



Pre-Application Conference Notes

File # PAC 2022-002 Murdock Rd. Partition

Meeting Date – March 31, 2022

Conference Call via Microsoft Teams

Staff Contact - Eric Rutledge

rutledgee@sherwoodoregon.gov

503-625-4242

TYPE II LAND PARTITION & TYPE II TRANSPORTATION FACILITY MODIFICATION

The pre-application conference and notes cannot cover all code requirements and aspects that apply to the proposal. Failure of staff to provide information required by the code does not constitute a waiver of the applicable standards or requirements. It is recommended that a prospective applicant obtain and read the Zoning and Community Development Code and/or ask any questions of City staff relative to code requirements prior to submitting an application.

PROJECT SUMMARY

Proposed Project Name:	Murdock Road 3-Lot Partition
Proposal Description:	The applicant is proposing a 3-lot partition of a 3.01-acre site zoned Very Low Density Residential (VLDR). The subject site is identified as Tax Lot 2S133CB00600 and is located on the east side of SW Murdock Rd. between SW Sunset Blvd. and SW Ironwood Ln. The site has approximately 265 ft. of frontage on SW Murdock Rd. The site is undeveloped and slopes down from east to west. A steep slope is located along the west boundary of the site adjacent to the roadway. Mature trees are spread throughout the site.
Applicant:	Emerio Design LLC Attn: Steve Miller 6445 SW Fallbrook Place #100 Beaverton, OR 97008
Owner:	J.T. Roth Construction 12600 SW 72 nd Ave, Suite 200 Portland, OR 97223
Site Address:	No site address
Tax Lot ID:	2S133CB00600
Zoning:	Very Low Density Residential

APPLICATION TYPE, TIMELINE & FEES

Full details on application type, noticing, and public hearing procedures listed under 16.72

Application Type and Hearing Authority

Type II Partition

- The Type II Decision Authority is the Planning Director and the Appeal Authority is the Planning Commission.

Estimated Approval Timeline

- 30 day completeness review
- 30 days for Notice of Decision
- 14 day appeal period for all land use decisions

Land Use Fees

Fees as of July 1, 2021. Please confirm fees with staff prior to submittal as fee schedule is revised annually. Engineering plan review, building permit, and SDC fees separate.

- | | |
|--|------------|
| • Minor Land Partition | \$2,143.36 |
| • Final Plat (partition) | \$605.07 |
| • Publication and Distribution of Type II Notice | \$284 |

APPLICATION SUBMITTAL REQUIREMENTS

See attached land use form and minor land partition checklist. A neighborhood meeting is NOT required prior to submitting a Type II application. **The City now requires a Tualatin Valley Fire & Rescue SPL as a completeness item**

Note:

Applicants are encouraged to submit TWO full and reduced size paper copies and one electronic copy for completeness review. The full number of paper copies (15) and one updated electronic copy will be required after the application is deemed complete.

SUMMARY OF APPLICABLE CODE CRITERIA (SZCDC Title 16) – THESE CRITERIA FOR SITE PLAN REVIEW ONLY. PLEASE SEE SEPARATE ANNEXATION REQUIREMENTS DESCRIBED BELOW.

*These sections **must** be addressed in the narrative submitted with the land use application*

Division II. - LAND USE AND DEVELOPMENT		Division VI. - PUBLIC INFRASTRUCTURE	
Chapter 16.12 - RESIDENTIAL LAND USE DISTRICTS	X	Chapter 16.104 - GENERAL PROVISIONS	
Chapter 16.22 - COMMERCIAL LAND USE DISTRICTS		Chapter 16.106 - TRANSPORTATION FACILITIES	X
Chapter 16.31 - INDUSTRIAL LAND USE DISTRICTS		Chapter 16.108 - IMPROVEMENT PLAN REVIEW	X
Chapter 16.36 - INSTITUTIONAL AND PUBLIC (IP) LAND USE DISTRICT		Chapter 16.110 - SANITARY SEWERS	X
Chapter 16.38 - SPECIAL USES		Chapter 16.112 - WATER SUPPLY	X
Chapter 16.40 - PLANNED UNIT DEVELOPMENT (PUD)		Chapter 16.114 - STORM WATER	X
Chapter 16.42 - HOME OCCUPATIONS		Chapter 16.116 - FIRE PROTECTION	X
Chapter 16.44 - TOWNHOMES		Chapter 16.118 - PUBLIC AND PRIVATE UTILITIES	X
Chapter 16.46 - MANUFACTURED HOMES			
Chapter 16.48 - NON-CONFORMING USES		Division VII. - LAND DIVISIONS, SUBDIVISIONS, PARTITIONS, LOT LINE ADJUSTMENTS AND MODIFICATIONS	
Chapter 16.50 - ACCESSORY STRUCTURES, ARCHITECTURAL FEATURES AND DECKS	X	Chapter 16.120 - SUBDIVISIONS	
Chapter 16.52 - ACCESSORY DWELLING UNITS		Chapter 16.122 - LAND PARTITIONS	X
Chapter 16.54 - ADULT ENTERTAINMENT		Chapter 16.124 - PROPERTY LINE ADJUSTMENTS AND LOT CONSOLIDATIONS	
Chapter 16.56 - OTHER LAND USE ACTIONS		Chapter 16.126 - REPLATTING, LOT CONSOLIDATIONS AND VACATION OF PLATS	
Chapter 16.58 - CLEAR VISION AND FENCE STANDARDS	X	Chapter 16.128 - LAND DIVISION DESIGN STANDARDS	X
Chapter 16.60 - YARD REQUIREMENTS	X		
Chapter 16.62 - CHIMNEYS, SPIRES, ANTENNAS, AND SIMILAR STRUCTURES		Division VIII. - ENVIRONMENTAL RESOURCES	
Chapter 16.64 - DUAL USE OF REQUIRED SPACE		Chapter 16.134 - FLOODPLAIN (FP) OVERLAY	
Chapter 16.66 - TRANSPORTATION FACILITIES AND IMPROVEMENTS		Chapter 16.136 - PROCEDURES	
Chapter 16.68 - INFILL DEVELOPMENT STANDARDS		Chapter 16.138 - MINERAL RESOURCES	
		Chapter 16.140 - SOLID WASTE	
Division III. - ADMINISTRATIVE PROCEDURES		Chapter 16.142 - PARKS, TREES AND OPEN SPACES	X
Chapter 16.70 - GENERAL PROVISIONS		Chapter 16.144 - WETLAND, HABITAT AND NATURAL AREAS	X
Chapter 16.72 - PROCEDURES FOR PROCESSING DEVELOPMENT PERMITS	X	Chapter 16.146 - NOISE	
Chapter 16.76 - APPEALS		Chapter 16.148 - VIBRATIONS	
		Chapter 16.150 - AIR QUALITY	
Division IV. - PLANNING PROCEDURES		Chapter 16.152 - ODORS	
Chapter 16.80 - PLAN AMENDMENTS		Chapter 16.154 - HEAT AND GLARE	
Chapter 16.82 - CONDITIONAL USES		Chapter 16.156 - ENERGY CONSERVATION	X
Chapter 16.84 - VARIANCES			
Chapter 16.86 - TEMPORARY USES		Division IX. - HISTORIC RESOURCES	
Chapter 16.88 - INTERPRETATION OF SIMILAR USES		Chapter 16.160 - SPECIAL RESOURCE ZONES	
		Chapter 16.162 - OLD TOWN (OT) OVERLAY DISTRICT	
Division V. - COMMUNITY DESIGN		Chapter 16.164 - LANDMARK REVIEW	
Chapter 16.90 - SITE PLANNING		Chapter 16.166 - LANDMARK DESIGNATION	
Chapter 16.92 - LANDSCAPING		Chapter 16.168 - LANDMARK ALTERATION 16.168.010 - PROCEDURES	
Chapter 16.94 - OFF-STREET PARKING AND LOADING	X	16.168.020 - ALTERATION STANDARDS	
Chapter 16.96 - ON-SITE CIRCULATION		16.168.030 - VARIANCES TO ALTERATION STANDARDS	
Chapter 16.98 - ON-SITE STORAGE			
Chapter 16.100 - PERMANENT SIGNS			

SUMMARY OF KEY CONSIDERATIONS AND ISSUES

The following comments are based on staff's review of the information provided on the pre-application form and accompanying attachments.

Summary of Required Land Use Permits

- Type II Minor Land Partition
- Type II Transportation Facility Modification
 - Direct access to arterial
 - Driveway intersection access spacing for arterial, if required based on final spacing
- Type I Final Plat

Zoning & Proposed Land Uses

- The property is zoned Very Low Density Residential (VLDR) with a standard density of 0.7 to 1 unit per acre. A PUD is not proposed at this time.
- Density should be calculated based on the following definition:
 - *SZCDC § 16.10.020 "Density": The intensity of residential land uses per acre, stated as the number of dwelling units per net buildable acre. Net buildable acre means an area measuring 43,560 square feet after excluding present and future rights-of-way and environmentally constrained areas.*
 - Staff calculates proposed density as follows:

3 lots / 3.01 AC = 0.99 units / acres

Development Standards

Development Standard (single-family detached)	VLDR-PUD
Lot area	40,000 SF
Minimum lot width at front property	25 ft.
Minimum lot width at building line	None
Lot depth	None
Max Height	30 ft. or 2 stories
Front yard setback	20
Face of garage setback	20
Interior side yard setback	5
Corner lot street side setback	20
Rear yard setback	20

- The preliminary plat does not meet the minimum lot width at front property line of 25 ft. Each lot is required to have 25 ft. of frontage on SW Murdock Rd.

- The proposed lot sizes are over 40,000 SF and meet the minimum requirement.

Residential Design Standards

- The City adopted new residential design standards in December 2021. The new standards are attached to the final pre-app packet. Each new residence will be required to submit a Residential Design Checklist with the building permit submittal. As an alternative the applicant can apply for a discretionary Type IV Residential Design Review.

Access

- A Type II Transportation Facility Modification pursuant to 16.106.020(E) is required for all transportation related development code standards not met including:
 - Direct access to an arterial for single family lots
 - Minimum access spacing for driveways along a Minor Arterial is 300 ft. Spacing applies between driveways and between public street intersections and driveways.
- The maximum number of single-family lots that can be served by a private street (driveway) is two.
- In order to obtain approval of a 3-lot partition, staff recommends a design that includes a new, shared driveway at the north end of the site with the third lot taking access from the existing shared driveway.
 - Each lot is required to have 25 ft. of frontage on a public street. A shared driveway and access easement over two of the “flag pole” stems can be provided.
 - Note – staff is confirming with legal counsel that the existing shared driveway can accommodate an additional lot based on the previous partition and access approvals.
- Engineering Design Modification is required for all access standards in the Engineering Design Manual that are not met.
- New driveways are subject to the private road standards in RD-56 of the Engineering Design Manual (2019).

Land Division Standards

- All lots in a subdivision shall abut a public street (SZCDC § 16.128.030(B)).
- Cut slopes not to exceed 1.5 horizontal to 1 ft. vertical and fill slopes not to exceed 2 ft. horizontal to 1 ft. vertical, unless exception granted
- Complete land division standards are located under SZCDC Division VII.

Trees and Landscaping

- SW Murdock Rd. is an arterial street and requires a 15 ft. wide landscaped visual corridor (SZCDC § 16.142.040).
- A 40% tree canopy over the net development site is required for single-family residential development. Preservation of existing native trees in good health can be used to achieve

the required canopy. The canopy of preserved trees can be counted twice in obtaining the 40% minimum (SZCDC § 16.142.070(E)).

- All trees on the site shall be inventories and described per SZCDC § 16.142.070.
- Street trees are required along SW Murdock Rd. unless a fee-in-lieu is provided for frontage improvements
- No minimum open space requirement for partitions

Environmental

- The property is located in a Significant Natural Area in the City's Natural Resource Map. Trees and natural features should be protected to the maximum extent feasible given the 3-lot partition and required soil contamination clean up.
- Prior to issuance of building permits, a No Further Action confirmation letter from DEQ is required.

Transportation

- SW Murdock Rd. is an arterial street under City jurisdiction. The existing half-street ROW width is 40 ft. and no additional dedication is required.
- See access comments above.
- Please refer to the City of Sherwood Engineering comments for full transportation comments.

Water, Storm Water, and Other Public Utilities

Please refer to the City of Sherwood Engineering comments.

AGENCY COMMENTS

City of Sherwood Engineering Comments

Please refer to the engineering comments from Craig Christensen, PE. Contact info listed below.

City of Sherwood Building Division

Please contact Scott McKie, Building Official, with questions at 503-625-4217 or mckies@sherwoodoregon.gov

Tualatin Valley Fire & Rescue Comments

Please contact Ty Darby, Deputy Fire Marshall, with questions at 503-259-1409 or ty.darby@tvfr.com

APPLICANT QUESTIONS

- **Stormwater - Can stormwater be discharged to the pond at the NW corner of SW Sunset Blvd. and SW Murdock Rd.?**

See City of Sherwood Engineering Comments

- **Early Grading Permit - The subject property was part of the Ken Foster Farm" site and was used for farming. It is known that portions of the larger Ken Foster Farm site had been used for discarding animal hides and carcasses that were remnants from the local tanner operation in the city. As such, the subject property has some contaminated soils. Is it possible to get an early grading permit to remove the contaminated soils while the City is performing the land use review?**

Staff recommends applying for the Type II Minor Land Partition with a concurrent review of grading. This would avoid two back-to-back Type II applications. If this approach is not feasible, please contact staff and the question will be raised to the Planning Manager or Community Development Director.

- **Confirm density with proposed layout - Based on the submitted layout, does the proposed partition conform to the goals and objectives of the VLDR zone for density?**

Yes, the calculated density is 0.99 units / acre and the minimum 40,000 SF lot area is also met.

- **When partition plat 1991-076 was recorded to create the subject property in its current configuration, a 10-foot right-of-way dedication was provided with the recording of the plat (see copy of partition plat submitted with application). With the 10 foot right-of-way dedication there is now 40-feet of right-of-way from the centerline along the site's SW Murdock Rd. frontage. Will an additional right-of-way dedication be required for SW Murdock Rd. as part of the proposed partition? If so, how much?**

No additional dedication is required. See City of Sherwood Engineering Comments

Contact Information and Helpful Links

PLANNING DEPARTMENT INFORMATION

Colleen Resch , Planning Technician	reschc@sherwoodoregon.gov / 503-625-4223
Eric Rutledge , Associate Planner	rutledgee@sherwoodoregon.gov / 503-625-4242
Joy Chang , Senior Planner	changj@sherwoodoregon.gov / 503-625-4214

Current Project Page:

https://www.sherwoodoregon.gov/projects?tid=All&field_project_status_value=All&field_project_type_tid=93&keys=&=Apply

Planning Applications and Checklists:

<https://www.sherwoodoregon.gov/planning/page/land-use-applications-and-checklists>

ENGINEERING DEPARTMENT INFORMATION

Jo Guediri , Engineering Program Associate	guedirij@sherwoodoregon.gov / 503-925-2309
Craig Christensen , Civil Engineer P.E.	christensenc@sherwoodoregon.gov / 503-925-2301
Bob Galati , City Engineer P.E.	galatib@sherwoodoregon.gov / 503-925-2303

Engineering Department Home Page: <https://www.sherwoodoregon.gov/engineering>

Permit Process Packet: www.sherwoodoregon.gov/engineering/page/eng-permit-process-packet-forms

System Development Charges (SDC) Information:

<https://www.sherwoodoregon.gov/engineering/page/system-development-charges-sdc>

BUILDING DEPARTMENT INFORMATION

Karen Abdill , Lead Building Permit Specialist	abdillk@sherwoodoreong.gov / 503-625-4226
Scott McKie , Building Official	mckies@sherwoodoregon.gov / 503-625-4217



Building Department Home Page: <https://www.sherwoodoregon.gov/building>

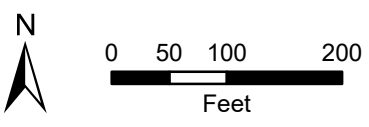
Building Permit Forms: <https://www.sherwoodoregon.gov/building/page/permit-forms>

PAC 2022-002
Murdock Rd. PAC



Legend

-  Subject Site
-  Tax Lots (Feb 2022)









Date: 3/31/2022 Created by: Eric Rutledge

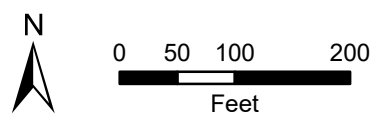
Map data provided by METRO and the City of Sherwood. The City of Sherwood's infrastructure records, drawings, and other documents have been gathered over many years, using many different formats and standards. While the data provided is generally believed to be accurate, occasionally it proves to be incorrect; thus its accuracy is not guaranteed.

**PAC 2022-002
Murdock Rd. PAC**



Legend

-  Subject Site
-  Tax Lots (Feb 2022)
-  Very Low Density Residential
-  Very Low Density Residential PUD
-  Low Density Residential
-  Low Density Residential PUD



Date: 3/31/2022 Created by: Eric Rutledge

Map data provided by METRO and the City of Sherwood. The City of Sherwood's infrastructure records, drawings, and other documents have been gathered over many years, using many different formats and standards. While the data provided is generally believed to be accurate, occasionally it proves to be incorrect; thus its accuracy is not guaranteed.



Case No. _____
 Fee _____
 Receipt _____
 Date _____
 Application Type _____

Application for Land Use Action Check All That Apply

- | | |
|--|--|
| <input type="checkbox"/> Annexation
<input type="checkbox"/> Conditional Use

<input type="checkbox"/> Plan Amendment / Map Amendment
<input type="checkbox"/> Site Plan Type II -- Fast Track*

<input type="checkbox"/> Site Plan Type II -- Design Upgraded*

<input type="checkbox"/> Site Plan Type III 15,000 – 40,000 Sq ft. Building + Parking
<input type="checkbox"/> Site Plan Type IV – 40,000+ Sq ft or in Old Town Overlay | <input type="checkbox"/> Modification / Major / Minor
<input type="checkbox"/> Medical / Recreational Marijuana Site Plan Review
<input type="checkbox"/> Planned Unit Development
<input type="checkbox"/> Partition (Subdivision no more than 3 lot)
<input type="checkbox"/> Subdivision Proposed # of Lots

<input type="checkbox"/> Lot Line Adjustment

<input type="checkbox"/> Variance |
|--|--|

***Fast-track** -- Site Plan review, defined as those site plan applications which propose less than 15,000 square feet of floor area, parking or seating capacity of public, institutional, commercial or industrial use permitted by the underlying zone, or up to a total of 20% increase in floor area, parking or seating capacity for a land use or structure subject to a Conditional Use Permit, except as follows: auditoriums, theaters, stadiums, and those applications subject to Section SZCDC16.72.010.A.4.

***Design Upgraded** -- Site Plan review, defined as those site plan applications which propose between 15,001 and 40,000 square feet of floor area, parking or seating capacity and which propose a minimum of eighty percent (80%) of the total possible points of design criteria in the "Commercial Design Review Matrix" found in Section SZCDC 16.90.020.D.6.d.

Publication Fee: _____ See City of Sherwood current Fee Schedule, which includes the "Publication/Distribution of Notice" fee, at www.sherwoodoregon.gov. Click on Government/Finance/Fee Schedule.

By submitting this form the Owner, or Owner's authorized agent/ representative, acknowledges and agrees that City of Sherwood employees, and appointed or elected City Officials, have authority to enter the project site at all reasonable times for the purpose of inspecting project site conditions and gathering information related specifically to the project site.

Owner/Applicant Information

Applicant: _____ Phone: _____
 Applicant Address: _____ Email: _____
 Owner: _____ Phone: _____
 Owner Address: _____ Email: _____
 Contact for Additional Information: _____

Property Information

Street Location: _____
 Tax Lot and Map No: _____
 Size of Property(ies) _____

Proposed Action:

Purpose and Description of Proposed Action:

Proposed Use: _____

Proposed No. of Phases (one year each): _____

Authorizing Signatures:

I am the owner/authorized agent of the owner empowered to submit this application and affirm that the information submitted with this application is correct to the best of my knowledge.

I further acknowledge that I have read the applicable standards for review of the land use action I am requesting and understand that I must demonstrate to the City review authorities compliance with these standards prior to approval of my request.

Applicant's Signature

Date

Owner's Signature

Date

THE FOLLOWING MATERIALS ARE REQUIRED TO BE SUBMITTED WITH YOUR APPLICATION, OR IT WILL NOT BE ACCEPTED AT THE COUNTER

Once taken at the counter, the City has up to 30 days to review the materials submitted to determine if we have everything we need to complete the review. Applicant can verify submittal includes specific materials necessary for the application per checklist.

- THREE (3) Copies of Application Form:** Completely filled out and signed by the property owner and/or person with authority to make decisions on the property
- Copy of Deed:** Verifying ownership, easements, etc.
- THREE (3) Folded Sets of Plans**
- THREE (3) Copies* of Narrative:** Addressing Application Criteria
- SERVICE PROVIDER LETTERS**
 - 1) **Clean Water Services:** <https://www.cleanwaterservices.org/permits-development/step-by-step-process/environmental-review/>
 - 2) **Tualatin Valley Fire & Rescue:** <https://www.tvfr.com/399/Service-Provider-Permit>
- Fee** (Along with calculations utilized to determine fee if applicable)
- Neighborhood Meeting Verification:** including affidavit, sign-in sheet and meeting summary (required for Type III, IV and V projects)

* **Note:** Upon initial submittal, prior to completeness, applicants are encouraged to submit only 3 copies for review. Once the application is deemed completed (FILL IN)



**APPLICATION MATERIALS
REQUIRED FOR**

**MINOR
LAND PARTITION**

Submit the following to the City of Sherwood Planning Department, 22560 SW Pine St., Sherwood, OR 97140: (503) 925-2308.

It is strongly suggested that you have a pre-application meeting with the City prior to submitting for a Minor Land Partition. (See *Pre-application Process* form for information.)

- I. **Fees:** See City of Sherwood current Fee Schedule, which includes the “Publication/Distribution of Notice” fee, at www.sherwoodoregon.gov. Click on Government/Planning/Planning Fees.

Note: The above fees are required at the time you submit for a minor land partition. Additional fees will be charged for building permit, system development charges, impact fees and other fees applicable to the development. These fees will be charged when you make application for building permit. Building permit application will not be accepted until the final plat is recorded.

- II. **BACKGROUND INFORMATION** (all materials collated and folded (not rolled) to create *ten (10) sets)

*Note that the *final* application must contain ten (10) folded sets of the above, however, upon initial submittal of the application and prior to completeness review, the applicant may submit three (3) complete folded sets with the application in lieu of ten (10), with the understanding that ten (10) complete sets of the application materials will be required before the application is deemed complete and scheduled for review.

- Application Form** – One original and nine (9) copies of a completed **City of Sherwood Application for Land Use Application** form. All owners must sign the application form.
- Tax Map** - Ten (10) copies of the latest Tax Map available from the Washington County Assessor’s Office showing property within at least 300 feet with scale (1"=100' or 1"= 200') north point, date and legend.
- Mailing Labels** – Two (2) sets of mailing labels for property owners within 1,000 feet of the subject site, including a map of the area showing the properties to receive notice. Mailing labels are available from the Washington County Assessors office or a private title insurance company. Ownership records shall be based on the most current available information from the Tax Assessor’s office. *It is the applicant’s responsibility to provide mailing labels that accurately reflect all property owners that reside within 1,000 feet of the subject site.*

- **Vicinity Map** – Ten (10) copies of a vicinity map showing the City limits and the Urban Growth Boundary.
- **Narrative** – Ten (10) copies and **an electronic copy in Microsoft Word Format** of a narrative explaining the proposal in detail and a response to the Required Findings for Minor Land Partition located in Chapter 16 of the Municipal Code/Zoning & Development, Section 16.128. The Municipal Code/Zoning & Development is available online at www.sherwoodoregon.gov. Click on Government/Municipal Code.
- **Electronic Copy** – An electronic copy of the entire application packet. This should include all submittal materials (narrative, vicinity map, mailing labels, site plan, preliminary plat, etc.).

III. **REQUIRED PLANS**

Submit ten (10) sets of the following folded full-size plans and **an electronic copy in PDF format**. Plans must have:

- 1) The proposed name of the development. If a proposed project name is the same as or similar to other existing projects in the City of Sherwood, the applicant may be required to modify the project name.
 - 2) The name, address and phone of the owner, developer, applicant and plan producer.
 - 3) North arrow,
 - 4) Legend,
 - 5) Date plans were prepared and date of any revisions
 - 6) Scale clearly shown. Other than architectural elevations, all plans must be drawn to engineer scale.
 - 7) All dimensions clearly shown.
- **Existing Conditions Plan** - Existing conditions plan drawn to scale showing: property lines and dimensions, existing structures and other improvements such as streets and utilities, existing vegetation including trees, any floodplains or wetlands and any easements on the property. The existing conditions plan shall also include the slope of the site at 5-foot contour intervals
 - **Preliminary Development Plans**- Plans must be sufficient for the Hearing Authority to determine compliance with applicable standards. The following information is typically needed for adequate review:
 1. The subject parcel(s), its dimensions and area and the buildable area of each lot.
 2. The location and dimensions of proposed development, including the following:
 - Transportation
 - a. Public and private streets with proposed frontage improvements including curb, gutters, sidewalks, planter strip, street lighting, distances to street centerline, pavement width, right-of-way width, bike lanes and driveway drops.
 - b. Public and private access easements, width and location.
 - c. General circulation plan showing location, widths and direction of existing streets, bicycle and pedestrian ways and transit routes and facilities.
 - d. Show the location and distance to neighboring driveways and the width and locations of driveways located across the street.

- e. The location and size of accesses, sight distance and any fixed objects on collectors or arterial streets.
- f. Emergency accesses.

Grading and Erosion Control

- g. Indicate the proposed grade at two (2)-foot contour intervals.
- h. Indicate the proposed erosion control measures to CWS standards (refer to CWS R&O 07-20).
- i. Show areas of cut and fill with areas of structural fill.
- j. Show the location of all retaining walls, the type of material to be used, the height of the retaining wall from the bottom of the footing to the top of the wall and the exposed height of the wall.

Utilities

- k. Utilities must be shown after proposed grade with 2-foot contour intervals.
- l. Map location, purpose, dimensions and ownership of easements.
- m. Fire hydrant locations and fire flows.
- n. Water, sewer and stormwater line locations, types and sizes.
- o. Clearly indicate the private and public portions of the system.
- p. Above-ground utilities and manhole locations

Preliminary Stormwater Plan

- q. Show location, size and slope of water quality facility.
- r. Preliminary calculations justifying size of facility.
- s. The total square footage of the new and existing impervious area.
- t. Indicate a stormwater facility to CWS standards (CWS R&O 07-20).

Sensitive Areas

- u. Show any and all streams, ponds, wetlands and drainage ways.
- v. Indicate the vegetative corridor for sensitive areas to CWS standards. (CWS R&O 07-20).
- w. Indicate measures to avoid environmental degradation that meet CWS, DSL and Army Corp requirements.
- x. Flood elevation.
- y. Wetland delineation and buffering proposed.

Land Use

- z. Existing trees proposed to remain and trees to be removed and the drip-lines of trees proposed to remain.
- aa. Street tree location, size and type. (refer to Section 8.304.06 of the Community Development Code).
- bb. Structures proposed to remain and structures proposed to be built with their dimensions and the distances to property lines.
- cc. Location, size and height of proposed free-standing signs.
- dd. Location, height and type of fencing and walls.
- ee. For each lot, indicate the building envelope.

- Reduced - Proposed Development Plans** – One (1) reduced copy of the Proposed Development Plans on 8 1/2” by 11” sheets and one (1) reduced copy on 11” by 17” sheets.
- Lighting Plan** – Photometric lighting plan indicating foot candle power on and along the perimeter of the site. Proposed locations, height and size of lights. (If outdoor lighting is proposed).
- Surrounding Land Uses** – Existing land use including nature, size and location of existing structures within 300 feet.

IV. DOCUMENTS REQUIRED

- Title Report** – Two (2) copies of a current preliminary title report available from a private title insurance company.
- CWS Service Provider Letter** – Four (4) copies of the CWS service provider letter if applicable. Note: The Clean Water Services (CWS) requires a pre-screening to determine if water quality sensitive areas exist on the property. If these sensitive areas exist, a Site Assessment and Service Provider Letter are required prior to submitting for a land partition or undertaking any development. This application will not be accepted without a completed Pre-Screening Form and if required a Service Provider Letter. Please contact CWS at (503) 846-3795.

V. **ADDITIONAL DOCUMENTS THAT MAY BE REQUIRED**

- Army Corps and DSL wetland applications and/or permits** – Four (4) copies of required Divisions of State Lands and/or Army Corp of Engineers permits and/or permit applications if applicable.
- Traffic Study** – Four (4) copies of a traffic study (if required by the City Engineer).
- If the proposal is next to a Washington County roadway, the applicant must submit an Access Report (Traffic Study) to Washington County Department of Land Use and Transportation (503) 846-8761. This application will not be accepted until an Access Report (Traffic Study) is submitted to Washington County and the Access Report is deemed complete by the County; or written verification from Washington County that an Access Report is not required is provided.
- Soils Analysis and/or Geotechnical Report** – Four (4) copies completed by a registered Soils Engineer or Geologist including measures to protect natural hazards. (If required by the City Engineer).
- Tree Report** – Two (2) copies of a tree report prepared by an arborist, forester, landscape architect, botanist or other qualified professional. (If trees are on-site).
- Natural Resource Assessment** – If required by Clean Water Services (CWS). The CWS Pre-Screening indicates as to whether this report is required or not.
- Wetland Delineation Study** – if required by Oregon Division of State Lands (DSL) or the Army Corps of Engineers.
- Other Special Studies and/or Reports** – if required by the Planning Director or the City Engineer to address issues identified in the pre-application meeting or during project review.
- Verification of compliance with other agency standards such as CWS, DSL, Army Corps of Engineers, ODOT, PGE, BPA, Washington County.

Tualatin Valley Fire & Rescue



New Construction Fire Code Applications Guide for One- and Two-Family Residential Development

This guide is intended to provide assistance in the application of the fire code in all areas served by Tualatin Valley Fire & Rescue.

North Operating Center

11945 SW 70th Avenue
Tigard, OR 97223
Phone: (503) 649-8577

South Operating Center

8445 SW Elligsen Road
Wilsonville, OR 97070
Phone: (503) 649-8577

AUTHORITY AND SCOPE

Tualatin Valley Fire & Rescue is an exempt jurisdiction and has elected to administer and enforce the Oregon Fire Code under the authority granted to us by ORS 476.030. The current Oregon Fire Code is the 2019 Oregon Fire Code. This is based on the International Fire Code, 2018 Edition, as published and copyrighted by the International Code Council, which has been amended and adopted by the Oregon State Fire Marshal's Office. In order to further the Oregon State Fire Marshal's goal of promoting fire code consistency throughout the state, Tualatin Valley Fire & Rescue enforces the Oregon Fire Code through local adoption (TVF&R Ordinance #2020-01).

Tualatin Valley Fire & Rescue has prepared this guide to provide good faith guidance to building officials, contractors, business owners, the public, and fire marshals on local interpretations and practices that are considered to be in compliance with the Oregon Fire Code. The intent is to clarify aspects of the code that are vague or non-specific by addressing selected issues under normal conditions. This guide does not create or replace code provisions. The reader is cautioned that the guidance detailed in this guide may or may not apply to their specific situation, and that Tualatin Valley Fire & Rescue retains final authority to determine compliance with the adopted code.

LOCAL DEVELOPMENT CODES

Check the local city or county development code to determine public roadway standards.

HELPFUL LINKS:

2019 Oregon Fire Code:

<https://codes.iccsafe.org/content/OFC2019P1>

Oregon Building Code (Oregon Structural Specialty Code):

<https://codes.iccsafe.org/content/OSSC2019P1/to>

Table of Contents

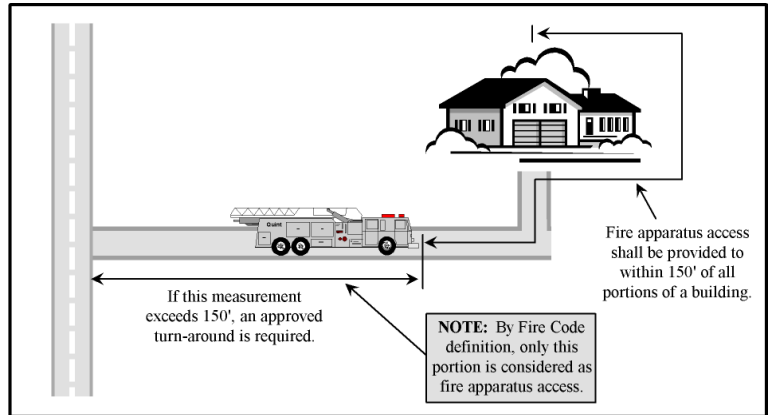
Fire Apparatus Access	5-9
Access Road Distance from Buildings and Facilities	5
Fire Apparatus Access Road Exception for Automatic Sprinkler Protection	6
Fire Apparatus Access Road Width and Vertical Clearance	6
Fire Apparatus Access Roads for Individual One- and Two-Family Dwellings and Accessory Structures	6
Fire Apparatus Access Roads for Agricultural/Equine Exempt Structures.....	6
Fire Apparatus Access Roads for Forest Dwellings	7
Additional Access Roads – One- and Two-Family Residential Developments	7
Multiple Access Roads Separation.....	7
Premises Identification	7
Access During Construction	7
Dead End Roads and Turnarounds.....	7
Turning Radius	8
Turnouts.....	8
Access Road Grade.....	8
Aerial Apparatus Operating Grades	8
Angle of Approach/Grade for Turnarounds	8
Angle of Approach/Grade for Intersections	8
Fire Apparatus Access Roads with Fire Hydrants.....	8
Surface and Load Capacities	8
Bridges.....	8
Gates	9
Traffic Calming Devices.....	9
No Parking	9
No Parking Signs.....	10
Painted Curbs.....	10
Building Access and Fire Service Features	10
Knox Box	10
Firefighting Water Supplies	10
Individual One- and Two-Family Dwellings	10
Rural One- and Two-Family Dwellings	10
Agricultural/Equine Exempt Structures.....	10
Accessory Structures.....	10
Fire Flow Water Availability	10
Water Supply During Construction in Municipal Areas.....	10
Fire Hydrants	11
Fire Hydrant Number and Distribution	11
Fire Hydrant Placement.....	11
Fire Hydrant Distance from an Access Road	11
Fire Hydrants – One- and Two-Family Dwellings and Accessory Structures.....	11
Private Fire Hydrant Identification	11
Reflective Hydrant Markers	11
Physical Protection	11

Clear Space around Fire Hydrants	12
Appendix	12-18
Appendix A Key Boxes – Policy	13
Appendix B Agricultural Building and Equine Facility Exemption – Policy	14
Appendix C No Parking Fire Lane Curb Detail – Policy	15
Appendix D Mountable Curb Detail – Policy	16-17
Appendix E Fire Department Access Box for Override Switch on Powered Access Gates – Policy	18

Fire Apparatus Access

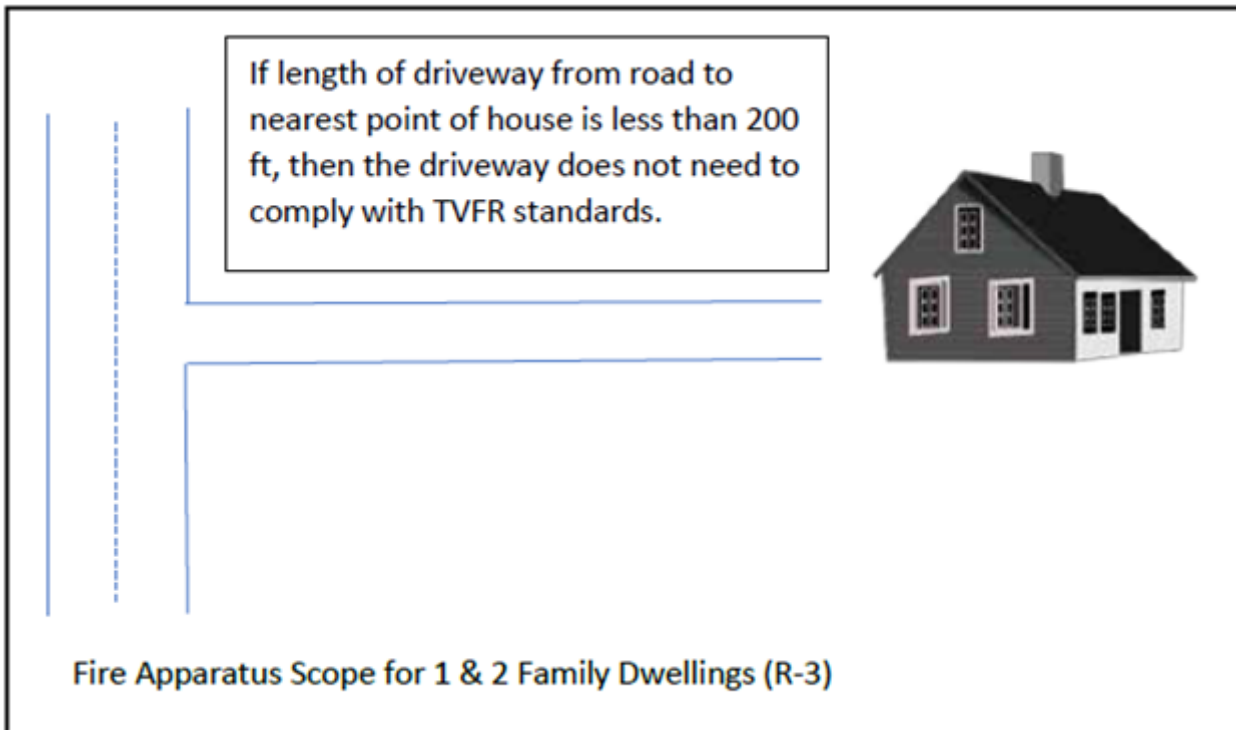
FIRE APPARATUS ACCESS ROAD DISTANCE FROM BUILDINGS AND FACILITIES: Access

roads shall be within 150' of all portions of the exterior wall of the first story of the building as measured by an approved route around the exterior of the building or facility. An approved turnaround is required if the remaining distance to an approved intersecting roadway, as measured along the fire apparatus access road, is greater than 150'. (OFC 503.1.1)

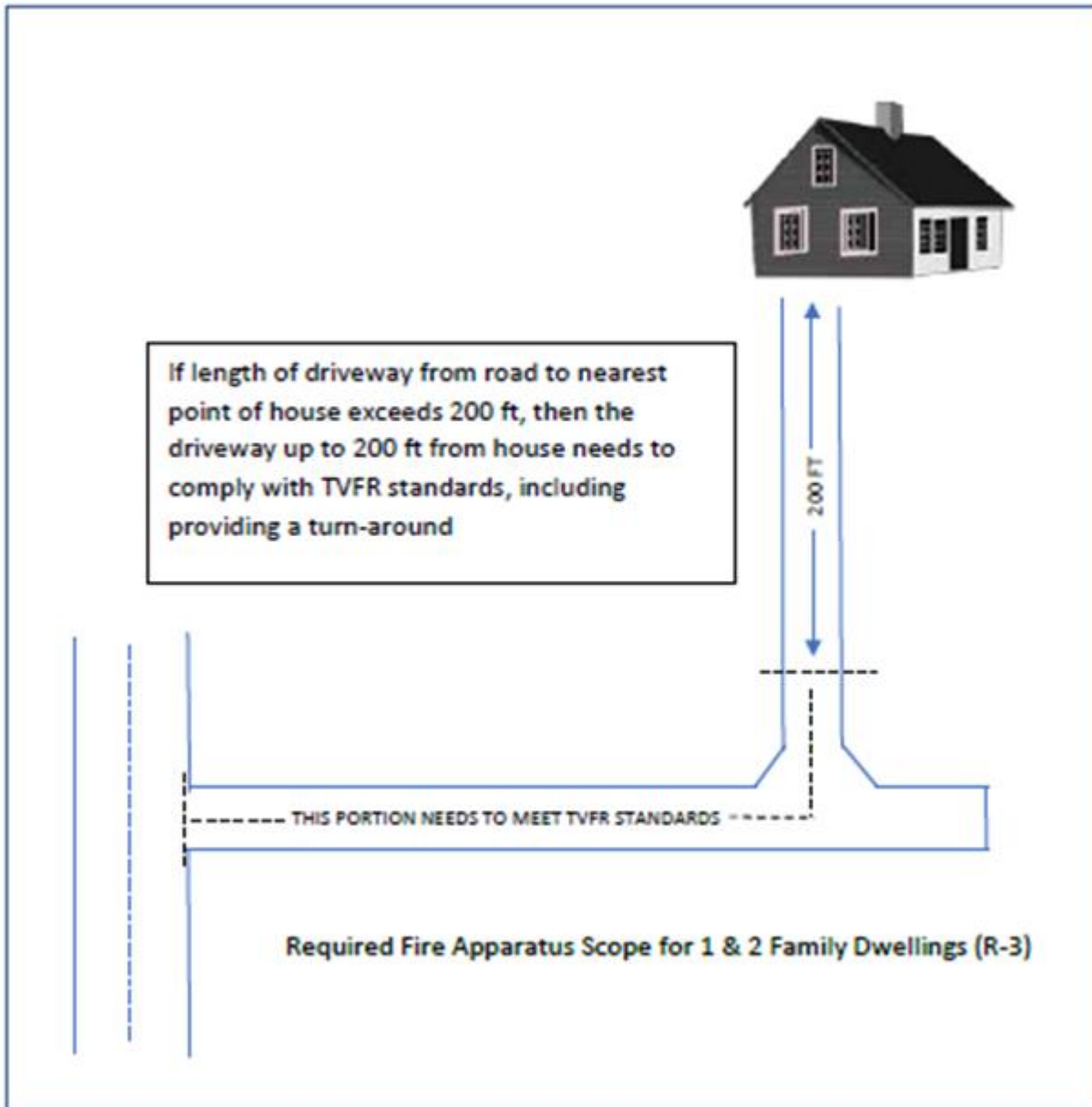


Alternatively, in accordance with OFC 503.1.1 Exception 1.3, you may simply allow distance of 200' to the nearest point on the house. See attached diagram:

The 200' allowance is primarily for determining if any portion of a driveway needs to be reviewed or comply with TVF&R standards. If the nearest portion of a house is less than 200' from the road, then there is no need for TVF&R to review the driveway. TVF&R requirements (width, grade, support, etc.) will not apply to driveways less than 200' to nearest portion of house per the following diagram:



If the driveway exceeds 200', then the 200' allowance is used to determine which portion of the driveway needs to comply. It inherently also means that a turn-around would be required (since turn-around is required at 200' length also). This is similar to the 150' rule, except the 150' rule requires measurement to the furthest portion of the house around an accessible route which often is not known at time of land use, or is built on a slope which we don't know what an accessible path is until landscaping is completed. The 200' allowance provides a much easier measurement to the nearest portion of the house. The following diagram clarifies:



These measurements apply ONLY to one and two-family dwellings.

FIRE APPARATUS ACCESS ROAD EXCEPTION FOR AUTOMATIC SPRINKLER PROTECTION: When buildings are completely protected with an approved automatic fire sprinkler system, the requirements for fire apparatus access may be modified as approved by the Fire Marshal. (OFC 503.1.1) **Note: If fire sprinklers are installed and the system will be supported by a municipal water supply, please contact the local water purveyor for information about water meter sizing.**

FIRE APPARATUS ACCESS ROAD WIDTH AND VERTICAL CLEARANCE: Fire apparatus access roads shall have an unobstructed driving surface width of not less than 20' (26' adjacent to fire hydrants (OFC D103.1)) and an unobstructed vertical clearance of not less than 13' 6". (OFC 503.2.1 & D103.1)

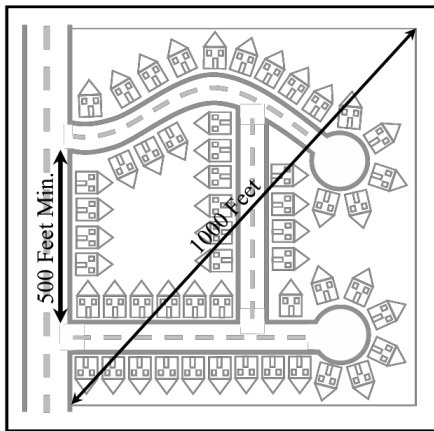
FIRE APPARATUS ACCESS ROADS FOR INDIVIDUAL ONE AND TWO FAMILY DWELLINGS AND ACCESSORY STRUCTURES: The fire district will approve access roads of 12' for up to three dwelling units (Group R-3) and accessory (Group U) buildings. (OFC 503.1.1)

FIRE APPARATUS ACCESS ROADS FOR AGRICULTURAL/EQUINE EXEMPT STRUCTURES: Agricultural buildings and equine facilities, as defined in ORS 455.315, shall be exempt from the fire apparatus access requirements contained in Tualatin Valley Fire & Rescue's adopted fire prevention ordinance. (See Appendix B)

FIRE APPARATUS ACCESS ROADS FOR FOREST DWELLINGS: Approved Forest Dwelling Permit Applications (where the County Zoning and Development tests are completed and approved, and where the structure meets all County forest dwelling fire siting, fire retardant roof, and spark arrestor requirements) will be allowed up to 20% maximum grade. Access roads greater than 20% shall be considered on a case-by-case basis. Forest Dwelling access roads shall be an all-weather surface capable of supporting imposed loads of not less than 37,000 pounds gross vehicle weight and be no less than 12' minimum width. All other access requirements, including turn- arounds shall be determined based upon heavy brush unit response capability to the individual property.

ADDITIONAL ACCESS ROADS – ONE- AND TWO-FAMILY RESIDENTIAL DEVELOPMENTS: Developments of one- and two-family dwellings, where the number of dwelling units exceeds 30, shall be provided with separate and approved fire apparatus access roads and shall meet the requirements of Section D104.3. Exception: Where there are more than 30 dwelling units on a single public or private fire apparatus access road and all dwelling units are equipped throughout with an approved automatic sprinkler system in accordance with section 903.3.1.1, 903.3.1.2, or 903.3.1.3 of the International Fire Code, access from two directions shall not be required. (OFC D107)

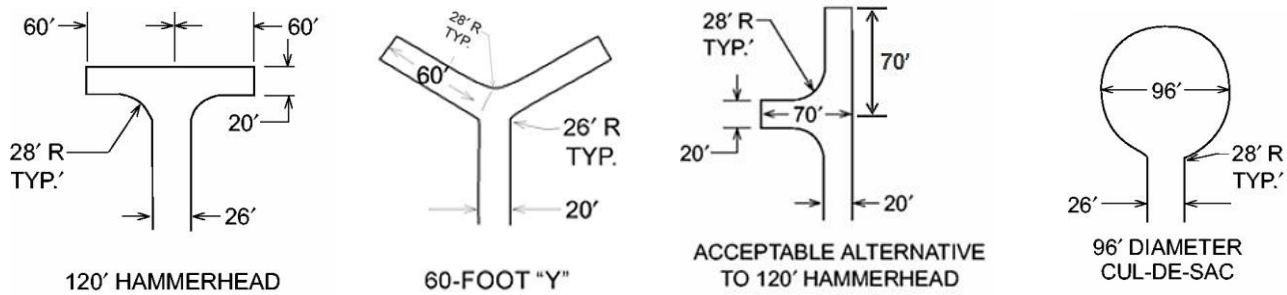
MULTIPLE ACCESS ROADS SEPARATION: Where two access roads are required, they shall be placed a distance apart equal to not less than one half of the length of the maximum overall diagonal dimension of the area to be served (as identified by the Fire Marshal), measured in a straight line between accesses. (OFC D104.3)



PREMISES IDENTIFICATION: New and existing buildings shall have approved address numbers; building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property, including monument signs. These numbers shall contrast with their background. Numbers shall be a minimum of 4 inches high with a minimum stroke width of 1/2 inch. (OFC 505.1)

ACCESS DURING CONSTRUCTION: Approved fire apparatus access roadways shall be installed and operational prior to any combustible construction or storage of combustible materials on the site. Temporary address signage shall also be provided during construction. (OFC 3309 and 3310.1)

DEAD END ROADS AND TURNAROUNDS: Dead end fire apparatus access roads in excess of 150' in length shall be provided with an approved turnaround. Diagrams of approved turnarounds are shown below: (OFC 503.2.5 & D103.



TURNING RADIUS: The inside turning radius and outside turning radius shall not be less than 28' and 48' respectively, measured from the same center point. (OFC 503.2.4 & D103.3)

TURNOUTS: Where access roads are less than 20' and exceed 400' in length, turnouts 10' wide and 30' long may be required and will be determined on a case by case basis. (OFC 503.2.2)

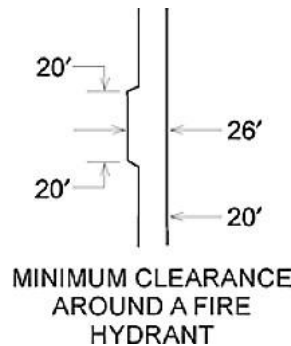
ACCESS ROAD GRADE: Fire apparatus access roadway grades shall not exceed 15%.

AERIAL APPARATUS OPERATING GRADES: Portions of aerial apparatus roads that will be used for aerial operations shall be as flat as possible. Front to rear and side to side maximum slope shall not exceed 10%.

ANGLE OF APPROACH/GRADE FOR TURNAROUNDS: Turnarounds shall be as flat as possible and have a maximum of 5% grade. (OFC 503.2.7 & D103.2)

ANGLE OF APPROACH/GRADE FOR INTERSECTIONS: Intersections shall be level (maximum 5%). (OFC 503.2.7 & D103.2)

FIRE APPARATUS ACCESS ROADS WITH FIRE HYDRANTS: Where a fire hydrant is located on a fire apparatus access road, the minimum road width shall be 26' and shall extend 20' before and after the point of the hydrant. (OFC D103.1)



SURFACE AND LOAD CAPACITIES: Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be surfaced as to provide all-weather driving capabilities. (OFC 503.2.3)

BRIDGES: Private bridges shall be designed and constructed in accordance with the State of Oregon Department of Transportation and American Association of State Highway and Transportation Officials Standards *Standard Specification for Highway Bridges (HB17)*. A building permit shall be obtained for the construction of the bridge if required by the building official of the jurisdiction where the bridge is to be built. The design engineer shall prepare a special inspection and structural observation program for approval by the building official. The design engineer shall give, in writing; final approval of the bridge to the fire district after construction is completed. Maintenance of the bridge shall be the responsibility of the party or parties that use the bridge for access to their property. The fire district may at any time, for due cause, ask that a registered engineer inspect the bridge for structural stability and soundness at the expense of the property owner(s) the bridge serves. Vehicle load limits shall be posted at both entrances to bridges when required by the Fire Marshal. Where elevated surfaces designed for emergency vehicle use are adjacent to surfaces which are not designed for such use, approved barriers, approved signs or both shall be installed and maintained when required by the Fire Marshal. Where elevated surfaces designed for emergency vehicle use are adjacent to surfaces which are not designed for such use, approved barriers, approved signs or both shall be installed and maintained when required by the Fire Marshal. (OFC 503.2.6)

GATES: Gates securing fire apparatus roads shall comply with all of the following (OFC D103.5, and 503.6):

1. Minimum unobstructed width shall be not less than 20' (or the required roadway surface width)
2. Gates serving three or less single-family dwellings shall be a minimum of 12' in width.
3. Gates shall be set back at minimum of 30' from the intersecting roadway or as approved.
4. Electric gates shall be equipped with a means for operation by fire department personnel
5. Electric automatic gates shall comply with ASTM F 2200 and UL 325.
6. When the access gate needs to be locked an expendable long shank padlock which can be cut off with a bolt cutter shall be installed. A knox padlock is not required.

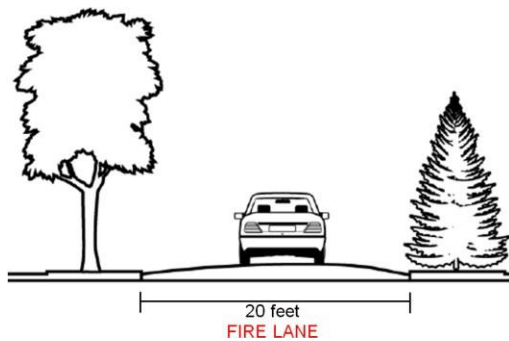
TRAFFIC CALMING DEVICES: Shall be prohibited on fire access routes unless approved by the Fire Marshal. (OFC 503.4.1) Traffic calming measures linked here: <http://www.tvfr.com/DocumentCenter/View/1578>

NO PARKING: Parking on emergency access roads shall be as follows (OFC D103.6.1-2):

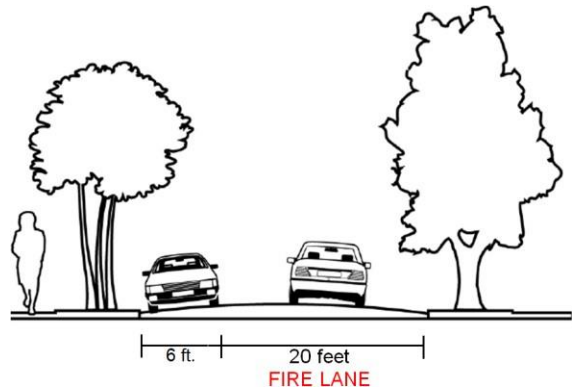
1. 20-26' road width – no parking on either side of roadway
2. 26-32' road width – parking is allowed on one side
3. Greater than 32' road width – parking is not restricted

Note: For specific widths and parking allowances, contact the local municipality.

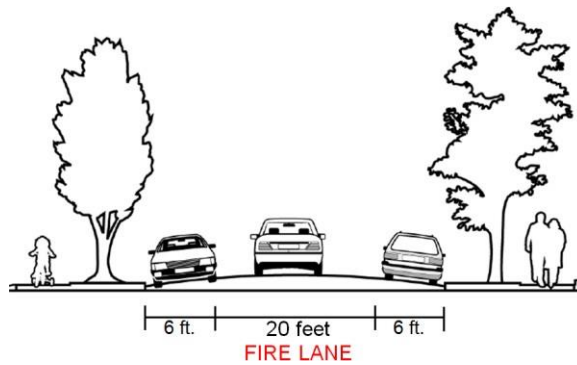
Parking prohibited on either side:



Parking prohibited on one side only:



Parking permitted on both sides:



NO PARKING SIGNS: Where fire apparatus roadways are not of sufficient width to accommodate parked vehicles and 20' of unobstructed driving surface, "No Parking" signs shall be installed on one or both sides of the roadway and in turnarounds as needed.

Signs shall read "NO PARKING - FIRE LANE" and shall be installed with a clear space above grade level of 7'. Signs shall be 12 inches wide by 18 inches high and shall have red letters on a white reflective background. (OFC D103.6)



PAINTED CURBS: Where required, fire apparatus access roadway curbs shall be painted red (or as approved) and marked "NO PARKING FIRE LANE" at 25' intervals. Lettering shall have a stroke of not less than one inch wide by six inches high. Lettering shall be white on red background (or as approved). (OFC 503.3)

Building Access and Fire Service Features

KNOX BOX: A Knox Box, padlock, or Knox key switch for gate access may be required. See appendix A for further information and detail on required installations. Order via www.tvfr.com or contact TVF&R for assistance and instructions regarding installation and placement. (OFC 506.1)

Firefighting Water Supplies

INDIVIDUAL ONE- AND TWO-FAMILY DWELLINGS: The minimum available fire flow for one and two-family dwellings served by a fixed and reliable (municipal) water supply shall be 1,000 gallons per minute. If the structure(s) is (are) 3,600 sq ft or larger, the required fire flow shall be determined according to OFC Appendix B. (OFC B105.2)

RURAL ONE- AND TWO- FAMILY DWELLINGS: Rural one- or two-family dwellings, where there is no fixed and reliable water supply and where there is approved access shall not be required to provide a firefighting water supply. (OFC B103)

AGRICULTURAL/EQUINE EXEMPT STRUCTURES: Agricultural buildings and equine facilities, as defined in ORS 455.315, shall be exempt from the firefighting water supply requirements contained in Tualatin Valley Fire & Rescue's adopted fire prevention ordinance. (See Appendix B)

ACCESSORY STRUCTURES: Detached U occupancies, that are in excess of 3,600 sq ft, are not required to have a water supply when they are accessory to a single family dwelling and have approved fire department access.

FIRE FLOW WATER AVAILABILITY: Applicants shall provide documentation of a fire hydrant flow test or flow test modeling of water availability from the local water purveyor if the project includes a new structure or increase in the floor area of an existing structure. Tests shall be conducted from a fire hydrant within 400' for commercial projects, or 600' for residential development. Flow tests will be accepted if they were performed within 5 years as long as no adverse modifications have been made to the supply system. Water availability information may not be required to be submitted for every project. (OFC Appendix B)

WATER SUPPLY DURING CONSTRUCTION IN MUNICIPAL AREAS: In areas with fixed and reliable water supply, approved firefighting water supplies shall be installed and operational prior to any combustible construction or storage of combustible materials on the site. (OFC 3312.1)

Fire Hydrants

FIRE HYDRANT NUMBER AND DISTRIBUTION: The minimum number and distribution of fire hydrants available to a building shall not be less than that listed in Table C 105.1. (OFC Appendix C)

**TABLE C105.1
NUMBER AND DISTRIBUTION OF FIRE HYDRANTS**

FIRE-FLOW REQUIREMENT (gpm)	MINIMUM NUMBER OF HYDRANTS	AVERAGE SPACING BETWEEN HYDRANTS ^{a,b,c} (feet)	MAXIMUM DISTANCE FROM ANY POINT ON STREET OR ROAD FRONTAGE TO A HYDRANT ^d
1,750 or less	1	500	250
2,000-2,250	2	450	225
2,500	3	450	225
3,000	3	400	225
3,500-4,000	4	350	210
4,500-5,000	5	300	180
5,500	6	300	180
6,000	6	250	150
6,500-7,000	7	250	150
7,500 or more	8 or more ^e	200	120

For SI: 1 foot = 304.8 mm, 1 gallon per minute = 3.785 L/m.

- a. Reduce by 100' for dead-end streets or roads.
- b. Where streets are provided with median dividers which can be crossed by firefighters pulling hose lines, or where arterial streets are provided with four or more traffic lanes and have a traffic count of more than 30,000 vehicles per day, hydrant spacing shall average 500' on each side of the street and be arranged on an alternating basis up to a fire-flow requirement of 7,000 gallons per minute and 400' for higher fire-flow requirements.
- c. Where new water mains are extended along streets where hydrants are not needed for protection of structures or similar fire problems, fire hydrants shall be provided at spacing not to exceed 1,000' to provide for transportation hazards.
- d. Reduce by 50' for dead-end streets or roads.
- e. One hydrant for each 1,000 gallons per minute or fraction thereof.

FIRE HYDRANT(S) PLACEMENT: (OFC C104)

- Existing hydrants in the area may be used to meet the required number of hydrants as approved. Hydrants that are up to 600' away from the nearest point of a subject building that is protected with fire sprinklers may contribute to the required number of hydrants. (OFC 507.5.1)
- Hydrants that are separated from the subject building by railroad tracks shall not contribute to the required number of hydrants unless approved by the Fire Marshal.
- Hydrants that are separated from the subject building by divided highways or freeways shall not contribute to the required number of hydrants. Heavily traveled collector streets may be considered when approved by the Fire Marshal.
- Hydrants that are accessible only by a bridge shall be acceptable to contribute to the required number of hydrants only if approved by the Fire Marshal.

FIRE HYDRANT DISTANCE FROM AN ACCESS ROAD: Fire hydrants shall be located not more than 15' from an approved fire apparatus access roadway unless approved by the Fire Marshal. (OFC C102.1)

FIRE HYDRANTS – ONE- AND TWO-FAMILY DWELLINGS AND ACCESSORY STRUCTURES: Where a portion of a structure is more than 600' from a hydrant on a fire apparatus access road, as measured in an approved route around the exterior of the structure(s), on-site fire hydrants and mains shall be provided. (OFC 507.5.1)

PRIVATE FIRE HYDRANT IDENTIFICATION: Private fire hydrants shall be painted red in color. Exception: Private fire hydrants within the City of Tualatin shall be yellow in color. (OFC 507)

REFLECTIVE HYDRANT MARKERS: Fire hydrant locations shall be identified by the installation of blue reflective markers. They shall be located adjacent and to the side of the center line of the access roadway that the fire hydrant is located on. In the case that there is no center line, then assume a center line and place the reflectors accordingly. (OFC 507)

PHYSICAL PROTECTION: Where fire hydrants are subject to impact by a motor vehicle, guard posts, bollards or

other approved means of protection shall be provided. (OFC 507.5.6 & OFC 312)

CLEAR SPACE AROUND FIRE HYDRANTS: A 3 foot clear space shall be provided around the circumference of fire hydrants. (OFC 507.5.5)

Appendix

Appendix A – Key Boxes

Appendix B – Agricultural Building and Equine Facility Exemption

Appendix C – No Parking Fire Lane Curb Detail

Appendix D – Mountable Curb Detail

Appendix E – Fire Department Access Box for Override Switch on Powered Access Gates



New Construction Fire Code Application Guide Appendix A

KEY BOXES

DATE: June 1, 2010

(Reviewed: June 1, 2020)

PURPOSE: To define the requirements for installation of key boxes.

SCOPE: This policy shall apply to all areas served by Tualatin Valley Fire & Rescue.

CODE REFERENCES: 2019 OFC Section 506

POLICY: Key Boxes

Tualatin Valley Fire & Rescue requires key boxes on buildings that meet certain parameters. When key boxes are required by this policy, Knox brand key boxes shall be used.

Required Installation - Key boxes shall be installed on buildings and structures when:

- ✓ An elevator is installed.
- ✓ Equipped with a fire alarm system.
- ✓ Equipped with an automatic fire extinguishing system.
- ✓ Access is restricted due to security arrangements.

EXCEPTION: Buildings and structures open and supervised twenty-four hours a day, seven days a week or constantly attended.

Installation Details - Key boxes shall be installed in an approved location; normally adjacent to primary entrance. The bottom of the key box shall not be more than 6' above the walking surface unless approved by the Chief or authorized representative. See exception below.

EXCEPTION: In multi-tenant buildings (each with their own outside entrance) the key box shall be located at the door that will best and most easily gain access to automatic sprinkler system controls alarm system controls, etc.

Contents - Key boxes typically may contain the following keys and critical information necessary to gain access:

- ✓ Building or structure keys
- ✓ Alarm systems keys and instructions
- ✓ Elevator recall key
- ✓ Emergency personnel contact numbers
- ✓ Multiple sets of keys when required
- ✓ Gate key
- ✓ Elevator door key
- ✓ Automatic fire extinguishing system control valve keys
- ✓ Hazardous materials safety data sheets

Required Labeling - All keys shall be labeled as to their use, i.e., main entrance, alarm control panel, sprinkler room door, etc.

Key Box Size - The size of the key box shall be sufficient to contain all necessary keys and/or equipment.



New Construction Fire Code Application Guide

Appendix B

AGRICULTURAL BUILDING AND EQUINE FACILITY EXEMPTION

DATE: June 1, 2010

(Reviewed: June 1, 2020)

PURPOSE: To define the requirements for access and firefighting water supplies for exempt agricultural buildings and equine facilities.

SCOPE: This policy shall apply to all areas served by Tualatin Valley Fire & Rescue.

CODE REFERENCES: Oregon Revised Statute 455.315

POLICY: Agricultural Building and Equine Facility Exemption

For the purposes of this policy, fire apparatus access and firefighting water supplies for agricultural buildings and equine facilities, as defined in ORS 455.315, shall be as follows:

1. Agricultural buildings and equine facilities, as defined in ORS 455.315, shall be exempt from the fire apparatus access and firefighting water supply requirements contained in Tualatin Valley Fire & Rescue's adopted fire prevention ordinance.
2. It shall be the policy of Tualatin Valley Fire & Rescue to encourage the installation of fire sprinkler systems in agricultural buildings and equine facilities.
3. It shall be the policy of Tualatin Valley Fire & Rescue to encourage the installation of fire apparatus access roadways and firefighting water supplies.



New Construction Fire Code Application Guide Appendix C

NO PARKING FIRE LANE CURB DETAIL

DATE: April 10, 2020

(Revised: June 1, 2020)

PURPOSE: To define the requirements of marking fire lane curbing.

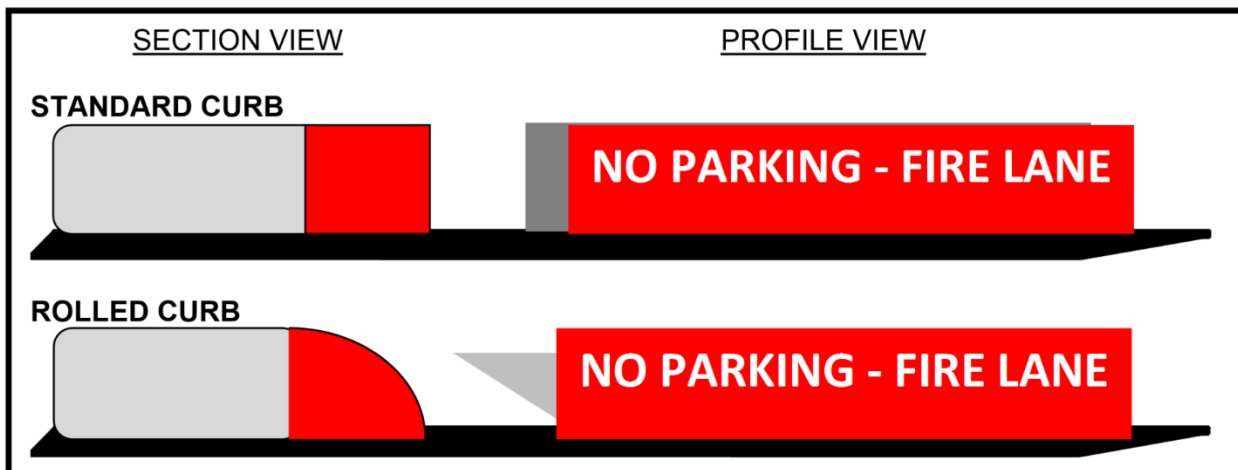
SCOPE: This policy shall apply to all areas served by Tualatin Valley Fire & Rescue.

CODE REFERENCES: 2018 OFC Chapter 5, Section 503.3

POLICY: No Parking Fire Lane Curb Detail

The OFC does not provide guidance with regards to the color or marking style of fire lane curbing. The policy of Tualatin Valley Fire & Rescue is as follows:

- Curb paint shall be red for the entire length of the fire lane.
- “NO PARKING FIRE LANE” shall be stenciled with a 3 ½ inch minimum height block in white lettering with a minimum of ½ inch stroke width.
- The markings shall be spaced at 25’ intervals.



MOUNTABLE CURB DETAIL

DATE: April 10, 2020

(Revised: June 1, 2020)

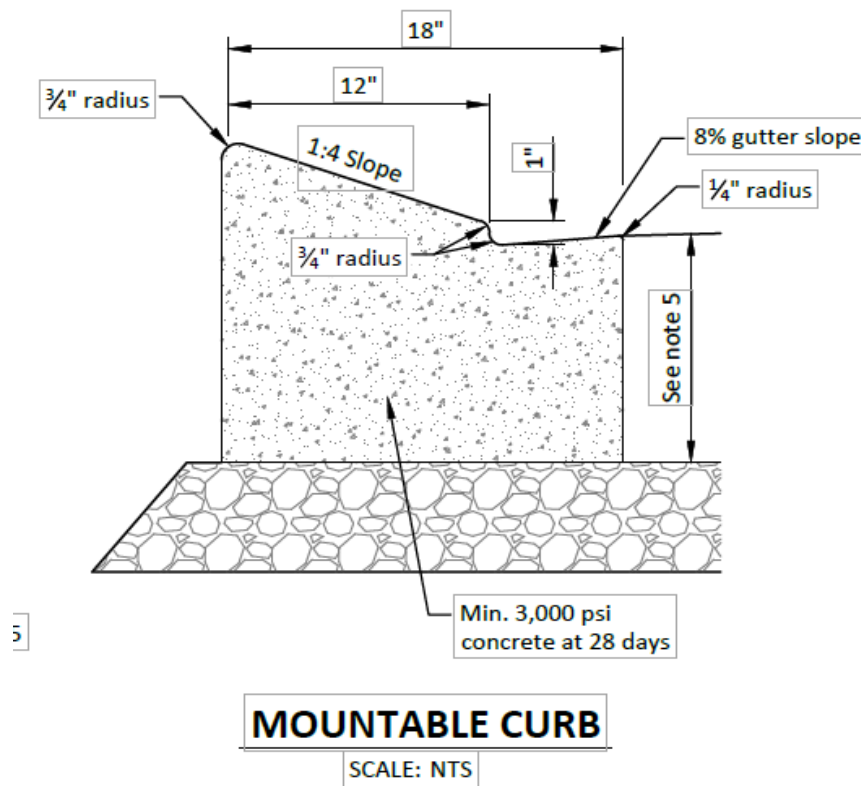
PURPOSE: To define the requirements of a mountable curb for fire access.

SCOPE: This policy shall apply to all areas served by Tualatin Valley Fire & Rescue.

CODE REFERENCES: 2018 OFC Chapter 5, Section 503.2.8

POLICY: Mountable Curb Detail

The OFC does not provide guidance with regards to the use of mountable curbs for fire access roads. Mountable curbs will be approved on a case by case basis. Where a local jurisdiction has a design detail that meets or exceeds this detail the detail of the local jurisdiction shall apply. The policy of Tualatin Valley Fire & Rescue is as follows:



NOTES:

1. Expansion joints shall be provided at each point of tangency of the curb material. Joints shall be pre-molded, non-extruding, with a minimum thickness of 1/2 inch.
2. Contraction joints shall be a minimum of 2" deep, spaced a maximum of 15' apart, and match PCC

street slab joints.

3. Base rock 1 ½" minus, compacted to 95% AASHTO T-180, shall be to subgrade of street structure or 4" in depth, whichever is greater, extending 1' behind curb.
4. Slope of gutter shall not exceed 5% at sidewalk ramp.
5. Gutter thickness shall match the pavement thickness, where thickness exceeds six inches.
6. The height of the standard curb shall match the pavement thickness plus the curb exposure when greater than 16".



New Construction Fire Code Application Guide

Appendix E

Fire Department Access Box for override switch on powered access gates

DATE: 4/16/2020

(Revised: June 1, 2020)

PURPOSE: To identify the requirements for fire department access box for override switch on powered access gates.

SCOPE: This policy shall apply to all areas served by Tualatin Valley Fire & Rescue.

CODE REFERENCES: 503.6 OFC 2019

POLICY: Fire Department Access Box/override switch for powered gates.

Power operated gates shall be equipped with a Fire Department approved security gate override device per the following language:

SECURITY GATE OVERRIDE DEVICE REQUIREMENTS

The override device shall consist of the following:

1. **FIRE DEPARTMENT ACCESS BOX**
A weatherproof metal box approximately 6 inches wide by 7 inches high. The front of the box shall consist of a hinged metal door with hasp for a padlock. The door shall be locked with an expendable long shank padlock which can be cut off with a bolt cutter. The access box shall be approved by TVF&R prior to installation.
2. **PLACEMENT OF FIRE DEPARTMENT ACCESS BOX**
The box shall be installed on a gate support pillar or post adjacent to the gate. The box must be visible to anyone approaching the gate at all times.
3. **OVERRIDE OPERATION**
Mounted within the box shall be a micro switch. When the door of the access box is opened the micro switch shall activate the gate. When the switch is in the override position, the gate or gates shall open and remain open until the access door is closed and the micro switch is placed back in position for normal operation.
4. **TIMING OF OVERRIDE OPERATION**
When the switch is moved to the override position, the gate/gates shall fully open within 10 seconds.