

RECORDING REQUESTED BY:



Fidelity National Title
Company of Oregon

900 SW 5th Avenue
Portland, OR 97204

GRANTOR'S NAME:
ECI Group LLC, an Oregon limited liability company

GRANTEE'S NAME:
J.T. Roth Construction, Inc., an Oregon corporation

AFTER RECORDING RETURN TO:
J.T. Roth Construction, Inc., an Oregon corporation
12600 SW 72nd Avenue, Suite 200
Tigard, OR 97223

SEND TAX STATEMENTS TO:
J.T. Roth Construction, Inc., an Oregon corporation
12600 SW 72nd Avenue, Suite 200
Tigard, OR 97223

Washington County, Oregon	2022-013872
D-DW	02/25/2022 08:58:15 AM
Stn=7 C LOUCKS	
\$20.00 \$11.00 \$5.00 \$60.00 \$175.00	\$271.00
I, Joe Nelson, Director of Assessment and Taxation and Ex-Officio County Clerk for Washington County, Oregon, do hereby certify that the within instrument of writing was received and recorded in the book of records of said county.	
Joe Nelson, Director of Assessment and Taxation, Ex-Officio County Clerk	

SPACE ABOVE THIS LINE FOR RECORDER'S USE

SPECIAL WARRANTY DEED - STATUTORY FORM
(INDIVIDUAL or CORPORATION)

ECI Group LLC, an Oregon limited liability company, Grantor, conveys and specially warrants to J.T. Roth Construction, Inc., an Oregon corporation, Grantee, the following described real property free and clear of encumbrances created or suffered by the grantor except as specifically set forth below:

Parcel 1, PARTITION PLAT NO. 1991-076, in the City of Sherwood, County of Washington and State of Oregon.

TOGETHER WITH a 50 foot access easement over Parcel 2, PARTITION PLAT NO. 1991-076.

ALSO TOGETHER with a 20 foot access easement over Parcel 3, PARTITION PLAT NO. 1991-076.

The true consideration for this conveyance is One Hundred Seventy-Five Thousand And No/100 Dollars (\$175,000.00).

Subject to and excepting:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF

BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON TRANSFERRING FEE TITLE SHOULD INQUIRE ABOUT THE PERSON'S RIGHTS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009, AND SECTIONS 2 TO 7, CHAPTER 8, OREGON LAWS 2010. THIS INSTRUMENT DOES NOT ALLOW USE OF THE PROPERTY DESCRIBED IN THIS INSTRUMENT IN VIOLATION OF APPLICABLE LAND USE LAWS AND REGULATIONS. BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON ACQUIRING FEE TITLE TO THE PROPERTY SHOULD CHECK WITH THE APPROPRIATE CITY OR COUNTY PLANNING DEPARTMENT TO VERIFY THAT THE UNIT OF LAND BEING TRANSFERRED IS A LAWFULLY ESTABLISHED LOT OR PARCEL, AS DEFINED IN ORS 92.010 OR 215.010, TO VERIFY THE APPROVED USES OF THE LOT OR PARCEL, TO DETERMINE ANY LIMITS ON LAWSUITS AGAINST FARMING OR FOREST PRACTICES, AS DEFINED IN ORS 30.930, AND TO INQUIRE ABOUT THE RIGHTS OF NEIGHBORING PROPERTY OWNERS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009, AND SECTIONS 2 TO 7, CHAPTER 8, OREGON LAWS 2010.

Fidelity National Title of Oregon 45142125651-01

SPECIAL WARRANTY DEED - STATUTORY FORM

(continued)

IN WITNESS WHEREOF, the undersigned have executed this document on the date(s) set forth below.

Dated: February 23, 2022

ECI Group LLC, an Oregon limited liability company

By: Edwin K. Chinn
Edwin K. Chinn
Member

By: Cathy L. Chinn
Cathy L. Chinn
Member

State of Oregon
County of Clackamas

This instrument was acknowledged before me on February 24, 2022 by Edwin K. Chinn and Cathy L. Chinn as Members of ECI Group LLC, an Oregon limited liability company.

Samuel Goold
Notary Public - State of Oregon
My Commission Expires: January 12, 2025

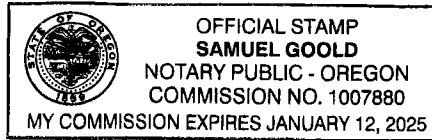


EXHIBIT "A"
Exceptions

Subject to and excepting:

City Liens, if any, in favor of the City of Sherwood. None found as of recording.

Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:

Granted to: Pacific Telephone and Telegraph Company
Purpose: The right to erect and maintain one anchor with the necessary wires and fixtures thereon, and to keep same free from foliage.
Recording Date: April 28, 1917
Recording No: Book 108, Page 555

Easement for existing public utilities in vacated street area and the conditions imposed thereby

Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:

Granted to: The Pacific Telephone and Telegraph Company
Purpose: Poles and rights incidental thereto
Recording Date: August 14, 1948
Recording No: Book 288, Page 4

Waiver of Remonstrance and Consent to Local Improvement District:

Purpose: Public improvements
Recording Date: July 31, 1991
Recording No.: 91-041473

Agreement for Private Access and Maintenance

Recording Date: July 31, 1991
Recording No.: 91-041474

Covenants, conditions, restrictions and easements but omitting any covenants or restrictions, if any, including but not limited to those based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, ancestry, source of income, gender, gender identity, gender expression, medical condition or genetic information, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law, as set forth in the document

Recording Date: July 31, 1991
Recording No: 91-041475

Amendment(s)/Modification(s) of said covenants, conditions and restrictions

Recording Date: May 1, 2001
Recording No: 2001-040298

Restrictions, but omitting restrictions, if any, based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, ancestry, or source of income, as set forth in applicable state or federal laws, except to the extent that said restriction is permitted by applicable law, as shown on that certain plat

Name of Plat: Partition Plat No. 1991-076

Easement(s) for the purpose(s) shown below and rights incidental thereto as delineated or as offered for dedication, on the map of said tract/plat;

Purpose: Street Dedication
Affects: 10 feet wide along Westerly lot line

EXHIBIT "A"
Exceptions

Consent Judgment, including the terms and provisions thereof

Entered: January 31, 2022

Case No: 22CV03674

County: Washington County

Executed by: State of Oregon Department of Environmental Quality and JT Roth Construction, Inc.

Which among other things provides: Remedial Design/ Remedial Action and conditions and restrictions thereof in development of property

Recorded: February 18, 2022

Recorder's No. 2022-012407

Any other covenants, conditions, restrictions, easements or matters appearing of record and any rights, interests, or claims which may exist or arise by reason of any matters that would be disclosed by a visual inspection or a complete and accurate survey of the property.