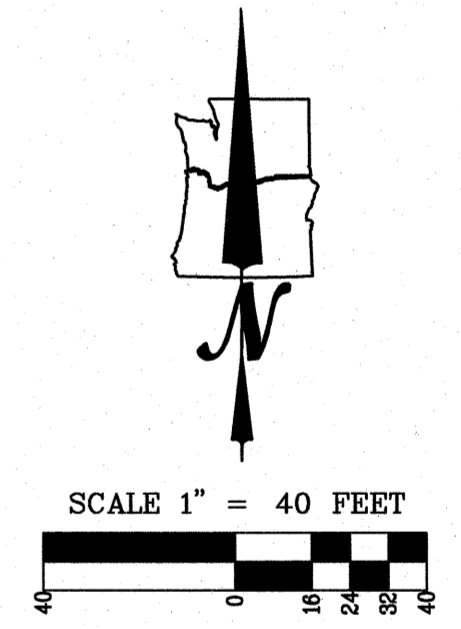
PREPARED FOR

JT ROTH CONSTRUCTION
12600 SW 72ND AVENUE, SUITE 200
PORTLAND, OREGON 97223



SEE SHEET 3

SEE SHEET 2



CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	CHORD
C4	160.88'	100.00'	92°10'31"	N44°22'08"W 144.08'
LOT 20	22.22'	126.00'	10°06'11"	N85°24'18"W 22.19'
LOT 21	41.59'	126.00'	18°54'40"	N63°45'38"W 41.40'
LOT 22	41.22'	126.00'	18°44'42"	N44°55'57"W 41.04'
LOT 23	40.80'	126.00'	18°33'06"	N26°17'03"W 40.62'
LOT 24	41.18'	126.00'	18°43'37"	N07°38'41"W 41.00'
LOT 26	119.05'	74.00'	92°10'31"	N44°22'08"W 106.62'
TRACT C	15.70'	126.00'	7°08'15"	N76°47'05"W 15.69'

REGISTERED
PROFESSIONAL
LAND SURVEYOR

Clinton H. Stubbs, Jr.
OREGON
JANUARY 15, 2002
CLINTON H. STUBBS, JR.
55469LS
RENEWS: 06/30/24

JOB NAME:	JT ROTH MOSER
JOB NUMBER:	2400
DRAWN BY:	BJA
CHECKED BY:	CHS
DRAWING NO:	2400 PLAT

BOUNDARY TOPOGRAPHIC CONSTRUCTION CADASTRAL

NORTHWEST

1815 NW 169th PLACE, SUITE 2090
BEAVERTON, OR 97006
PHONE: 503-848-2127 FAX: 503-848-2179
www.nwsrvy.com

SURVEYING, Inc.

MOSER PASS AT DENALI

RECORDED AS DOCUMENT NO. REVIEW COPY

SHEET 5 OF 5

SURVEYOR'S CERTIFICATE

I, CLINTON H. STUBBS, JR., HEREBY CERTIFY THAT I HAVE CORRECTLY SURVEYED AND MARKED WITH PROPER MONUMENTS, THE LANDS REPRESENTED ON THE ATTACHED PLAT OF "MOSER PASS AT DENALI", LOCATED IN THE NORTHWEST ONE-QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 1 WEST, WILLAMETTE MERIDIAN, CITY OF SHERWOOD, WASHINGTON COUNTY, OREGON, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE INITIAL POINT, BEING MARKED BY A 5/8 INCH IRON ROD WITH A 1-1/2" ALUMINUM CAP STAMPED "R. BANCROFT L.S.1124" LOCATED AT THE NORTHEAST CORNER OF TRACT 'C' OF "DENALI SUMMIT"; THENCE ALONG THE NORTHERLY BOUNDARY OF "DENALI SUMMIT" SOUTH 89°28'52" WEST 580.35 FEET TO THE NORTHWEST CORNER OF LOT 1 THEREOF, SAID POINT BEING AN ANGLE POINT IN THE NORTHERLY BOUNDARY OF "DENALI SUMMIT"; THENCE CONTINUING ALONG THE NORTHERLY BOUNDARY OF "DENALI SUMMIT", SOUTH 89°32'49" WEST 697.18 FEET TO THE NORTHWEST CORNER OF "DENALI SUMMIT", SAID POINT BEING ON THE EASTERLY RIGHT-OF-WAY LINE OF SW MURDOCK STREET (30.00 FEET EASTERLY FROM THE CENTERLINE THEREOF, WHEN MEASURED AT RIGHT ANGLES); THENCE 71.96 FEET ALONG THE EASTERLY RIGHT-OF-WAY OF SW MURDOCK STREET ALONG THE ARC OF A NON-TANGENT CIRCULAR CURVE TO THE RIGHT HAVING A RADIUS OF 447.46 FEET, A DELTA ANGLE OF 91°2'52", AND A LONG CHORD OF N05°19'36"W 71.89 FEET TO A POINT OF TANGENCY ON SAID EASTERLY RIGHT-OF-WAY LINE; THENCE CONTINUING ALONG THE EASTERLY RIGHT-OF-WAY LINE OF SAID SW MURDOCK STREET, NORTH 00°43'10" WEST 523.44 FEET TO THE SOUTHWEST CORNER OF "FAIROAK"; THENCE ALONG THE SOUTHERLY BOUNDARY OF "FAIROAK" THE FOLLOWING EIGHT CALLS, SOUTH 66°21'45" EAST 122.27 FEET; THENCE SOUTH 78°08'15" EAST 129.56 FEET; THENCE SOUTH 66°42'20" EAST 441.50 FEET; THENCE NORTH 71°20'08" EAST 272.54 FEET; THENCE NORTH 87°08'51" EAST 224.93 FEET; THENCE SOUTH 41°00'06" EAST 104.47 FEET; THENCE SOUTH 10°00'10" EAST 65.03 FEET; THENCE SOUTH 16°07'48" EAST 301.34 FEET TO THE INITIAL POINT.

SAID DESCRIBED LAND CONTAINS 12.411 ACRES, MORE OR LESS.

LOCATED IN THE NW 1/4 OF SECTION 33,
TOWNSHIP 2 SOUTH, RANGE 1 WEST, W.M.,
CITY OF SHERWOOD, WASHINGTON COUNTY, OREGON
DATED: NOVEMBER 26, 2023

PREPARED FOR

JT ROTH CONSTRUCTION
12600 SW 72ND AVENUE, SUITE 200
PORTLAND, OREGON 97223

PLAT NOTES

- 1) THIS PLAT IS SUBJECT TO CONDITIONS OF APPROVAL PER CITY OF SHERWOOD CASE FILE NO. LU 2022-020 SUB/PUD.
- 2) LOTS 5 AND 6 ARE SUBJECT TO A 15.00 FOOT WIDE PUBLIC PEDESTRIAN ACCESS EASEMENT AND A 15.00 FOOT WIDE SANITARY SEWER EASEMENT TO THE CITY OF SHERWOOD, AS SHOWN.
- 3) LOTS 6 AND 7 ARE SUBJECT TO A 15.00 FOOT WIDE STORM SEWER EASEMENT TO THE CITY OF SHERWOOD, AS SHOWN.
- 4) TRACTS 'A', 'C', 'D' AND 'E' ARE OPEN SPACE TRACTS TO BENEFIT ALL THE LOTS IN THIS PLAT.
- 5) TRACT 'B' IS A WATER QUALITY TRACT AND IS SUBJECT TO A STORM SEWER, SURFACE WATER, DRAINAGE AND DETENTION EASEMENT TO THE CITY OF SHERWOOD OVER ITS ENTIRETY.

CITY OF SHERWOOD APPROVALS

APPROVED THIS ____ DAY OF _____, 2024
CITY OF SHERWOOD, COMMUNITY DEVELOPEMENT DIRECTOR

BY: _____

WASHINGTON COUNTY APPROVALS

APPROVED THIS ____ DAY OF _____, 2024
WASHINGTON COUNTY SURVEYOR

BY: _____

APPROVED THIS ____ DAY OF _____, 2024
WASHINGTON COUNTY BOARD OF COMMISSIONERS

BY: _____

ALL TAXES, FEES, ASSESSMENTS OR OTHER CHARGES AS PROVIDED BY ORS 92.095 HAVE BEEN PAID AS OF THIS ____ DAY OF _____, 2024

DIRECTOR OF ASSESSMENT AND TAXATION
(WASHINGTON COUNTY ASSESSOR)

BY: _____
DEPUTY

ATTEST THIS ____ DAY OF _____, 2024
DIRECTOR OF ASSESSMENT AND TAXATION
EX-OFFICIO COUNTY CLERK

BY: _____
DEPUTY

STATE OF OREGON)
) S.S.
COUNTY OF WASHINGTON)

I DO HEREBY CERTIFY THAT THIS SUBDIVISION PLAT WAS RECEIVED FOR RECORD ON THIS ____ DAY OF _____, 2024 AT ____ O'CLOCK ____ M, AND RECORDED IN THE COUNTY CLERK RECORDS.

DEPUTY COUNTY CLERK

DECLARATION

KNOW ALL PEOPLE BY THESE PRESENTS THAT THE J. T. ROTH CONSTRUCTION INC. IS THE OWNER OF THE LAND REPRESENTED ON THE ATTACHED PLAT OF MOSER AT DENALI PASS AND MORE PARTICULARLY DESCRIBED IN THE ACCOMPANYING SURVEYOR'S CERTIFICATE, AND HAS CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS AND TRACTS AS SHOWN IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 92 OF OREGON REVISED STATUTES, AND DOES HEREBY GRANT ALL EASEMENTS SET FORTH FOR THE USES STATED AND AS INDICATED HEREON.

BY _____
THERESA A. ROTH, PRESIDENT OF J. T. ROTH CONSTRUCTION INC, AN OREGON CORPORATION

ACKNOWLEDGMENT

STATE OF OREGON)
) S.S.
COUNTY OF _____)

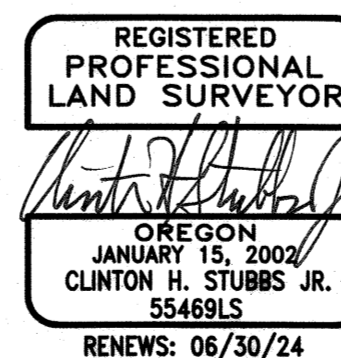
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON _____, 2024, BY THERESA A. ROTH, AS PRESIDENT OF J. T. ROTH CONSTRUCTION INC., AN OREGON CORPORATION.

NOTARY SIGNATURE _____

NOTARY PUBLIC-OREGON _____ (PRINT NAME)

COMMISSION NO. _____

MY COMMISSION EXPIRES _____



JOB NAME:	JT ROTH MOSER
JOB NUMBER:	2400
DRAWN BY:	BJA
CHECKED BY:	CHS
DRAWING NO:	2400 PLAT

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