

# SHERWOOD OLDTOWN APARTMENTS

A 3-LOT PARTITION FOR RESIDENTIAL DEVELOPMENT ON TAX LOT 400, TAX MAP 2S132BD  
15665 SW WILLAMETTE STREET, SHERWOOD OREGON 97140

## SITE INFORMATION

TAX MAP: 2S132BD  
TAX LOT: 400  
SITE ADDRESS: 15665 SW WILLAMETTE ST., SHERWOOD OREGON 97140  
SITE SIZE: 1.18 AC (±51,448 SF)  
ZONING: (HDR) HIGH DENSITY RESIDENTIAL

## VERTICAL DATUM

BENCHMARK: WASHINGTON COUNTY BENCHMARK NO.111  
DESCRIPTION: BRASS DISK IN CURB AT INTERSECTION OF SW MAIN STREET AND SW SUNSET COURT.  
ELEVATION: 213.55' NGVD 29

## IMPERVIOUS AREA

|                                  |   |                     |
|----------------------------------|---|---------------------|
| EXISTING PAVEMENT                | = | 0 SF                |
| TOTAL EXISTING IMPERVIOUS        | = | 0 SF (0.00 AC)      |
| 2 LOTS @ 2,640 SF IMPERVIOUS/LOT | = | 5,280 SF            |
| APARTMENT BUILDINGS              | = | 9,003 SF            |
| SIDEWALKS                        | = | 3,836 SF            |
| PRIVATE STREET PAVEMENT          | = | 15,720 SF           |
| TOTAL PROPOSED IMPERVIOUS AREA   | = | 33,839 SF (0.78 AC) |
| EXISTING                         | = | 0 SF (0.00 AC)      |
| MODIFIED                         | = | 0 SF (0.00 AC)      |
| REMOVED                          | = | 0 SF (0.00 AC)      |
| NEW                              | = | 33,839 SF (0.78 AC) |
| REQUIRED TREATMENT AREA          | = | 33,839 SF (0.78 AC) |

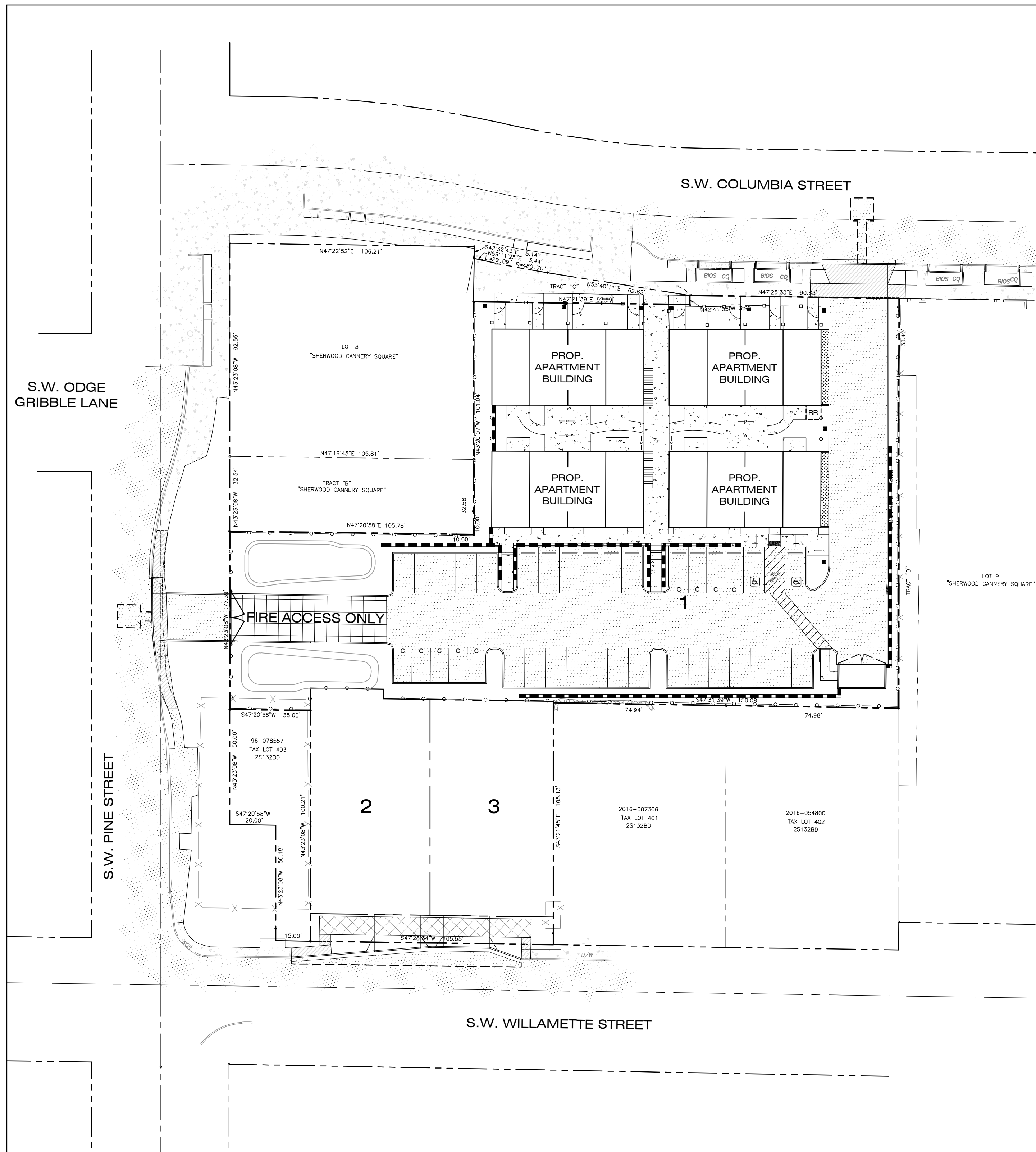
## UTILITY COMPANIES

|          |                                 |
|----------|---------------------------------|
| WATER    | - CITY OF SHERWOOD              |
| SEWER    | - CITY OF SHERWOOD              |
| STORM    | - CITY OF SHERWOOD              |
| GAS      | - NORTHWEST NATURAL GAS         |
| ELECTRIC | - PORTLAND GENERAL ELECTRIC     |
| TELE     | - FRONTIER                      |
| CABLE TV | - COMCAST                       |
| GARBAGE  | - PRIDE DISPOSAL COMPANY        |
| FIRE     | - TUALATIN VALLEY FIRE & RESCUE |
| POLICE   | - SHERWOOD POLICE DEPARTMENT    |

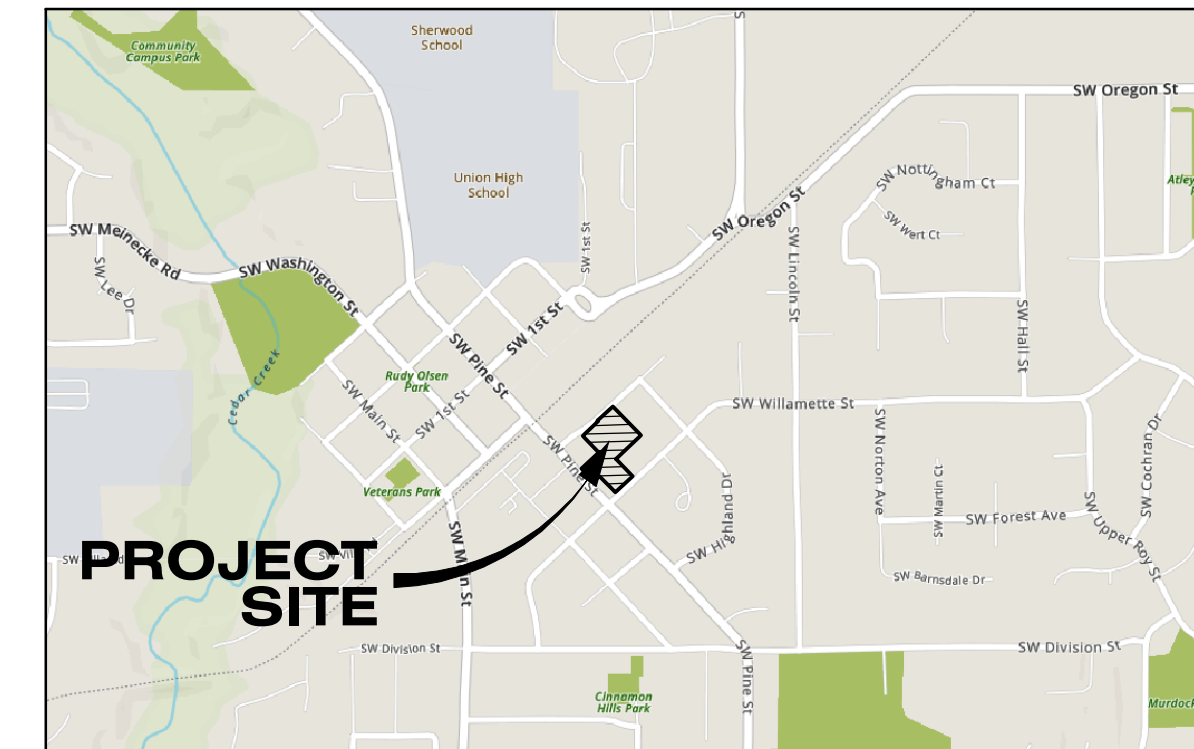
ATTENTION: Oregon law requires you to follow rules adopted by the Oregon Utility Notification Center. Those rules are set forth in OAR 952-001-0001 through 952-001-0090. You may obtain copies of the rules by calling the center.

NOTE: The telephone number for the Oregon Utility Notification Center is (503) 232-1987.

THIS DESIGN COMPLIES WITH ORS 92.044 (7) IN THAT NO UTILITY INFRASTRUCTURE IS DESIGNED TO BE WITHIN ONE (1) FOOT OF A SURVEY MONUMENT LOCATION SHOWN ON A SUBDIVISION OR PARTITION PLAT. NO DESIGN EXCEPTIONS NOR FINAL FIELD LOCATION CHANGES SHALL BE PERMITTED IF THAT CHANGE WOULD CAUSE ANY UTILITY INFRASTRUCTURE TO BE PLACED WITHIN THE PROHIBITED AREA.



SITE MAP  
SCALE: 1"=30'



VICINITY MAP

NTS

## OWNER

ESTATE OF KAY FRANCES  
2541 E. GALA ST., #310  
MERIDIAN, ID 83642  
CONTACTS: STRONG ELTON & AARON BOYD ELTON

## APPLICANT

EDGE DEVELOPMENT  
2233 NE 23RD AVE., SUITE 100  
PORTLAND, OR 97210  
CONTACT: ED BRUIN  
PHONE: 503-292-7733  
EMAIL: ED@EDGEDEVELOP.COM

## PLANNING/ENGINEERING

PIONEER DESIGN GROUP, INC.  
9020 SW WASHINGTON SQ RD., SUITE 170  
PORTLAND, OR 97223  
CONTACT: LUKE LAPPIN, P.E.  
PHONE: (503) 643-8286  
EMAIL: LLAPPIN@PD-GRP.COM

## ARCHITECT

EDGE DEVELOPMENT  
2233 NE 23RD AVE., SUITE 100  
PORTLAND, OR 97210  
CONTACT: ED BRUIN  
PHONE: 503-292-7733  
EMAIL: ED@EDGEDEVELOP.COM

## SURVEYOR

CASWELL HERTEL  
6150 S.W. 124th AVE.  
BEAVERTON, OR 97008  
CONTACT: BEN STACY  
PHONE: 503-644-3179  
EMAIL: INFO@CHSURVEYINC.COM

## BIOLOGIST

PACIFIC HABITAT SERVICES, INC.  
9450 SW COMMERCE CIRCLE, SUITE 180  
WILSONVILLE, OR 97070  
CONTACT: JOHN VAN STAVEREN, SPWS  
PHONE: 503-570-0800  
EMAIL: JVS@PACIFICHABITAT.COM

## SHEET INDEX

| SHEET NUMBER | SHEET DESCRIPTION                            |
|--------------|--|
| P0.0         | COVER SHEET                                  |
| P0.1         | GENERAL NOTES                                |
| P0.2         | PRELIMINARY PLAT                             |
| P1.0         | EXISTING CONDITIONS AND DEMOLITION PLAN      |
| P2.0         | PRELIMINARY GRADING AND EROSION CONTROL PLAN |
| P2.1         | SITE SECTIONS A-A, B-B & C-C - PLAN          |
| P2.2         | SITE SECTIONS A-A, B-B & C-C - PROFILE       |
| P3.0         | OVERALL SITE PLAN                            |
| P3.1         | PRELIMINARY COMPOSITE UTILITY PLAN           |
| P4.0         | COMMON AREA PLAN                             |
| L1.0         | PRELIMINARY LANDSCAPE PLAN                   |

## COVER SHEET

| Designed by   | Date    | Drawn by     | Date    | Reviewed by       | Date    | Project No. | REF. |
|---------------|---------|--------------|---------|-------------------|---------|-------------|------|
| MLS           | 01/2022 | TCC          | 01/2022 | MLS               | 01/2022 | 112-026     | N/A  |
| Horiz. Scale: | N/A     | Vert. Scale: | N/A     | 11226_00COVER.dwg |         |             |      |

By  
Revision  
Date  
No.

Project  
SHERWOOD OLDTOWN APARTMENTS  
No.  
112-026  
Type  
PLANNING  
Sheet

P0.0

SHERWOOD OLDTOWN APARTMENTS  
15665 SW WILLAMETTE ST., SHERWOOD, OREGON 97140

PIONEER DESIGN GROUP  
CIVIL ENGINEERING • LAND USE PLANNING • LAND SURVEYING • LANDSCAPE ARCHITECTURE  
PORTLAND, OREGON | HONOLULU, HAWAII  
PH: 808.843.8286  
WWW.PD-GRP.COM

## GENERAL NOTES

1. SURVEY PROVIDED BY COMPASS LAND SURVEYORS DATED OCTOBER 23, 2018. THE VERTICAL DATUM IS BASED ON WASHINGTON COUNTY BENCHMARK NUMBER 111, ELEVATION 213.55 NGVD 29. BRASS DISC LOCATED IN CURB AT THE SE CORNER OF SUNSET CT AND SHERWOOD BLVD.
2. ALL CONSTRUCTION, MATERIALS, AND WORKMANSHIP SHALL CONFORM TO THE LATEST STANDARDS AND PRACTICES OF THE INTERNATIONAL BUILDING CODE, OREGON PLUMBING SPECIALTY CODE, AND THE INTERNATIONAL FIRE CODE, LATEST EDITIONS.
3. ALL PUBLIC IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE GOVERNING AGENCY'S CONSTRUCTION SPECIFICATIONS AND DETAILS.
4. THE COMPLETED INSTALLATION SHALL CONFORM TO ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES, ORDINANCES AND REGULATIONS. ALL PERMITS, LICENSES AND INSPECTIONS REQUIRED BY THE GOVERNING AUTHORITIES FOR THE EXECUTION AND COMPLETION OF THE WORK SHALL BE SECURED BY THE CONTRACTOR PRIOR TO COMMENCING CONSTRUCTION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND SCHEDULING ALL WORK WITH THE OWNER OR OWNER'S REPRESENTATIVE.
6. THE CONTRACTOR SHALL REVIEW THE GEOTECHNICAL REPORT FOR THE SUBSURFACE AND SOIL CONDITIONS OF THIS PROJECT. ALL RECOMMENDATIONS MADE IN THE REPORT SHALL BE CONSIDERED FINAL UNLESS REVISED BY THE GEOTECHNICAL ENGINEER.
7. OREGON LAW REQUIRES ALL EXCAVATORS TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. COPIES OF THE RULES MAY BE OBTAINED BY CALLING THE CENTER AT (503) 232-1987. EXCAVATORS MUST NOTIFY ALL PERTINENT COMPANIES OR AGENCIES WITH UNDERGROUND UTILITIES IN THE PROJECT AREA AT LEAST 48 BUSINESS DAY HOURS, BUT NO MORE THAN 10 BUSINESS DAYS, PRIOR TO COMMENCING AN EXCAVATION, SO UTILITIES MAY BE ACCURATELY LOCATED.
8. THE LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN ON THE PLANS IS FOR INFORMATION ONLY AND IS NOT GUARANTEED TO BE COMPLETE OR ACCURATE. CONTRACTOR SHALL VERIFY ELEVATIONS, PIPE SIZE, AND MATERIAL TYPE OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WITH CONSTRUCTION AND SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF PIONEER DESIGN GROUP, INC., 72 HOURS PRIOR TO START OF CONSTRUCTION.
9. THE ENGINEER OR OWNER IS NOT RESPONSIBLE FOR THE SAFETY OF THE CONTRACTOR OR HIS CREW. ALL O.S.H.A. REGULATIONS SHALL BE STRICTLY ADHERED TO IN THE PERFORMANCE OF THE WORK.
10. TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL BE IMPLEMENTED. THE CONTRACTOR SHALL ADHERE TO THE GOVERNING AGENCY'S REQUIREMENTS FOR MINIMUM EROSION CONTROL MEASURES. THE ESC FACILITIES SHOWN ON THESE PLANS ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS DURING THE CONSTRUCTION PERIOD. ESC MEASURES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DO NOT LEAVE THE SITE.
11. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ROADWAYS KEEPING THEM CLEAN AND FREE OF CONSTRUCTION MATERIALS AND DEBRIS AND PROVIDING NECESSARY DUST CONTROL WHERE REQUIRED.
12. BEFORE BACKFILLING ANY SUBGRADE UTILITY IMPROVEMENTS CONTRACTOR IS TO SURVEY AND RECORD MEASUREMENTS OF EXACT LOCATION AND DEPTH.
13. NOTIFY CITY INSPECTOR 24 HOURS BEFORE STARTING WORK. A PRECONSTRUCTION MEETING WITH DEVELOPER, HIS ENGINEER AND CONTRACTOR AS WELL AS THE CITY REPRESENTATIVE IS REQUIRED.
14. SURVEY MAY NOT BE COMPLETE OR ACCURATE. CONTRACTOR TO VERIFY EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION. PIONEER DESIGN GROUP, INC. ASSUMES NO RESPONSIBILITY FOR ANY DISCREPANCIES ENCOUNTERED BETWEEN THE CURRENT FIELD CONDITIONS AND THE INFORMATION SHOWN ON THE SURVEY MAP.
15. THE CONTRACTOR SHALL COMPLY WITH ALL TEMPORARY TRAFFIC CONTROL MEASURES AS REQUIRED BY THE JURISDICTION. SUCH MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), AND AS MODIFIED BY THE GOVERNING JURISDICTION.

## DEMOLITION, GRADING AND PAVING NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION AND DISPOSAL OF EXISTING A.C., CURBS, SIDEWALKS AND OTHER SITE ELEMENTS WITHIN THE SITE AREA. ALL LANDSCAPING, CURBS AND SIDEWALKS SHALL BE REPLACED TO THEIR ORIGINAL CONDITION OR BETTER.
2. EXCEPT FOR MATERIALS INDICATED TO BE STOCKPILED OR TO REMAIN ON OWNER'S PROPERTY, CLEARED MATERIAL SHALL BECOME THE CONTRACTOR'S PROPERTY, REMOVED FROM THE SITE, AND DISPOSED OF PROPERLY.
3. CONTRACTOR SHALL REPLACE AND RESTORE AREAS NOT IDENTIFIED FOR CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER AND TO THE APPROVAL OF THE OWNER'S REPRESENTATIVE.
4. CONCRETE SIDEWALKS SHOWN FOR DEMOLITION SHALL BE REMOVED TO THE NEAREST EXISTING CONSTRUCTION JOINT.
5. SAWCUT STRAIGHT MATCHLINES TO CREATE A BUTT JOINT BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT.
6. ACTUAL LINES AND GRADES SHALL OF EXCAVATION SHALL BE STAKED BY QUALIFIED SURVEYOR, BASED ON DIMENSIONS AND BEARING AS SHOWN ON THE PLANS. CONTRACTOR SHALL RETAIN A SURVEYOR IN THE STATE OF OREGON.
7. SLOPE AT HANDICAP SPACES SHALL NOT EXCEED 2 PERCENT IN ALL DIRECTIONS.
8. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING AS INDICATED ON DRAWINGS. PARKING OF VEHICLES UNDER TREES SHALL BE PROHIBITED.
9. BRING ALL GRADES TO APPROXIMATE LEVELS INDICATED ON DRAWINGS.

## CITY OF SHERWOOD STANDARD NOTES

1. CONTRACTOR SHALL NOTIFY CITY OF SHERWOOD ENGINEERING DEPARTMENT (AT 503-925-2306) TWO BUSINESS DAYS PRIOR TO COMMENCEMENT OF WORK ON GRADING, PUBLIC IMPROVEMENTS, OR STORM WATER TREATMENT FACILITIES.
2. ALL CONSTRUCTION WORK AND MATERIALS SHALL CONFORM TO APPLICABLE CITY OF SHERWOOD STANDARDS CONSTRUCTION SPECIFICATIONS, CLEAN WATER SERVICES (CWS) DESIGN AND CONSTRUCTION STANDARDS, UNIFORM PLUMBING CODE (UPC) AND UNIFORM BUILDING CODE (UBC). CONTRACTOR AND SUBCONTRACTOR(S) SHALL HAVE A MINIMUM OF ONE SET OF APPROVED PLANS AND CITY OF SHERWOOD STANDARD CONSTRUCTION SPECIFICATIONS ON THE JOB SITE AT ALL TIMES DURING CONSTRUCTION.
3. APPLICANT(S) IS RESPONSIBLE FOR ALL COSTS OF CONSTRUCTION.
4. CITY OF SHERWOOD BUILDING DEPARTMENT PERMITS ARE REQUIRED FOR PRIVATELY MAINTAINED SEWER, INLETS, INLET LEADS, AND SERVICE LATERALS CONSTRUCTED OUTSIDE OF PUBLIC RIGHT-OF-WAY OR PUBLIC EASEMENT. ALL WORK APPROVED UNDER PLUMBING PERMITS SHALL BE PRIVATELY OWNED AND MAINTAINED.
5. **ATTENTION EXCAVATORS:** OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THESE RULES FROM THE CENTER BY CALLING (503) 232-1987. IF YOU HAVE ANY QUESTIONS ABOUT THESE RULES, YOU MAY CONTACT THE CALL CENTER. YOU MUST NOTIFY THE CENTER AT LEAST TWO BUSINESS DAYS, BUT NOT MORE THAN 10 BUSINESS DAYS, BEFORE COMMENCING EXCAVATION. CALL (503) 246-6699
6. ALL TRENCH LINES AND EXCAVATIONS SHALL BE PROPERLY SHORED AND BRACED TO PREVENT CAVING. UNUSUALLY DEEP EXCAVATIONS MAY REQUIRE EXTRA SHORING AND BRACING. ALL SHEETING, SHORING, AND BRACING OF TRENCHES SHALL CONFORM TO OREGON OCCUPATIONAL SAFETY AND HEALTH DIVISION (OSHA) REGULATIONS AND CITY OF SHERWOOD STANDARD SPECIFICATIONS.
7. CONTRACTOR IS TO FIELD VERIFY LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION
8. SITE EROSION CONTROL PLAN AND BMP'S MEETING CWS STANDARDS TO BE IN PLACE AND APPROVED PRIOR TO CONSTRUCTION
9. A TEMPORARY USE PERMIT, SUBJECT TO SECTION 16.86 OF THE CITY OF SHERWOOD CODE, IS REQUIRED PRIOR TO ANY USE OF AN ON-SITE CONSTRUCTION TRAILER. UNDER NO CIRCUMSTANCE SHALL THE TRAILER BE LOCATED IN THE PUBLIC RIGHT-OF-WAY.
10. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND LICENSES BEFORE STARTING CONSTRUCTION. A COPY OF THE REQUIRED PERMITS AND ATTACHMENTS SHALL BE AT THE WORK SITE AND AVAILABLE DURING CONSTRUCTION.
11. TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. TRAFFIC CONTROL PLAN SHALL BE SUBJECT TO THE APPROVAL OF THE CITY.
12. ANY INSPECTION OR CONSTRUCTION OBSERVATION BY THE CITY, COUNTY, STATE, OR OTHER JURISDICTIONAL AGENCIES SHALL NOT, IN ANY WAY, RELIEVE THE CONTRACTOR FROM ANY OBLIGATION TO PERFORM THE WORK IN COMPLIANCE WITH THE APPLICABLE CODES, REGULATIONS, CITY STANDARDS, AND PROJECT CONTRACT DOCUMENTS.
13. CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING STRUCTURES AND UTILITIES NOT SHOWN TO BE REMOVED. CONTRACTOR SHALL REPLACE OR REPAIR ANY EXISTING STRUCTURES (SIDEWALKS, CURB, FENCE, STREET TREES, ETC.) DAMAGED DURING CONSTRUCTION, IN ACCORDANCE WITH CITY STANDARDS.
14. NO TRENCHES OR PITS WILL BE ALLOWED TO REMAIN OPEN OVERNIGHT. ALL TRENCHES AND PITS SHALL BE COVERED WITH STEEL PLATES OR FILLED IN AT NIGHT.
15. ANY ALTERATIONS OR VARIATIONS FROM THESE PLANS, EXCEPT MINOR FIELD ADJUSTMENTS NEEDED TO MEET EXISTING FIELD CONDITIONS, SHALL BE APPROVED THE THE ENGINEER AND APPLICABLE REGULATORY AGENCY REPRESENTATIVE.
16. ANY PRIVATE UTILITIES TO BE INSTALLED WITHIN CITY OF SHERWOOD RIGHT-OF-WAY THAT IS NOT SHOWN ON THE APPROVED CONSTRUCTION PLANS (POWER, TELECOMMUNICATIONS, GAS, IRRIGATION, ETC.) SHALL HAVE PLANS SUBMITTED FOR A RIGHT-OF-WAY PERMIT PRIOR TO CONSTRUCTION OF UTILITY. ANY PRIVATE OR FRANCHISE UTILITIES INSTALLED WITHOUT A RIGHT OF WAY PERMIT IS SUBJECT TO REMOVAL.
17. CONTRACTOR IS RESPONSIBLE FOR THE IMPLEMENTATION OF A TRAFFIC CONTROL PLAN AND ITS CONTINUED FUNCTIONING FOR THE PROTECTION OF CONSTRUCTION WORKERS, VEHICULAR TRAFFIC, BICYCLE TRAFFIC AND PEDESTRIANS. ALL TRAFFIC CONTROL DEVICES/SIGNAGE SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. APPROVAL OF THE TRAFFIC CONTROL PLAN BY THE CITY OF SHERWOOD DOES NOT NEGATE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN A SAFE WORK ZONE. THE CITY OF SHERWOOD BEARS NO LIABILITY FOR THE CONTRACTOR'S IMPLEMENTATION OF THIS TRAFFIC CONTROL PLAN.

## STORM SEWER NOTES - GENERAL

1. STORM SEWER PIPE SHALL BE AS NOTED ON PLANS AND CONFORM TO THE REQUIREMENTS BELOW.
2. STORM SEWER MATERIALS AND TESTING SHALL MEET CLEAN WATER SERVICES (CWS) DESIGN AND CONSTRUCTION SPECIFICATIONS AND THE CITY OF SHERWOOD'S ENGINEERING DESIGN MANUAL.
3. ALL STORM SERVICE STUB OUTS SHALL EXTEND A MINIMUM OF THREE FEET (3') BEYOND EASEMENT OR RIGHT-OF-WAY LINE AND BE MARKED WITH A PRESSURE TREATED 2" X 4". THE TOP 12" SHALL BE PAINTED WHITE AND LABELED 'ST' FOR FUTURE LOCATION. THE 2" X 4" SHALL BE MARKED WITH DETECTABLE UNDERGROUND MAGNETIC TAPE GREEN IN COLOR AND BE MARKED "CAUTION STORM DRAIN BURIED BELOW". THE MAGNETIC TAPE SHALL BE PLACED FROM THE MAIN PIPELINE TO THE END OF THE SIDE LATERAL WITH 18" OF SEPARATION BETWEEN THE TAPE AND PIPE. THE SERVICE LATERAL SHALL ALSO HAVE TRACER WIRE INSTALLED. THE TRACER WIRE SHALL BE 12-GAGE STRANDED COPPER WIRE WITH WHITE HMW-PE INSULATION. TRACER WIRE SHALL RUN TO THE TOP OF THE 2 X 4 MARKER. STORM SERVICE STUB OUTS TO BE A MINIMUM OF 4-INCH DIAMETER PIPE AND HAVE A MINIMUM SLOPE OF 2%.
4. ALL STORM SEWER LINES SHALL BE VIDEO INSPECTED BY THE CONTRACTOR. TESTING AND INSPECTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES. THIS WILL BE WITNESSED BY THE CITY. MINIMUM 48 HOUR NOTICE IS REQUIRED. CITY WITNESSED VIDEO INSPECTION SHALL OCCUR AFTER THE PLACEMENT OF ASPHALT. CITY STRONGLY ENCOURAGES VIDEO INSPECTION BY THE DEVELOPER AND/OR CONTRACTOR PRIOR TO ASPHALT PLACEMENT. SHOULD CONTRACTOR OR DEVELOPER HAVE QUESTIONS REGARDING SPECIFIC SECTIONS OF PRE-ASPHALT VIDEO, CITY INSPECTOR SHALL PROVIDE A RECOMMENDATION UPON THE ACCEPTABILITY OF THE SECTION IN QUESTION.
5. ALL STORM SEWER LINES SHALL HAVE A MANDREL PASSED THROUGH TO CHECK DEFLECTION. THIS WILL BE WITNESSED BY THE CITY. MINIMUM 48 HOUR NOTICE IS REQUIRED.
6. ANY NEW LATERAL TAPS INTO AN EXISTING STORM SEWER WILL REQUIRE VIDEO INSPECTION OF THAT EXISTING SEWER.

## WATER SYSTEM NOTES - GENERAL

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL APPLICABLE CITY CODES AND STANDARDS, THE OREGON STATE HEALTH DIVISION ADMINISTRATION RULES, A.W.W.A. STANDARDS, A.P.W.A. STANDARDS, AND CITY OF SHERWOOD ENGINEERING DESIGN AND DETAILS MANUAL.
2. ALL PIPE SHALL HAVE MINIMUM COVER OF THREE-FEET BELOW THE FUTURE FINISHED GRADES IN EASEMENTS AND STREET RIGHT-OF-WAYS.
3. ALL VALVES SHALL BE PER CITY OF SHERWOOD WATER SYSTEM STANDARDS AND CITY CODES, STANDARD DETAILS, AND DRAWINGS.
4. ALL FIRE HYDRANTS SHALL BE PER CITY WATER SYSTEM STANDARDS AND CITY CODES, STANDARD DETAILS, AND DRAWINGS.
5. ALL TEES, ELBOWS, BENDS, AND BLOW-OFF LOCATIONS SHALL, UNLESS OTHERWISE NOTED, HAVE A POURED-IN-PLACE CONCRETE THRUST BLOCK PER CITY OF SHERWOOD STANDARDS.
6. ALL SANITARY SEWER LINES WITHIN 10 FEET LATERALLY OR 18 INCHES VERTICALLY OF A WATER MAIN SHALL BE ENCASED IN CONCRETE, OR CONSTRUCTED OF DUCTILE IRON PIPE WITH WATERTIGHT JOINTS.
7. ANY CROSSING OF WATER MAIN BY SANITARY SEWER SHALL BE MADE AT APPROXIMATELY 90 DEGREES AND HAVE 18 INCHES OF VERTICAL CLEARANCE OR SANITARY SEWER SHALL BE CONSTRUCTED OF DUCTILE IRON WATER PIPE WITH WATERTIGHT JOINTS FOR A DISTANCE OF 9 FEET FROM BOTH SIDES OF THE WATER LINE AND ENCASED IN CONCRETE.
8. JOINT DEFLECTION ALLOWED ONLY WITH THE APPROVAL OF THE PROJECT ENGINEER AND INSPECTOR AND BE PER CITY OF SHERWOOD STANDARDS.
9. OREGON HEALTH AUTHORITY BACTERIOLOGICAL TESTS SHALL BE TAKEN BY THE CITY OF SHERWOOD.
10. HYDROSTATIC TESTS SHALL CONFORM WITH ALL APPLICABLE CODES AND BE MONITORED BY THE INSPECTOR OR PROJECT ENGINEER.
11. DISINFECTION: PIPELINES SHALL BE FLUSHED AND DISINFECTED BEFORE PLACING INTO SERVICE, AFTER PERFORMING HYDROSTATIC TESTING. DISINFECTION SHALL CONFORM WITH ALL APPLICABLE CODES. DISCHARGING OF THE HIGHLY CHLORINATED WATER USED FOR DISINFECTION SHALL NOT BE DISCHARGED INTO SURFACE WATERS. APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS CONCERNING DISCHARGE SHALL BE FOLLOWED. TESTING AND INSPECTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES.
12. PRIOR TO TAPPING INTO EXISTING WATER MAINS, THE CONTRACTOR WILL CONTACT THE CITY OF SHERWOOD WATER DEPARTMENT INSPECTOR.
13. OPERATION OF WATER VALVES BY CONTRACTOR IS PROHIBITED.
14. CONTRACTOR SHALL NOT BACKFILL TRENCH UNTIL WATER LINE INSPECTION IS APPROVED.
15. CONTACT RICH SATTLER AT (503) 925-2319, CITY OF SHERWOOD PUBLIC WORKS, A MINIMUM OF 48 HOURS IN ADVANCE TO SCHEDULE WATER LINE INSPECTIONS.
16. NEW FIRE HYDRANTS TO HAVE STORZ QUICK ADAPTER ON 4 ½" PORT.
17. INSTALL BLUE REFLECTOR AT CENTER LINE OF ROADWAY(S) PERPENDICULAR TO FIRE HYDRANT.
18. ALL WATER LINE JOINTS SHALL BE RESTRAINED.
19. WATER METER TO HAVE 3' MINIMUM CLEARANCE TO LIGHT POLES, TREES, SIGNS, OTHER UTILITIES, ETC.

## SANITARY SEWER NOTES - GENERAL

1. SANITARY SEWER PIPE MATERIAL SHALL BE AS NOTED ON PLANS AND CONFORM TO THE REQUIREMENTS BELOW.
2. SANITARY SEWER MATERIALS AND TESTING SHALL MEET CLEAN WATER SERVICES (CWS) DESIGN AND CONSTRUCTION SPECIFICATIONS AND THE CITY OF SHERWOOD'S ENGINEERING DESIGN MANUAL.
3. ALL SANITARY SERVICE STUB OUTS SHALL EXTEND A MINIMUM OF THREE FEET (3') BEYOND EASEMENT OR RIGHT-OF-WAY LINE AND BE MARKED WITH A PRESSURE TREATED 2 X 4. THE TOP 12" SHALL BE PAINTED GREEN AND LABELED 'SS' FOR FUTURE LOCATION. THE 2 X 4 SHALL BE MARKED WITH DETECTABLE UNDERGROUND MAGNETIC TAPE GREEN IN COLOR AND BE MARKED "CAUTION SEWER BURIED BELOW". THE MAGNETIC TAPE SHALL BE PLACED FROM THE MAIN PIPELINE TO THE END OF THE SIDE LATERAL WITH 18" OF SEPARATION BETWEEN THE TAPE AND PIPE. THE SERVICE LATERAL SHALL ALSO HAVE TRACER WIRE INSTALLED. THE TRACER WIRE SHALL BE 12-GAGE STRANDED COPPER WIRE WITH GREEN HMW-PE INSULATION. TRACER WIRE SHALL RUN TO THE TOP OF THE 2 X 4 MARKER. STORM SERVICE STUB OUTS TO BE A MINIMUM OF 4-INCH DIAMETER PIPE AND HAVE A MINIMUM SLOPE OF 2%.
4. ALL SANITARY SEWER LINES SHALL BE VIDEO INSPECTED BY THE CONTRACTOR AND HAVE A MANDREL PASSED THROUGH TO CHECK DEFLECTION. TESTING AND INSPECTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES. THIS WILL BE WITNESSED BY THE CITY. MINIMUM 48 HR NOTICE IS REQUIRED. CITY WITNESSED VIDEO INSPECTION SHALL OCCUR AFTER THE PLACEMENT OF ASPHALT. CITY STRONGLY ENCOURAGES VIDEO INSPECTION BY THE DEVELOPER AND/OR CONTRACTOR PRIOR TO ASPHALT PLACEMENT. SHOULD CONTRACTOR OR DEVELOPER HAVE QUESTIONS REGARDING SPECIFIC SECTIONS OF PRE-ASPHALT VIDEO, CITY INSPECTOR SHALL PROVIDE A RECOMMENDATION UPON THE ACCEPTABILITY OF THE SECTION IN QUESTION.
5. ALL SANITARY SEWER LINES SHALL BE AIR TESTED. ALL MANHOLES SHALL BE HYDROSTATICALLY TESTED OR VACUUM TESTED. TESTING AND INSPECTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES. THIS WILL BE WITNESSED BY THE CITY. MINIMUM 48 HOUR NOTICE IS REQUIRED.
6. ANY NEW LATERAL TAPS INTO AN EXISTING SANITARY SEWER WILL REQUIRE VIDEO INSPECTION OF THAT EXISTING SEWER.

### ABBREVIATIONS

|        |                          |            |                                |
|--------|--------------------------|------------|--------------------------------|
| AC     | ASPHALT CONCRETE         | PC         | POINT OF CURVATURE             |
| ACP    | ASBESTOS CEMENT PIPE     | PCC        | POINT OF COMPOUND CURVATURE    |
| AB     | AGGREGATE BASE           | PI         | POINT OF INTERSECTION          |
| BCR    | BEGIN CURB RETURN        | PL         | PROPERTY LINE                  |
| BM     | BENCH MARK               | PRC        | POINT OF REVERSE CURVATURE     |
| BVC    | BEGIN VERTICAL CURVE     | PT         | POINT OF TANGENCY              |
| CIP    | CAST IRON PIPE           | PVC        | POLY-VINYL CHLORIDE            |
| CJ     | CONTROL JOINT            | R          | RADIUS                         |
| CL     | CLASS                    | RCP        | REINFORCED CONCRETE PIPE       |
| C      | CENTERLINE               | R/W        | RIGHT-OF-WAY                   |
| CMP    | CORRUGATED METAL PIPE    | S          | SEWER                          |
| CMU    | CONCRETE MASONARY UNIT   | SD         | STORM DRAIN                    |
| CO     | CLEANOUT                 | SL         | SEWER LATERAL                  |
| CTV    | CABLE TELEVISION         | STA        | STATION                        |
| DI     | DROP INLET               | STD. DETL. | STANDARD DETAIL                |
| DIP    | DUCTILE IRON PIPE        | T          | TELEPHONE                      |
| E      | ELECTRICAL               | TB         | THRUST BLOCK                   |
| ECR    | END CURB RETURN          | TC         | TOP OF CURB                    |
| EJ     | EXPANSION JOINT          | TCN        | TOP OF CONCRETE                |
| EL     | ELEVATION                | TD         | TOP OF DIKE                    |
| EVC    | END VERTICAL CURVE       | TF         | TOP OF FOOTING                 |
| EX     | EXISTING                 | TG         | TOP OF GRATE                   |
| FF     | FINISH FLOOR             | TI         | TRAFFIC INDEX                  |
| FG     | FINISH GRADE             | TL         | TRAFFIC LIGHT                  |
| FH     | FIRE HYDRANT             | TP         | TOP OF PAVEMENT                |
| FL     | FLOWLINE                 | TYP.       | TYPICAL                        |
| FLG    | FLANGE                   | TW         | TOP OF WALL                    |
| G      | GAS                      | VCP        | VITRIFIED CLAY PIPE            |
| GM     | GAS METER                | VPI        | VERTICAL POINT OF INTERSECTION |
| GB     | GRADE BREAK              | W          | WATER                          |
| GSP    | GALVANIZED STEEL PIPE    | WM         | WATER METER                    |
| HP     | HIGH POINT               | WV         | WATER VALVE                    |
| L      | CURVE LENGTH             | Δ          | DELTA (CURVE CENTRAL ANGLE)    |
| LF     | LINEAL FEET              | ±          | APPROXIMATELY                  |
| MH     | MANHOLE                  | %          | PERCENT                        |
| MJ     | MECHANICAL JOINT         | <          | LESS THAN                      |
| N.I.C. | NOT INCLUDED IN CONTRACT | >          | GREATER THAN                   |
| OCEW   | ON CENTER EACH WAY       |            |                                |

## GENERAL NOTES

01/2022  
Date

01/2022  
Date

01/2022  
Date

REF.

ML5  
Designed by

TCC  
Drawn by

ML5  
Reviewed by

112-026  
Project No.

N/A  
Horiz. Scale:

N/A  
Vert. Scale:

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By

Revision

Date

No.

Project

SHERWOOD OLDTOWN APARTMENTS

No.

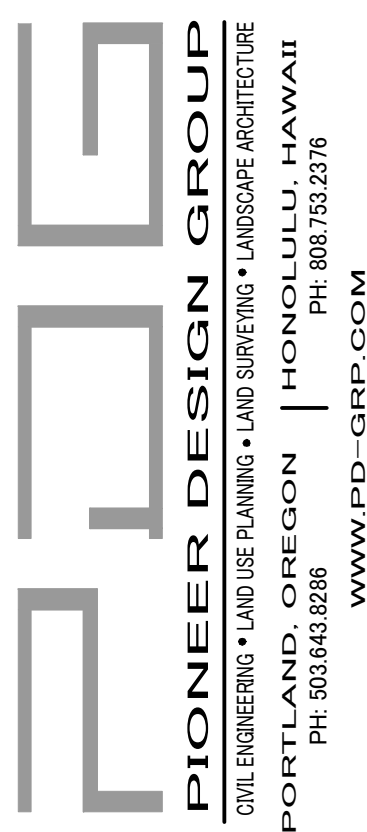
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Type

PLANNING

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SHERWOOD OLDTOWN APARTMENTS  
15665 SW WILLAMETTE ST., SHERWOOD, OREGON 97140

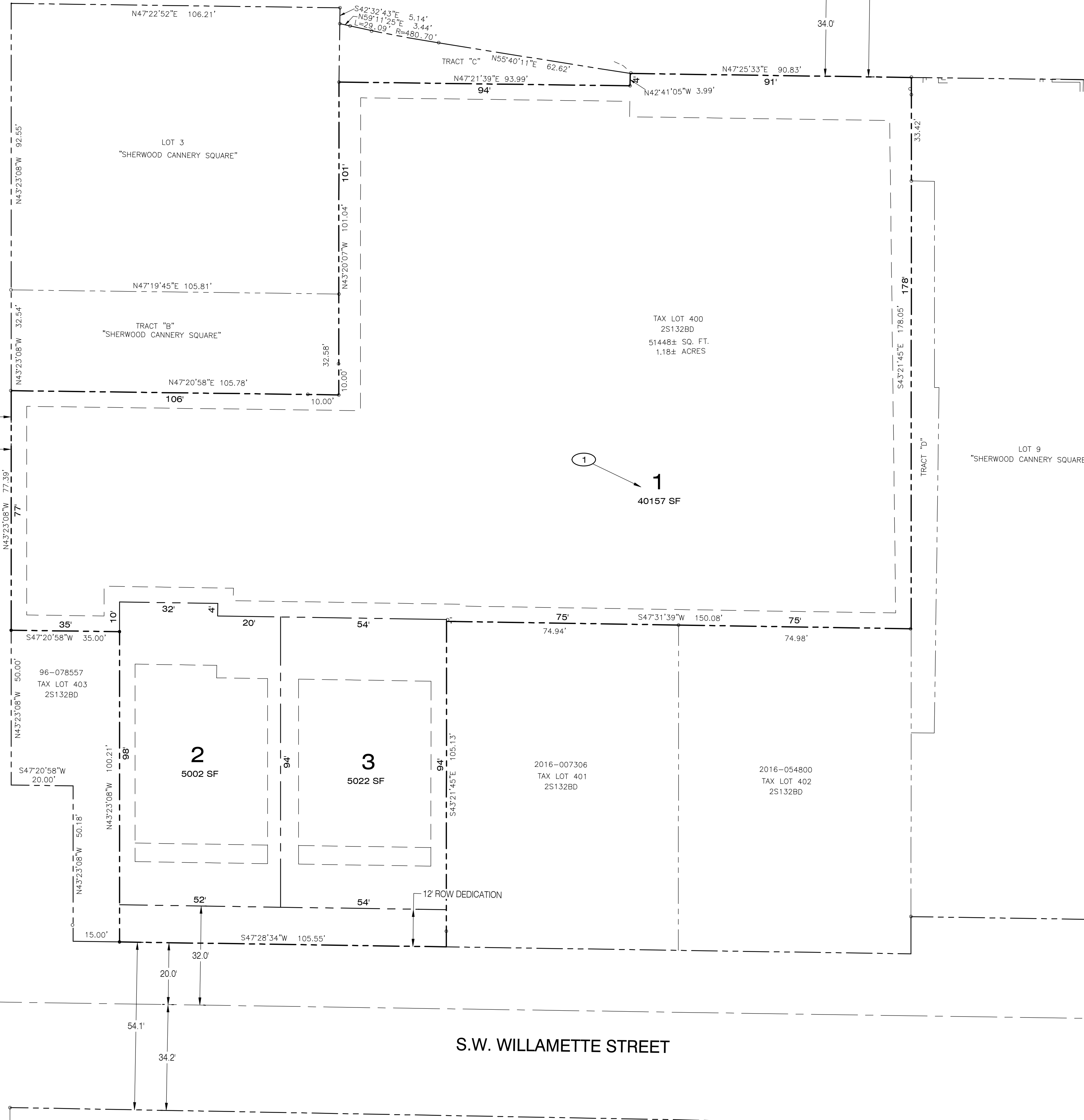
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S.W. EDGE  
GRIBBLE LANE

S.W. PINE STREET

S.W. COLUMBIA STREET

S.W. WILLAMETTE STREET



TAX LOT 400  
2S132BD  
51448± SQ. FT.  
1.18± ACRES

1  
40157 SF

2  
5002 SF

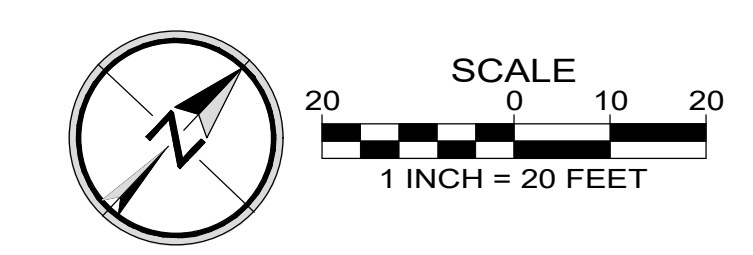
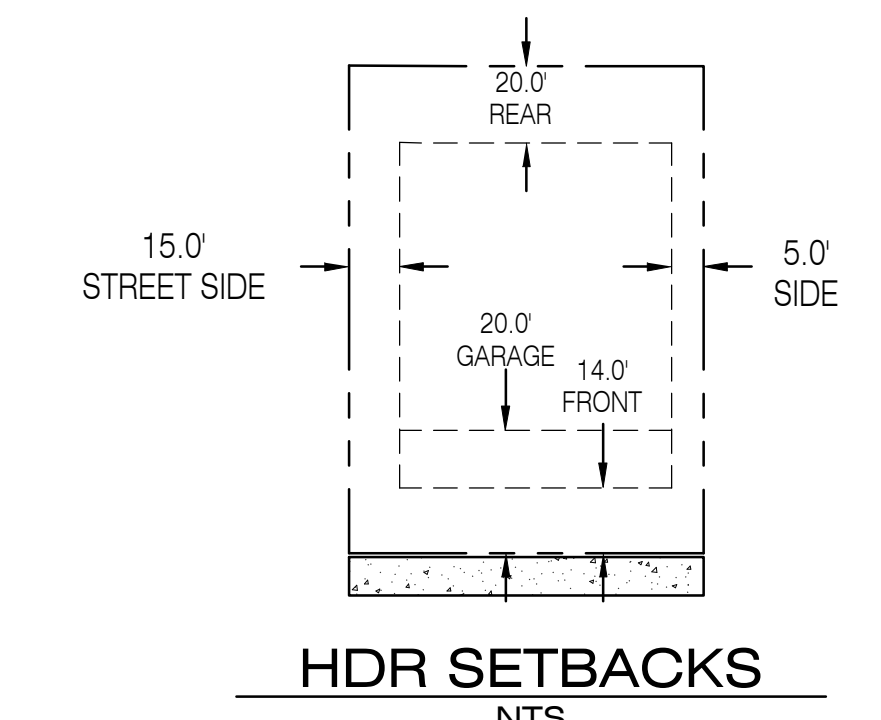
3  
5022 SF

2016-007306  
TAX LOT 401  
2S132BD

2016-054800  
TAX LOT 402  
2S132BD

### EASEMENT NOTES

- 1 LOT 1 WILL HAVE A PUBLIC ACCESS, EMERGENCY ACCESS, STORM SEWER, SANITARY SEWER, WATER, AND PUBLIC UTILITY EASEMENT OVER ITS ENTIRETY TO SERVE THE PROPOSED TOWNHOUSES ON THE LOT.



### PRELIMINARY PLAT

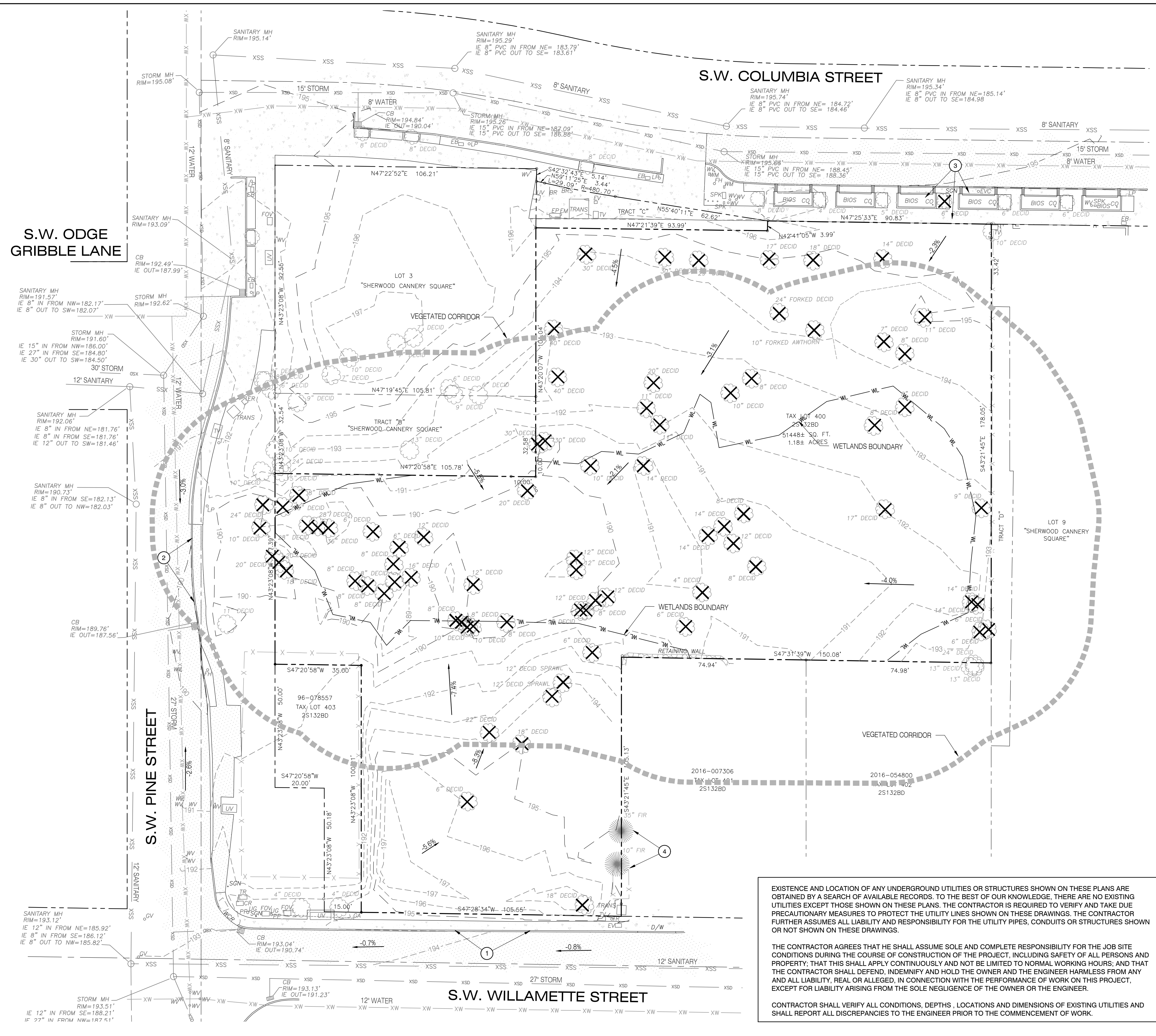
SHERWOOD OLDTOWN APARTMENTS  
15665 SW WILLAMETTE ST., SHERWOOD, OREGON 97140

| Designed by   | MLS     | Date | 01/2022 |
|---------------|---------|------|---------|
| Drawn by      | TCC     | Date | 01/2022 |
| Reviewed by   | MLS     | Date | 01/2022 |
| Project No.   | 112-026 | REF. |         |
| Horiz. Scale: | N/A     |      |         |
| Vert. Scale:  | N/A     |      |         |

| By | Revision | Date | No. |
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Project  
SHERWOOD OLDTOWN APARTMENTS  
No. 112-026  
Type PLANNING  
Sheet

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**LEGEND**

- RIGHT-OF-WAY LINE
- BOUNDARY LINE
- EXISTING LOT LINE
- CENTER LINE
- xsd STORM DRAINAGE LINE
- xss SANITARY SEWER LINE
- xw WATER LINE
- x EXISTING FENCE
- 201 EXISTING 1' CONTOUR
- 200 EXISTING 5' CONTOUR
- ☀ CONIFEROUS TREE (DBH)
- ☁ DECIDUOUS TREE (DBH)
- ☐ CATCH BASIN/DRAIN INLET
- STORM MANHOLE
- CO STORM CLEANOUT
- WW SANITARY MANHOLE
- FH WATER VALVE
- WM FIRE HYDRANT ASSEMBLY
- GV WATER METER
- SGN GAS VALVE
- TRANS STREET SIGN
- PP ELECTRICAL TRANSFORMER
- BR POWER POLE
- LP BIKE RACK
- FOUND SURVEY MONUMENT
- EXISTING CONCRETE
- EXISTING ASPHALT PAVEMENT
- ☀ CONIFEROUS TREE TO BE REMOVED
- ☁ DECIDUOUS TREE TO BE REMOVED
- WL WETLAND BOUNDARY
- VEGETATED CORRIDOR

**DEMOLITION NOTES**

- 1 EXISTING CURB AND SIDEWALK TO BE REMOVED FRONTING THE SITE ON SW WILLAMETTE STREET.
- 2 A PORTION OF THE EXISTING CURB AND ASPHALT SIDEWALK TO BE REMOVED ALONG SW PINE STREET.
- 3 A PORTION OF THE EXISTING CURB, SIDEWALK, AND LIDA FACILITIES TO BE REMOVED ALONG SW COLUMBIA STREET.
- 4 EXISTING TREES TO BE PROTECTED DURING CONSTRUCTION.

**GENERAL NOTES**

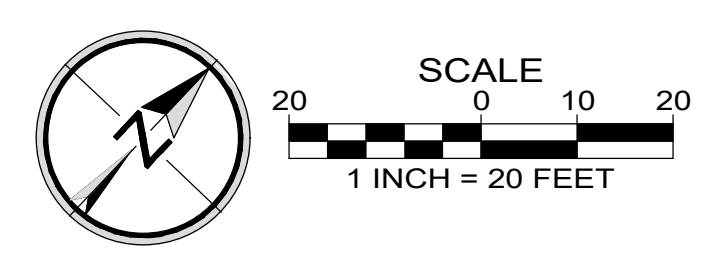
- 1 TOPOGRAPHIC SURVEY PROVIDED BY CASWELL/HERTEL SURVEYORS INC., DATED APRIL 12, 2021.

| TREE TABLE            |          |
|-----------------------|----------|
| TREE DIAMETER         | QUANTITY |
| DECIDUOUS, 7-12" DBH  | 29       |
| DECIDUOUS, 12-18" DBH | 18       |
| DECIDUOUS, 18-24" DBH | 9        |
| DECIDUOUS, >24" DBH   | 12       |
| EVERGREEN, 10" DBH    | 1        |
| EVERGREEN, 35" DBH    | 1        |

EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT THOSE SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO VERIFY AND TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN ON THESE DRAWINGS. THE CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN OR NOT SHOWN ON THESE DRAWINGS.

THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

CONTRACTOR SHALL VERIFY ALL CONDITIONS, DEPTHS, LOCATIONS AND DIMENSIONS OF EXISTING UTILITIES AND SHALL REPORT ALL DISCREPANCIES TO THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK.



| Designed by | Date    | Drawn by | Date    | Reviewed by | Date    | Project No. | Horiz. Scale: | Vert. Scale: |
|-------------|---------|----------|---------|-------------|---------|-------------|---------------|--------------|
| MLS         | 01/2022 | TCC      | 01/2022 | MLS         | 01/2022 | 112-026     | N/A           | N/A          |

| No. | Date | Revision |
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S.W. OGDEN GIBBLE LANE

S.W. COLUMBIA STREET

S.W. PINE STREET

S.W. WILLAMETTE STREET

**LEGEND**

- 171 --- EXISTING 1' CONTOUR
- 175 --- EXISTING 5' CONTOUR
- 171 --- PROPOSED 1' CONTOUR
- 175 --- PROPOSED 5' CONTOUR
- X X X X PROPOSED EROSION CONTROL FENCING
- [Pattern] PROPOSED CONSTRUCTION ENTRANCE
- [Pattern] PROPOSED STOCKPILE LOCATION
- [Symbol] PROPOSED INLET PROTECTION (TYPE 5)
- [Symbol] PROPOSED INLET PROTECTION (TYPE 4)
- TC: 201.50  
BC: 201.00 TC = TOP OF CURB ELEVATION  
BC = BOTTOM OF CURB ELEVATION
- TP: 201.50 TP = TOP OF PAVEMENT ELEVATION
- FG 201.50  
EG: 201.00 FG = FINISH GRADE ELEVATION  
EG = EXISTING GROUND ELEVATION
- EX. BC: 201.50 EX. BC = EXISTING BOTTOM OF CURB ELEVATION
- > DRAINAGE FLOW DIRECTION

**EROSION CONTROL NOTES**

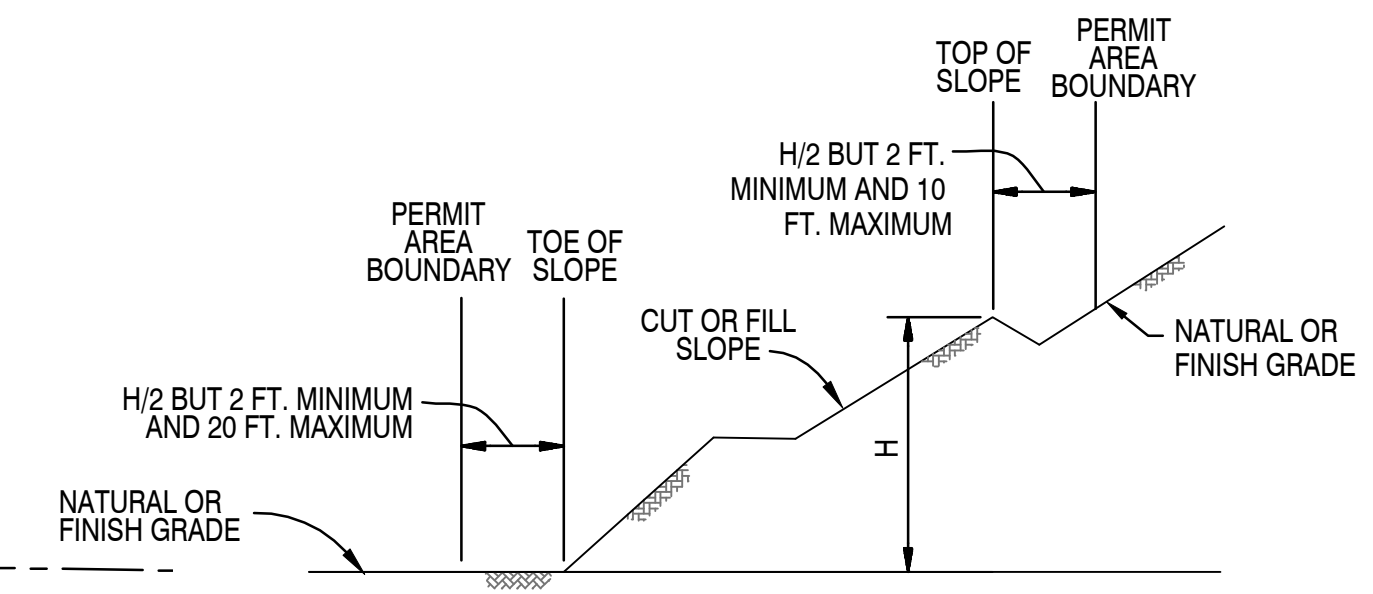
- 1 PROPOSED CONSTRUCTION ENTRANCE. SEE CWS STD. DWG. NO. 855.
- 2 PROPOSED PERIMETER SILT FENCE, TYP. SEE CWS STD. DWG. NO. 875.
- 3 PROPOSED TYPE 5 INLET PROTECTION, TYP. SEE CWS STD. DWG. NO. 920.
- 4 PROPOSED TYPE 4 INLET PROTECTION, TYP. SEE CWS STD. DWG. NO. 915.

**SITE MASS EARTHWORKS TABLE**

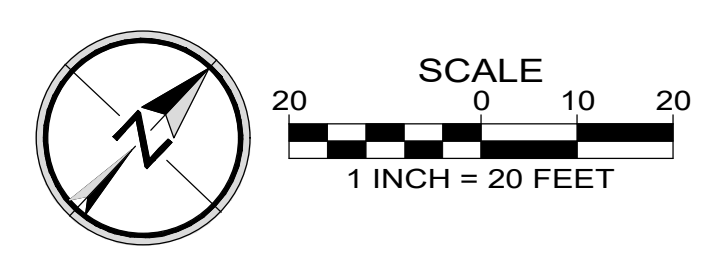
|                |               |
|----------------|---------------|
| STRIPPINGS     | 1,897 CY      |
| CUT            | 158 CY        |
| FILL           | 5,811 CY      |
| NET EARTHWORKS | 5,653 CY FILL |

**WETLANDS MASS EARTHWORKS TABLE**

|                |               |
|----------------|---------------|
| STRIPPINGS     | 772 CY        |
| CUT            | 0 CY          |
| FILL           | 3,341 CY      |
| NET EARTHWORKS | 3,341 CY FILL |



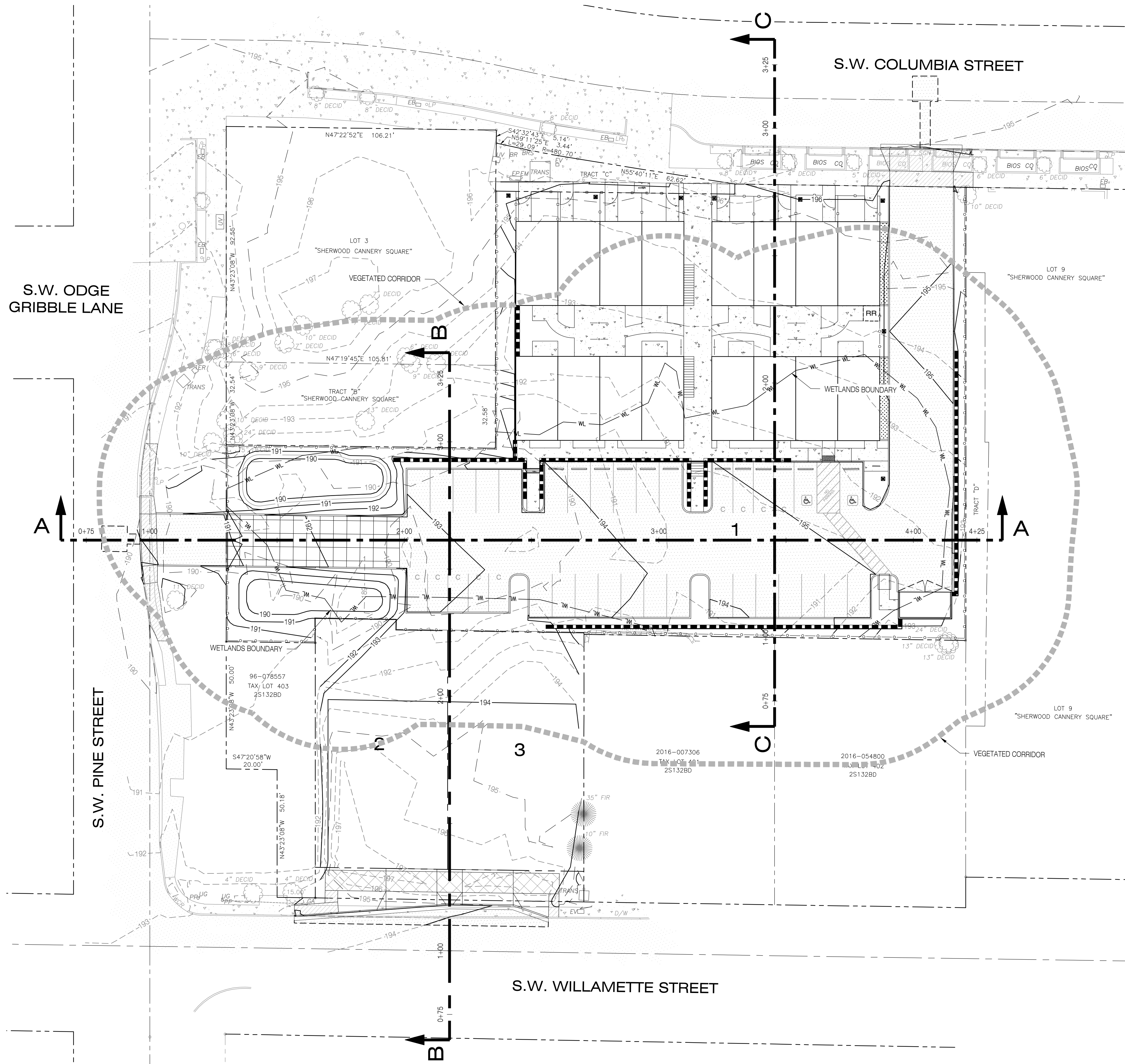
**GRADING SETBACK DIMENSIONS PER WCGO-14.12.300 FIGURE 4**  
NTS



| Designed by   | Date    | Reviewed by  | Date    |
|---------------|---------|--------------|---------|
| MLS           | 01/2022 | TCC          | 01/2022 |
| Reviewed by   | 01/2022 | Reviewed by  | 01/2022 |
| Project No.   | 112-026 | Project No.  | N/A     |
| Horiz. Scale: | N/A     | Vert. Scale: | N/A     |

| By | Revision | Date |
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**LEGEND**

|     |     |     |                     |
|-----|-----|-----|---------------------|
| --- | 171 | --- | EXISTING 1' CONTOUR |
| --- | 175 | --- | EXISTING 5' CONTOUR |
| --- | 171 | --- | PROPOSED 1' CONTOUR |
| --- | 175 | --- | PROPOSED 5' CONTOUR |

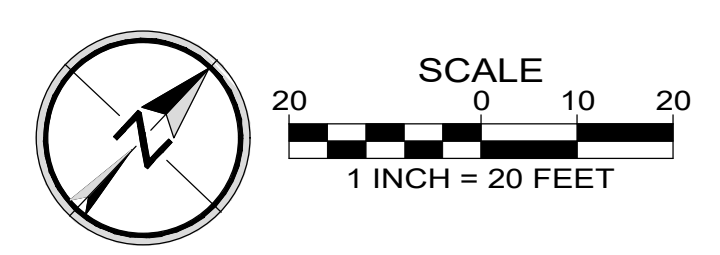
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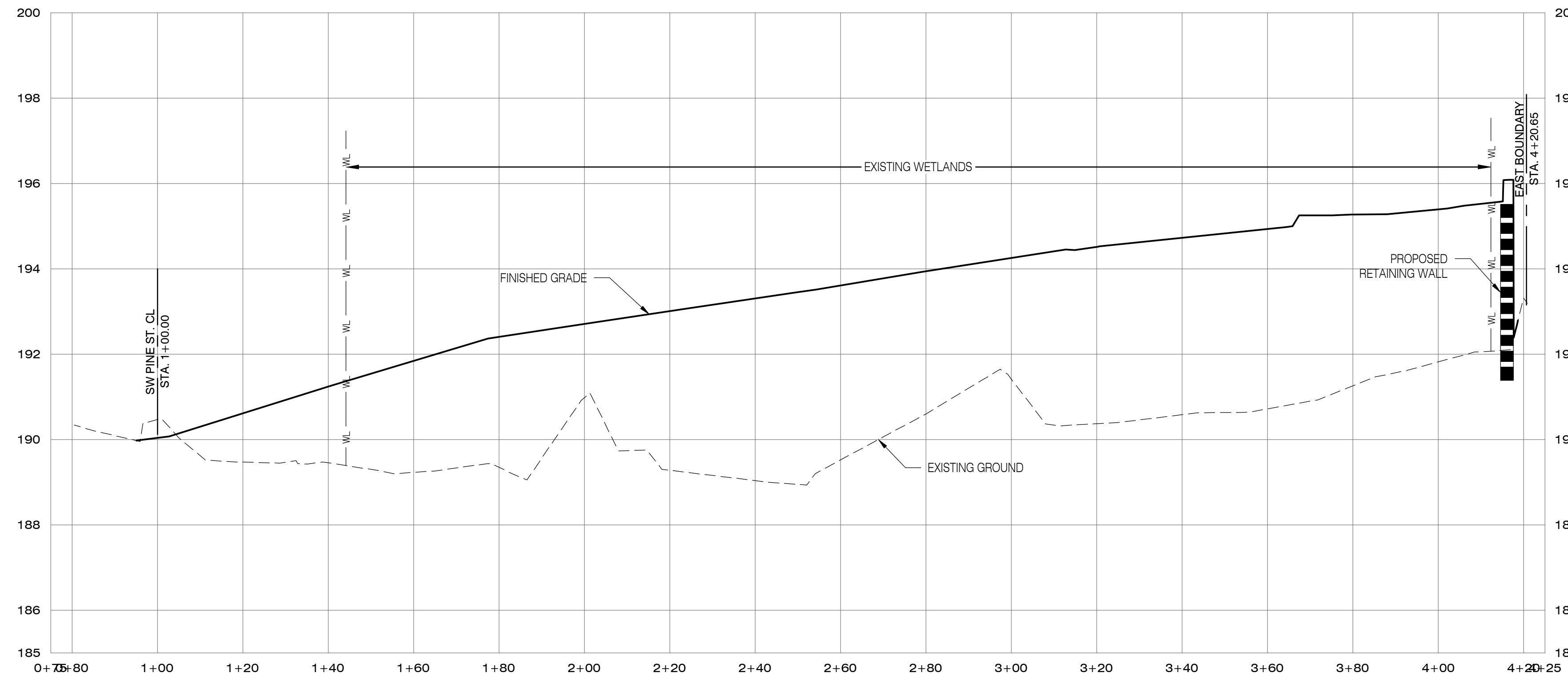
**SITE SECTIONS A-A, B-B & C-C - PLAN**  
 SHERWOOD OLDTOWN APARTMENTS  
 15665 SW WILLAMETTE ST., SHERWOOD, OREGON 97140

| Designed by   | MLS     | Date | 01/2022          |
|---------------|---------|------|------------------|
| Drawn by      | TCC     | Date | 01/2022          |
| Reviewed by   | MLS     | Date | 01/2022          |
| Project No.   | 112-026 | REF. |                  |
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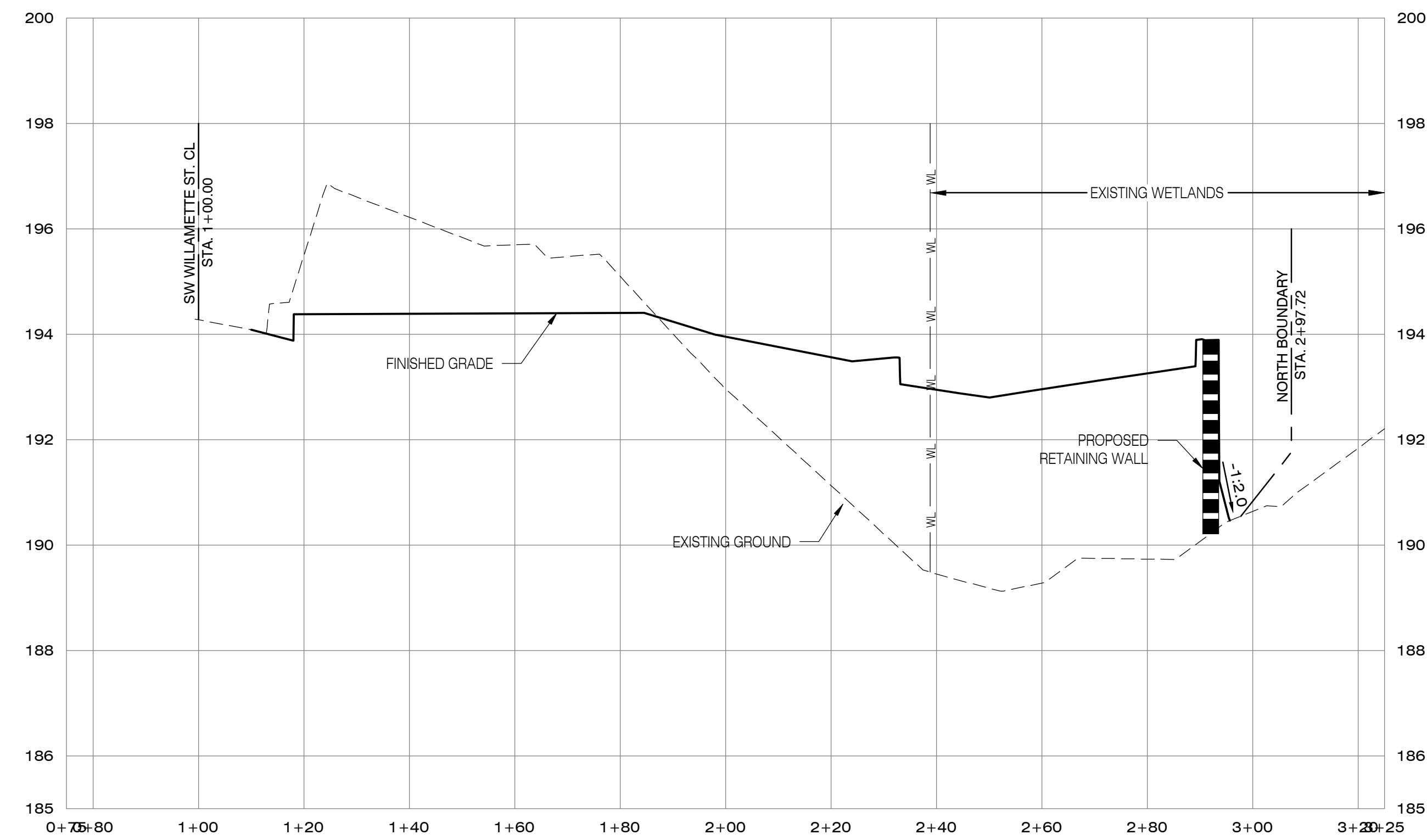
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Project: SHERWOOD OLDTOWN APARTMENTS  
 No. 112-026  
 Type: PLANNING  
 Sheet: **P2.1**

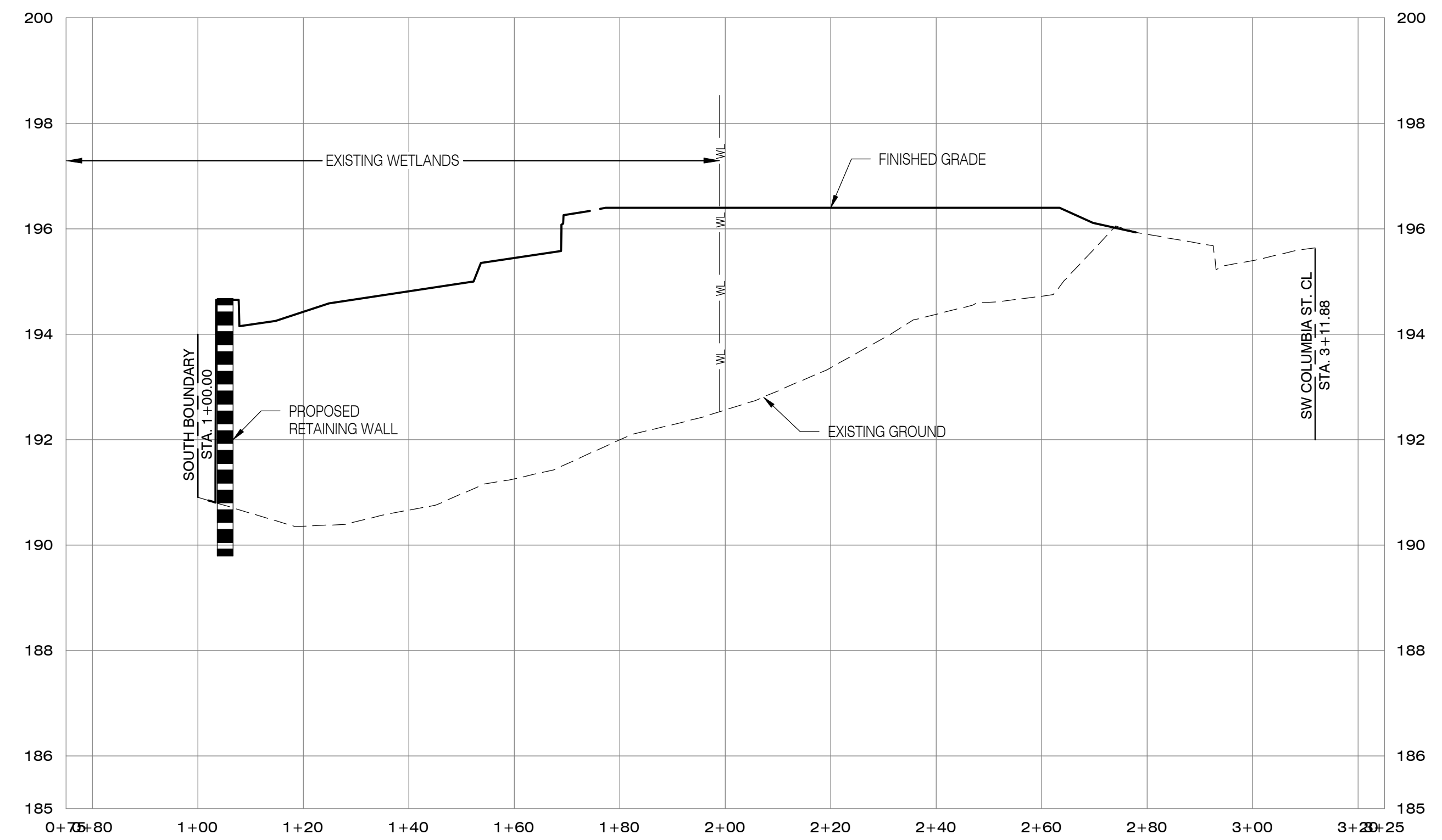




**SITE SECTION A-A - PROFILE**  
SCALE: 1"=30' (H), 1"=3' (V)

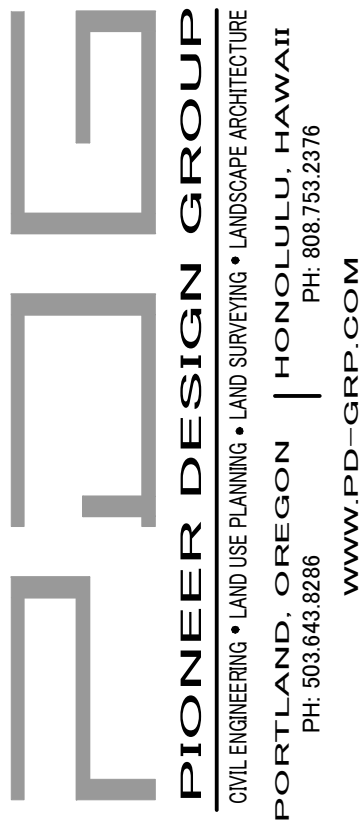


**SITE SECTION B-B - PROFILE**  
SCALE: 1"=30' (H), 1"=3' (V)



**SITE SECTION C-C - PROFILE**  
SCALE: 1"=30' (H), 1"=3' (V)

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**SITE SECTIONS A-A, B-B & C-C - PROFILE**

SHERWOOD OLDTOWN APARTMENTS  
15665 SW WILLAMETTE ST., SHERWOOD, OREGON 97140

| Designed by       | Date    | Drawn by | Date    | Reviewed by | Date    | Project No. | REF.             |
|-------------------|---------|----------|---------|-------------|---------|-------------|------------------|
| MLS               | 01/2022 | TCC      | 01/2022 | MLS         | 01/2022 | 112-026     |                  |
| Horiz. Scale: N/A |         |          |         |             |         |             | Vert. Scale: N/A |
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| No. | Date | Revision | By |
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Project: SHERWOOD OLDTOWN APARTMENTS  
No.: 112-026  
Type: PLANNING  
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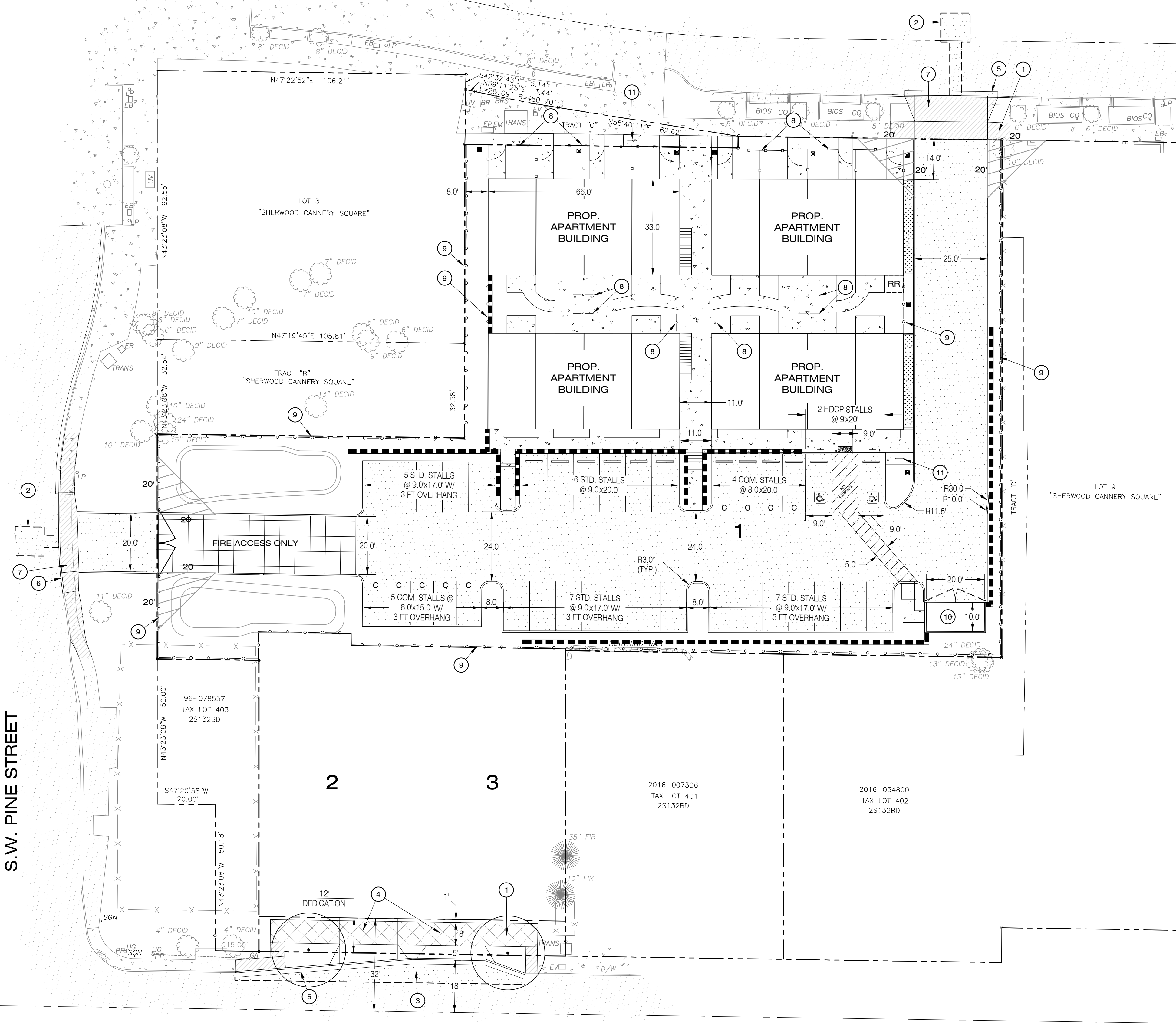
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S.W. ODE  
GRIBBLE LANE

S.W. PINE STREET

S.W. COLUMBIA STREET

S.W. WILLAMETTE STREET



**LEGEND**

- PROPERTY LINE / BOUNDARY
- ADJACENT PROPERTY LINE / RIGHT-OF-WAY
- CENTERLINE
- PROPOSED BUILDING
- PROPOSED STANDARD CURB
- PROPOSED CURB AND GUTTER
- PROPOSED 6-FOOT WOOD FENCE
- PROPOSED 3-FOOT METAL FENCE
- PROPOSED AC PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED CONCRETE PAVEMENT
- PROPOSED COMMERCIAL DRIVEWAY
- PROPOSED SIGN
- PROPOSED TREES (PUBLIC)
- PROPOSED LIGHT POLE
- EXISTING CONCRETE CURB
- EXISTING AC PAVEMENT
- EXISTING FENCE
- CLEAR VISION AREA

**CONSTRUCTION NOTES**

- 1 CONSTRUCT CONCRETE SIDEWALK WITH PLANTER STRIP. SEE CITY OF SHERWOOD DETAIL RD-26.
- 2 PROPOSED ASPHALT PAVEMENT TRENCH PATCH. SEE CITY OF SHERWOOD DETAILS RD-45 AND RD-47.
- 3 PROPOSED LOCAL STREET ASPHALT PAVEMENT SECTION. SEE CITY OF SHERWOOD DETAIL RD20.
- 4 INSTALL RESIDENTIAL DRIVEWAY PER CITY OF SHERWOOD DETAIL RD-41.
- 5 INSTALL CONCRETE CURB AND GUTTER. SEE CITY OF SHERWOOD DETAIL RD-22.
- 6 INSTALL CONCRETE STANDARD CURB. SEE CITY OF SHERWOOD DETAIL RD-21.
- 7 INSTALL COMMERCIAL DRIVEWAY. SEE CITY OF SHERWOOD DETAIL RD-42.
- 8 PROPOSED 3-FOOT TALL METAL FENCE.
- 9 PROPOSED 6-FOOT TALL WOOD FENCE.
- 10 INSTALL 10' X 20' SOLID WASTE COLLECTION AREA.
- 11 LONG-TERM BICYCLE PARKING (STAPLE DESIGN OR APPROVED EQUAL); 4 SPACES TOTAL.



**OVERALL SITE PLAN**

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| Drawn by      | TCC     | Date | 01/2022 |
| Reviewed by   | MLS     | Date | 01/2022 |
| Project No.   | 112-026 | REF. |         |
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| Vert. Scale:  | N/A     |      |         |

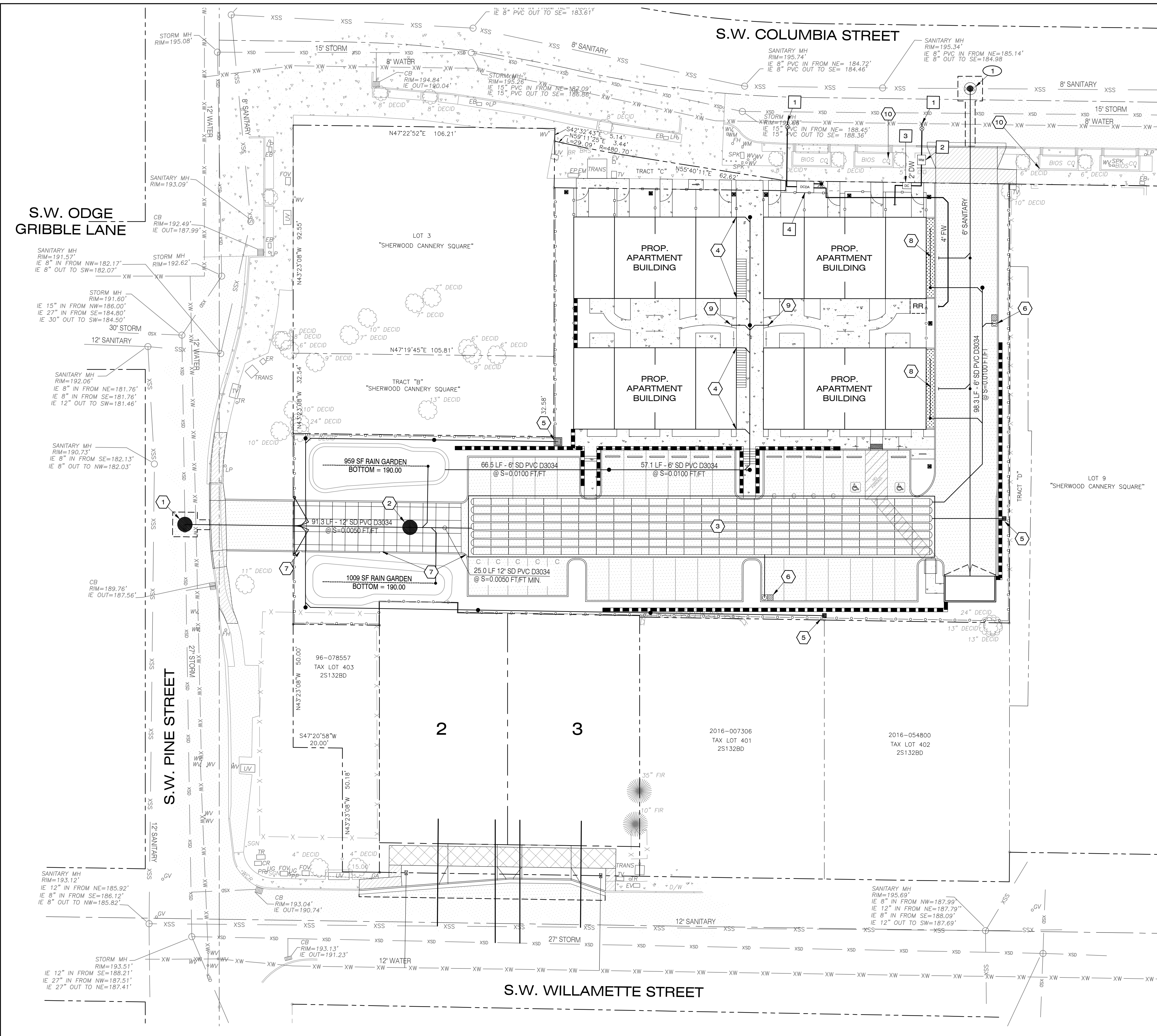
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Project  
SHERWOOD OLDTOWN APARTMENTS  
 No. 112-026  
 Type PLANNING  
 Sheet **P3.0**

SHERWOOD OLDTOWN APARTMENTS  
 15665 SW WILLAMETTE ST., SHERWOOD, OREGON 97140



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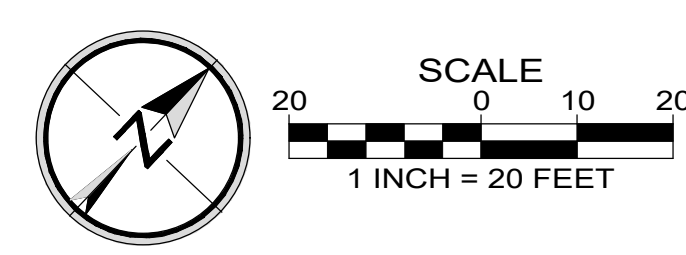
|      |   |
|------|---|
| DW   | PROPOSED DOMESTIC WATER LINE              |
| FW   | PROPOSED FIRE SERVICE LINE                |
| DCDA | PROPOSED DOUBLE CHECK DETECTOR ASSEMBLY   |
| ●    | PROPOSED CLEANOUT                         |
| ■    | PROPOSED CATCH BASIN                      |
| ▨    | PROPOSED FILTER CATCH BASIN               |
| SS   | PROPOSED SANITARY SEWER LINE              |
| SD   | PROPOSED STORM DRAIN LINE                 |
| FD   | PROPOSED FIRE DEPARTMENT CONNECTION (FDC) |
| WM   | PROPOSED WATER METER                      |
| DC   | PROPOSED DC                               |

- ### GENERAL UTILITY NOTES
- INSTALL CLEANOUTS EVERY 100' AND AT ALL BENDS 45° OR GREATER.
  - ALL ONSITE SANITARY AND STORM SEWER SYSTEMS SHALL BE PRIVATE.
  - THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
  - PRIVATE WATERLINES 3" AND SMALLER SHALL BE TYPE 'K' COPPER TUBING OR AS NOTED OTHERWISE.
  - STUB DOMESTIC WATER CONNECTION AND FIRE LINE 5.0 FEET FROM BUILDING. REFER TO PLUMBING PLANS FOR CONTINUATION.
  - RESTRAINT JOINTS SHALL MEET OREGON STATE PLUMBING CODE AND NFPA SECTION 10.8
  - COORDINATE WATER AND SEWER UTILITY LOCATIONS AT BUILDING WITH PLUMBING PLANS.

- ### STORM SEWER NOTES
- INSTALL 60" MANHOLE OVER EXISTING 27" STORM SEWER LINE.  
RIM = 190.19  
12" IE IN (NE) = 186.90  
27" IE IN (SE) = 185.65  
27" IE OUT (NW) = 185.65
  - INSTALL 60" FLOW CONTROL MANHOLE.  
RIM = 192.36  
12" IE IN (NE) = 187.56  
12" IE OUT (SW) = 187.36
  - 7 ROWS OF 26 DETENTION CHAMBERS (STORMTECH ADS SC-310)  
12" ROCK BASE, 6" ROCK COVER  
ROCK BOTTOM ELEV = 187.69  
CHAMBER BOTTOM ELEV = 188.69
  - CONNECT PROPOSED BUILDING DOWNSPOUTS TO 6" SD ROOF DRAIN LEADER.
  - CONSTRUCT 12" SQ. TRAPPED CATCH BASIN TO COLLECT RUNOFF FROM ADJACENT LOTS.
  - PROPOSED STORMFILTER CARTRIDGE CATCHBASIN TO TREAT RUNOFF FROM PARKING LOT.
  - CONSTRUCT CURB CUTS TO DIRECT RUNOFF INTO RAIN GARDEN.
  - PROPOSED LIDA PLANTERS
  - CONSTRUCT STORM SEWER STUB FOR PATIO DRAINAGE.
  - RECONNECT EXISTING PLANTERS ON EAST AND WEST SIDE OF PROPOSED DRIVEWAY WITH 4" PVC SD. NEW IRRIGATION PIPING TO BE SLEEVED THROUGH DRIVEWAY.

- ### WATER NOTES
- CONNECT TO EXISTING 8" WATERLINE.
  - INSTALL 2" WATER METER IN PLANTER STRIP.
  - INSTALL DOUBLE CHECK BACKFLOW PREVENTER FOR DOMESTIC SERVICE.
  - INSTALL 4" FIRE DOUBLE CHECK DETECTOR IN 577-WA VAULT WITH J-5ALH20 BILCO DOOR. MONITORING DEVICES TO BE PROVIDED FOR ELECTRICAL INTERCONNECTION TO THE FIRE CONTROL PANEL. COORDINATE ALARM SETTINGS WITH ELECTRICAL PLANS AND FIRE SPRINKLER CONTRACTOR.

- ### SANITARY SEWER NOTES
- INSTALL SANITARY SEWER MANHOLE OVER EXISTING 8" SEWER LINE.



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**PRELIMINARY COMPOSITE UTILITY PLAN**

SHERWOOD OLDTOWN APARTMENTS  
 15665 SW WILLAMETTE ST., SHERWOOD, OREGON 97140

| Designed by | Date    | Reviewed by | Date    | Project No. | Horiz. Scale | Vert. Scale |
|-------------|---------|-------------|---------|-------------|--------------|-------------|
| MLS         | 01/2022 | TCC         | 01/2022 | 112-026     | N/A          | N/A         |
| Drawn by    |         | Reviewed by |         | REF.        |              |             |
| MLS         | 01/2022 | MLS         | 01/2022 |             |              |             |

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| No. | Date | Revision |
|-----|------|----------|
| 1   |      |          |

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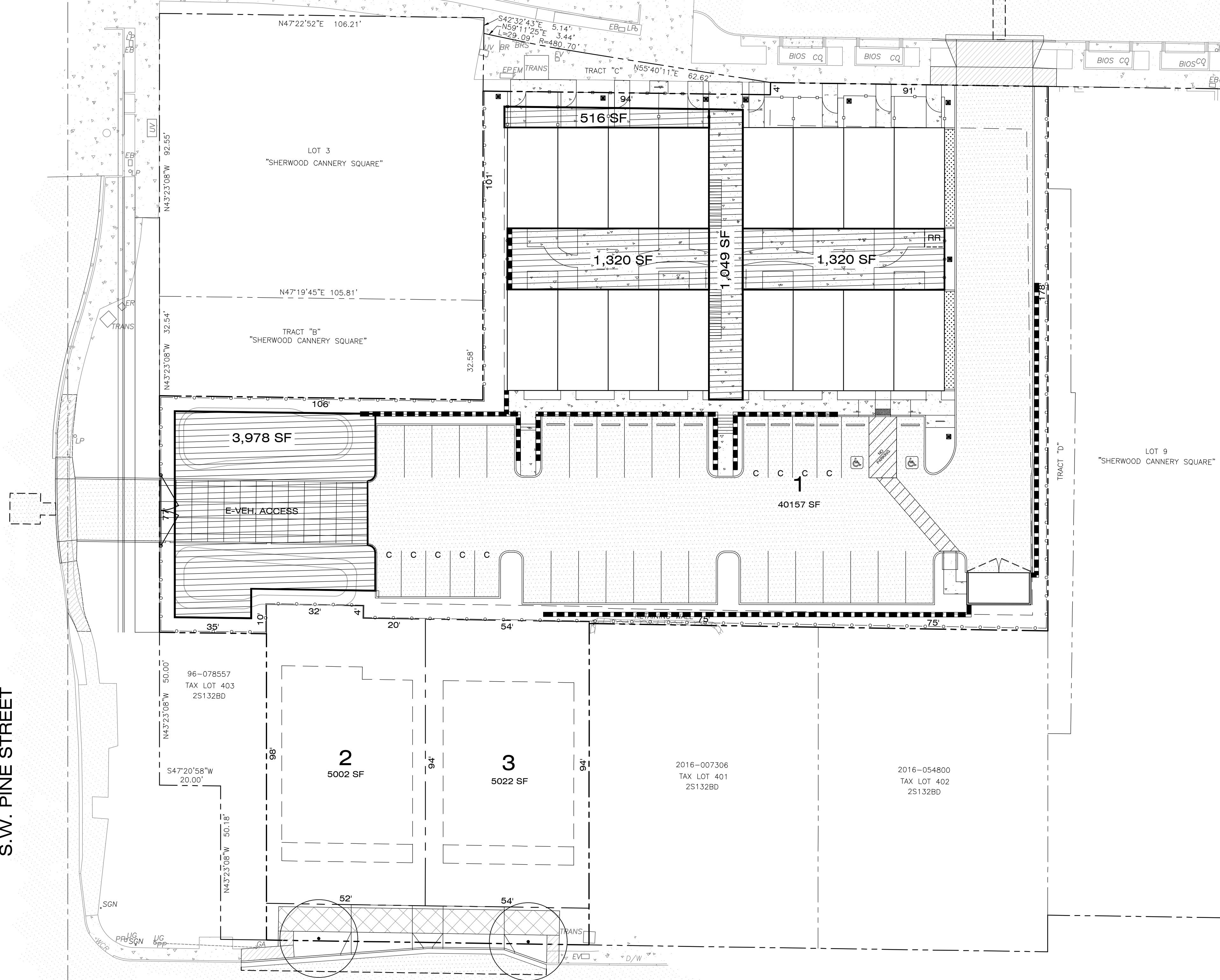
Project: SHERWOOD OLDTOWN APARTMENTS  
 No.: 112-026  
 Type: PLANNING  
 Sheet: **P3.1**

S.W. ODEG  
GRIBBLE LANE

S.W. PINE STREET

S.W. COLUMBIA STREET

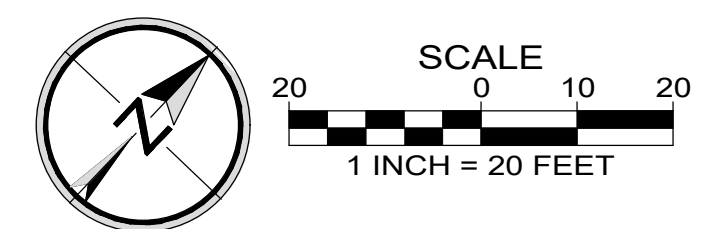
S.W. WILLAMETTE STREET



**LEGEND**

- PROPERTY LINE / BOUNDARY
- ADJACENT PROPERTY LINE / RIGHT-OF-WAY
- CENTERLINE
- PROPOSED BUILDING
- PROPOSED STANDARD CURB
- PROPOSED CURB AND GUTTER
- YARD SETBACK LINE
- COMMON AREA

**NOTE:** 220 SQUARE FEET OF SECOND LEVEL COMMON AREA ON ELEVATED WALKWAY.  
 REQUIRED COMMON AREA: 8,031 SQ. FT.  
 TOTAL COMMON AREA PROVIDED: 8,403 SQ. FT.



**COMMON AREA PLAN**

SHERWOOD OLDTOWN APARTMENTS  
 15665 SW WILLAMETTE ST., SHERWOOD, OREGON 97140

| Designed by   | MLS              | Date    |
|---------------|------------------|---------|
|               |                  | 01/2022 |
| Drawn by      | TCC              | Date    |
|               |                  | 01/2022 |
| Reviewed by   | MLS              | Date    |
|               |                  | 01/2022 |
| Project No.   | 112-026          | REF.    |
| Horiz. Scale: | N/A              |         |
| Vert. Scale:  | N/A              |         |
|               | 11226_40open.dwg |         |

| No. | Date | Revision |
|-----|------|----------|
|     |      |          |

**Project**  
 SHERWOOD OLDTOWN APARTMENTS  
**No.**  
 112-026  
**Type**  
 PLANNING  
**Sheet**

**RECOMMENDED PLANT LIST**

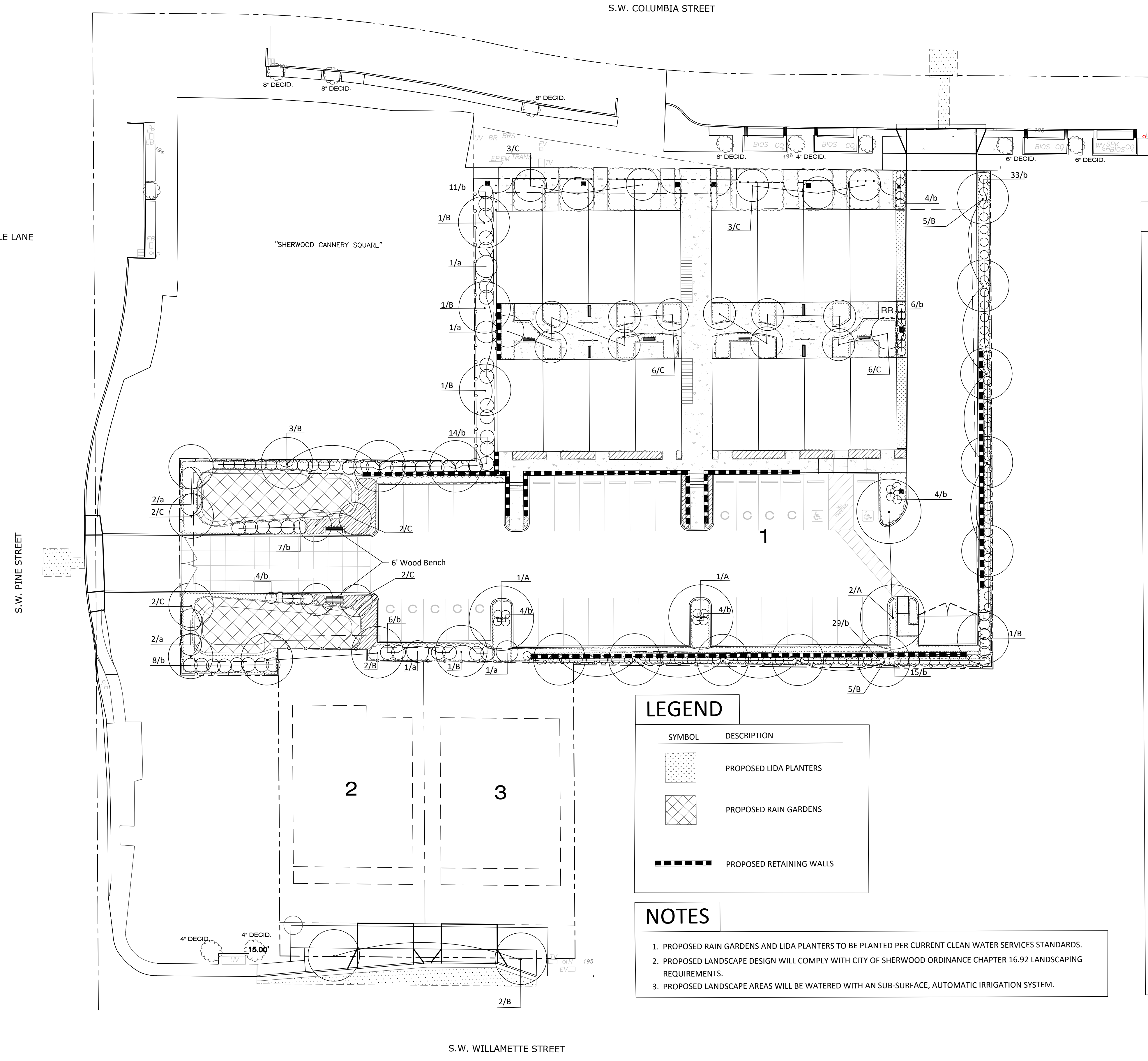
| SYMBOL                | COMMON NAME                   | BOTANICAL NAME                        | SIZE            |
|-----------------------|-------------------------------|---------------------------------------|-----------------|
| <b>A LARGE TREES</b>  |                               |                                       |                 |
|                       | Tulip Tree                    | Liriodendron tulipifera               | 2" cal.         |
|                       | Heritage River Birch          | Betula nigra 'Cully'                  | 2" cal.         |
|                       | Green Vase Zelkova            | Zelkova serrata 'Green Vase'          | 2" cal.         |
| <b>B MEDIUM TREES</b> |                               |                                       |                 |
|                       | Cleveland II Norway Maple     | Acer platanoides 'Cleveland'          | 2" cal.         |
|                       | Red Sunset Maple              | Acer rubrum 'Red Sunset'              | 2" cal.         |
|                       | Redbud                        | Cercis canadensis                     | 2" cal.         |
|                       | Excelsa Red Cedar             | Thuja plicata 'Excelsa'               | 8'              |
|                       | Flowering Cherry              | Prunus species.                       | 2" cal.         |
|                       | Persian Ironwood              | Parrotia persica                      | 2" cal.         |
| <b>C SMALL TREES</b>  |                               |                                       |                 |
|                       | Sango Kaku Japanese Maple     | Acer palmatum 'Sango Kaku'            | 2" cal.         |
|                       | Fastigiata Beech              | Fagus sylvatica 'Fastigiata'          | 2" cal.         |
|                       | Dynamite Crape Myrtle         | Lagerstromia 'Dynamite'               | 2" cal.         |
|                       | Bloodgood Japanese Maple      | Acer palmatum 'Bloodgood'             | 2" cal.         |
|                       | Columnar Colorado Spruce      | Picea pungens glauca 'Fastigiata'     | 8'              |
|                       | Prairie Fire Crabapple        | Malus x 'Prairie Fire'                | 2" cal.         |
| <b>LARGE SHRUBS</b>   |                               |                                       |                 |
| a                     | Gilt Edge Elaeagnus           | Elaeagnus x ebbingei 'Gilt Edge'      | 10 gal          |
|                       | Spring Bouquet Viburnum       | Viburnum tinus 'Spring Bouquet'       | 10 gal          |
|                       | Manesii Viburnum              | Viburnum plicata tom. 'Manesii'       | 10 gal          |
|                       | Arctic Fire Redtwig Dogwood   | Cornus alba 'Farrow'                  | 10 gal          |
|                       | King Edward VII Fl. Currant   | Ribes sanguineum 'King Edward VII'    | 10 gal          |
| <b>MEDIUM SHRUBS</b>  |                               |                                       |                 |
| b                     | Wiri Blush Hebe               | Hebe 'Wiri Blush'                     | 5 gal           |
|                       | Ed Goucher Abelia             | Abelia g. 'Ed Goucher'                | 5 gal           |
|                       | Landmark Rhododendron         | Rhododendron x 'Landmark'             | 24-30"          |
|                       | Compact Nandina               | Nandina domestica 'Compacta'          | 5 gal           |
|                       | Variegated Winter Daphne      | Daphne odora 'Marginata'              | 5 gal           |
|                       | Gulf Stream Nandina           | Nandina domestica 'Gulf Stream'       | 3 gal           |
|                       | Soft Caress Mahonia           | Mahonia eurybracteata 'Soft Caress'   | 5 gal           |
| <b>LOW SHRUBS</b>     |                               |                                       |                 |
|                       | Harbour Belle Nandina         | Nandina domestica 'Harbour Belle'     | 3 gal           |
|                       | Lemon Candy Ninebark          | Physocarpus opulifolius 'Podaras 3'   | 3 gal           |
|                       | Kaleidoscope Abelia           | Abelia x grandiflora 'Kaleidoscope'   | 3 gal           |
|                       | Hino Red Azalea               | Rhodo. Hexe Azalea                    | 3 gal           |
|                       | Indian Princess Hawthorne     | Rhaphiolepis indica 'Indian Princess' | 3 gal           |
|                       | Ornamental Grasses            | Varies                                | 2 gal           |
| <b>GROUND COVER</b>   |                               |                                       |                 |
|                       | Dwarf Sweet Box               | Sarcococca hookeriana var. humilis    | 1 gal, 30" o.c. |
|                       | Periwinkle                    | Vinca minor                           | 1 gal, 30" o.c. |
|                       | Massachusetts Kinnickinick    | Arctostaphylos uva-ursi 'Mass.'       | 1 gal, 3' o.c.  |
|                       | Dwarf Japanese Garden Juniper | Juniperus procumbens 'Nana'           | 1 gal, 36" o.c. |
|                       | Heartleaf Bergenia            | Bergenia cordifolia                   | 1 gal, 30" o.c. |
|                       | Majestic Lillyturf            | Liriope muscari 'Majestic'            | 1 gal, 24" o.c. |

**LEGEND**

| SYMBOL | DESCRIPTION              |
|--------|--------------------------|
|        | PROPOSED LIDA PLANTERS   |
|        | PROPOSED RAIN GARDENS    |
|        | PROPOSED RETAINING WALLS |

**NOTES**

- PROPOSED RAIN GARDENS AND LIDA PLANTERS TO BE PLANTED PER CURRENT CLEAN WATER SERVICES STANDARDS.
- PROPOSED LANDSCAPE DESIGN WILL COMPLY WITH CITY OF SHERWOOD ORDINANCE CHAPTER 16.92 LANDSCAPING REQUIREMENTS.
- PROPOSED LANDSCAPE AREAS WILL BE WATERED WITH AN SUB-SURFACE, AUTOMATIC IRRIGATION SYSTEM.



**PRELIMINARY LANDSCAPE PLAN**

SCALE: 1" = 20'-0"

