

**LEGEND**

<b>PROPOSED:</b>	
	ASPHALT PAVING
	DRIVEWAY, CONCRETE PADS AND SIDEWALK
	CATCH BASIN
	WATER METER
	WATER VAULT
	FDC
	6" VERTICAL CURB
	RETAINING WALL, SEE C2.2
<b>EXISTING:</b>	
	EXISTING EDGE OF PAVEMENT
	STORM SEWER MANHOLE
	STORM SEWER LINE
	CATCH BASIN
	WATER METER
	WATER LINE
	WATER VALVE
	SANITARY SEWER MANHOLE
	SANITARY SEWER LINE
	POWER VAULT
	POWER JUNCTION BOX
	COMMUNICATIONS JUNCTION BOX
	GAS LINE
	UNDERGROUND COMMUNICATIONS LINE
	RIGHT OF WAY
	PROPERTY LINE

**SITE DATA**

SITE AREA	40,070 SF
LANDSCAPE AREA/PERVIOUS	6,908 SF (17.1%)
ASPHALT PARKING	14,629 SF
ASPHALT AT TRUCK COURT	3,813 SF
BUILDING FOOT PRINT/ROOF	11,972 SF
SIDEWALK	2,748 SF
TOTAL IMPERVIOUS AREA	33,162 SF

<b>VEHICLE PARKING SPACES</b>	
STANDARD	30 SPACES
ADA	2 SPACES
COMPACT	8 SPACES
TOTAL PROVIDED	40 SPACES
TOTAL REQUIRED	40 SPACES
BICYCLE SPACES PROVIDED	4 SPACES
BICYCLE SPACES REQUIRED	3 SPACES

**GENERAL NOTES**

- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF SHERWOOD, THE CURRENT EDITION OF THE OREGON SPECIALTY PLUMBING CODE, AND THE INTERNATIONAL BUILDING CODE. ALL WORK IN THE PUBLIC R.O.W. REQUIRES A PUBLIC WORKS PERMIT.
- EXCAVATION: EXCAVATE FOR SLABS, PAVING AND OTHER IMPROVEMENTS TO SIZES AND LEVELS SHOWN OR REQUIRED. ALLOW FOR FORM CLEARANCE AND FOR PROPER COMPACTION OF REQUIRED BACKFILLING MATERIAL. EXCAVATORS MUST COMPLY WITH ORS 757.541 THROUGH 757.571; EXCAVATORS SHALL NOTIFY ALL UTILITY COMPANIES FOR LINE LOCATIONS 72 HOURS (MINIMUM) PRIOR TO START OF WORK. DAMAGE TO UTILITIES SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- EFFECTIVE EROSION CONTROL IS REQUIRED. EROSION CONTROL DEVICES MUST BE INSTALLED AND MAINTAINED MEETING WES STANDARDS. THE GOVERNING JURISDICTION SHALL, AT ANY TIME, ORDER CORRECTIVE ACTION AND STOPPAGE OF WORK TO ACCOMPLISH EFFECTIVE EROSION CONTROL.
- EFFECTIVE DRAINAGE CONTROL IS REQUIRED. DRAINAGE SHALL BE CONTROLLED WITHIN THE WORK SITE AND SHALL BE SO ROUTED THAT ADJACENT PRIVATE PROPERTY, PUBLIC PROPERTY, AND THE RECEIVING SYSTEM ARE NOT ADVERSELY IMPACTED. THE GOVERNING JURISDICTION MAY, AT ANY TIME, ORDER CORRECTIVE ACTION AND STOPPAGE OF WORK TO ACCOMPLISH EFFECTIVE DRAINAGE CONTROL. REFER TO WES STANDARDS AND EROSION CONTROL PLAN.
- CONTRACTOR SHALL ADJUST ALL STRUCTURES IMPACTED BY CONSTRUCTION IMPROVEMENTS TO NEW FINISHED GRADES, AND COORDINATE CONSTRUCTION AROUND EXISTING UTILITIES WITH UTILITY PROVIDERS.
- CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES NOT SHOWN FOR REMOVAL. DAMAGE TO EXISTING STRUCTURES SHALL BE REPAIRED BY THE CONTRACTOR WITH CONTRACTOR'S OWN RESOURCES.
- THE BUILDING OUTLINE SHOWN ON THIS PLAN IS SHOWN FOR REFERENCE ONLY AND SHOULD NOT BE USED FOR CONSTRUCTION, WHETHER MEASURING, STAKING OR OTHERWISE. REFER TO ARCHITECTURAL DRAWINGS FOR ALL MEASUREMENTS, DIMENSIONS, OUTLINE AND FEATURES.
- PAVING, FOUNDATIONS, SITE PREPARATION, CLEARING, GRADING, GRUBBING, SUBGRADE PREPARATION, ETC. BY OTHERS.
- THE SURVEY INFORMATION SHOWN AS A BACKGROUND SCREEN ON THIS SHEET IS BASED ON A SURVEY DONE BY AKS ENGINEERING AND FORESTRY DATED 06/18/2021, AND IS SHOWN FOR REFERENCE ONLY. SUMMIT ENGINEERING HAS NOT VERIFIED ANY INFORMATION SHOWN ON THE PLANS AND MAKES NO GUARANTEES AS TO THE ACCURACY OF THE INFORMATION SHOWN. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS WITH THEIR OWN RESOURCES PRIOR TO THE START OF ANY CONSTRUCTION OR ORDERING MATERIALS. NOTIFY ENGINEER OF ANY DISCREPANCIES WITH THE SITE WITH RESPECT TO ANY ELEMENT SHOWN ON THESE PLANS.

**CONSTRUCTION NOTES**

- 6" VERTICAL CURB.
- CONCRETE SIDEWALK.
- BACKFLOW PREVENTION IN VAULT PER UTILITY PLAN.
- FIRE TRUCK/ENGINE TURN RADII.
- BIKE PARKING PER ARCH.
- TRASH ENCLOSURE PER ARCH.
- REMOVE EXISTING CURB AND SIDEWALK. INSTALL CITY STANDARD CONCRETE DRIVEWAY PER RD-42.
- ADA PARKING SPACE.
- LANDSCAPE AREA, SEE LANDSCAPING PLANS.
- EXISTING PUBLIC UTILITY EASEMENT.
- IRRIGATION POINT OF CONNECTION, SEE UTILITY PLAN.
- WATER METER, SEE UTILITY PLAN.
- FDC, SEE UTILITY PLAN.
- ADA RAMP.
- FIRE HYDRANT, SEE UTILITY PLAN.
- NEW UTILITY EASEMENT FOR BACKFLOW PREVENTION VAULT AND HYDRANT.
- RETAINING WALL AT PARKING.
- FLUSH CONCRETE SIDEWALK AT PARKING.

Client  
Inkbuilt Architecture

Project  
Green Ridge Solar  
20737 SW Olds Place  
Sherwood, OR

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REVISION SCHEDULE:  
REVISION DELTA ISSUE DATE

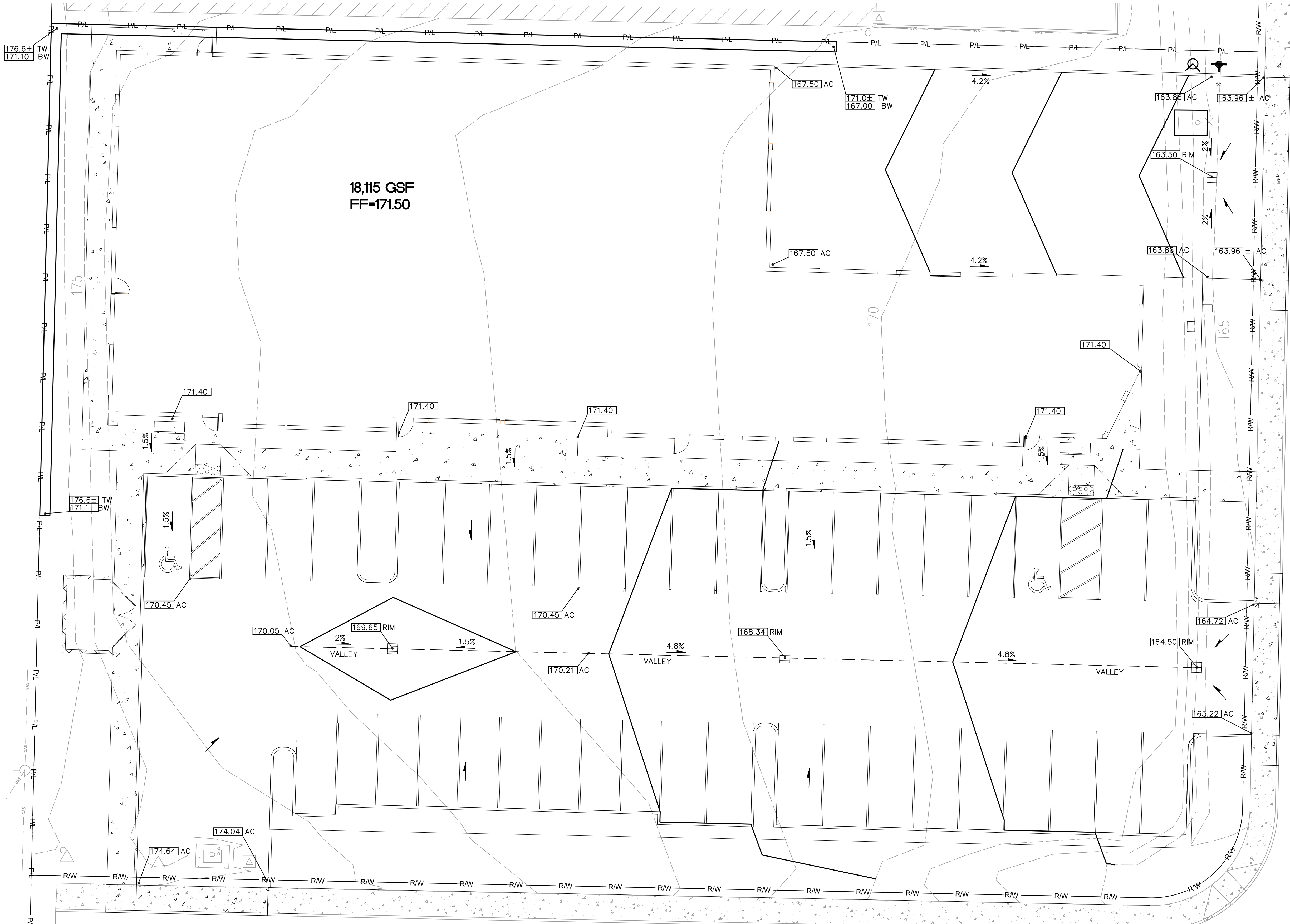
SHEET TITLE:  
**CML  
SITE PLAN**

DRAWN BY: JMH  
APPROVED BY: JMH

SHEET:

**C2.1**

JOB NO.:  
**20-026**



18,115 GSF  
FF=171.50

**GRADING NOTES**

- ROUGH GRADING: BRING ALL FINISHED GRADES TO APPROXIMATE LEVELS INDICATED. WHERE GRADES ARE NOT OTHERWISE INDICATED, FINISHED GRADES ARE TO BE THE SAME AS ADJACENT SIDEWALKS, CURBS, OR THE OBVIOUS GRADE OF ADJACENT STRUCTURE. GRADE TO UNIFORM LEVELS OR SLOPES BETWEEN POINTS WHERE GRADES ARE GIVEN; OTHERWISE, GRADING SHALL ADHERE TO THE CONTOUR OR SPOT GRADE SHOWN, OR AN INTERPOLATION BETWEEN A GIVEN SPOT GRADE OR CONTOUR, ROUND OFF SURFACES, AVOID ABRUPT CHANGES IN LEVELS. ROUGH GRADE TO ALLOW FOR DEPTH OF CONCRETE SLABS, WALKS AND THEIR BASE COURSES. GRADE FOR PAVED DRIVES AND PAVED PARKING AREAS AS INDICATED AND SPECIFIED HEREIN, AND PROVIDE FOR SURFACE DRAINAGE AS SHOWN, ALLOWING FOR THICKNESS OF SURFACING MATERIAL.
- EXCAVATION: EXCAVATE FOR SLABS, PAVING AND OTHER IMPROVEMENTS TO SIZES AND LEVELS SHOWN OR REQUIRED. ALLOW FOR FORM CLEARANCE AND FOR PROPER COMPACTION OF REQUIRED BACKFILLING MATERIAL. EXCAVATORS MUST COMPLY WITH ORS 757.541 THROUGH 757.571; EXCAVATORS SHALL NOTIFY ALL UTILITY COMPANIES FOR LINE LOCATIONS 72 HOURS (MINIMUM) PRIOR TO START OF WORK. DAMAGE TO UTILITIES SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- EFFECTIVE EROSION CONTROL IS REQUIRED. EROSION CONTROL DEVICES MUST BE INSTALLED AND MAINTAINED MEETING WES STANDARDS. THE GOVERNING JURISDICTION SHALL, AT ANY TIME, ORDER CORRECTIVE ACTION AND STOPPAGE OF WORK TO ACCOMPLISH EFFECTIVE EROSION CONTROL.
- EFFECTIVE DRAINAGE CONTROL IS REQUIRED. DRAINAGE SHALL BE CONTROLLED WITHIN THE WORK SITE AND SHALL BE SO ROUTED THAT ADJACENT PRIVATE PROPERTY, PUBLIC PROPERTY, AND THE RECEIVING SYSTEM ARE NOT ADVERSELY IMPACTED. THE GOVERNING JURISDICTION MY, AT ANY TIME, ORDER CORRECTIVE ACTION AND STOPPAGE OF WORK TO ACCOMPLISH EFFECTIVE DRAINAGE CONTROL. REFER TO WES STANDARDS AND EROSION CONTROL PLAN.
- SITE TOPSOIL SHALL BE STOCKPILED DURING CONSTRUCTION AND USED FOR LANDSCAPING TO THE EXTENT PRACTICABLE.
- THE SURVEY INFORMATION SHOWN AS A BACKGROUND SCREEN ON THIS SHEET IS BASED ON A SURVEY DONE BY AKS ENGINEERING AND FORESTRY DATED 06/18/2021, AND IS SHOWN FOR REFERENCE ONLY. SUMMIT ENGINEERING HAS NOT VERIFIED ANY INFORMATION SHOWN ON THE PLANS AND MAKES NO GUARANTEES AS TO THE ACCURACY OF THE INFORMATION SHOWN. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS WITH THEIR OWN RESOURCES PRIOR TO THE START OF ANY CONSTRUCTION OR ORDERING MATERIALS. NOTIFY ENGINEER OF ANY DISCREPANCIES WITH THE SITE WITH RESPECT TO ANY ELEMENT SHOWN ON THESE PLANS.
- CONTRACTOR SHALL COORDINATE GRADES AT ALL BUILDING ENTRANCES WITH ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION.
- CONTRACTOR TO ENSURE 1.5% MAX SLOPE AT ALL ADA-ACCESSIBLE PARKING SPACES.
- CONTRACTOR TO ENSURE 5% MAX SLOPE (EXCLUDING RAMPS) AND 1.5% MAX CROSS-SLOPE AT PEDESTRIAN SIDEWALK CONNECTIONS BETWEEN PUBLIC R.O.W. AND BUILDING ENTRANCES.
- CONTRACTOR TO ENSURE ALL STRUCTURES IMPACTED BY CONSTRUCTION IMPROVEMENTS ARE ADJUSTED TO NEW FINISHED GRADES.
- CONTRACTOR TO ENSURE THE FIRST FIVE (5) FEET OF FINISHED GROUND SHALL SLOPE AWAY FROM EACH FACE OF EACH BUILDING AT A MINIMUM OF 2%. NOTIFY ENGINEER OF ANY DISCREPANCIES SHOWN ON PLAN DURING CONSTRUCTION.
- REFER TO GENERAL NOTES ON C2.1.

**LEGEND**

[232.81] TC	TOP OF CURB
[232.81] AC	ASPHALT ELEVATION
[232.81] TW	TOP OF WALL ELEVATION
[232.81] BW	BOTTOM GRADE AT FACE OF RETAINING WALL (NOT BOTTOM OF WALL OR WALL FOOTING)
[232.81] RIM	CATCH BASIN RIM ELEVATION
[232.81] EG	EXISTING GRADE
—229—	PROPOSED 1-FIT CONTOUR
—230—	PROPOSED 5-FIT CONTOUR
- - -229 - - -	EXISTING 1-FIT CONTOUR
- - -230 - - -	EXISTING 5-FIT CONTOUR
- - - - -	RIDGE OR VALLEY LINE
[ ]	RETAINING WALL

Client  
Inkbuilt Architecture

Project  
Green Ridge Solar  
20737 SW Olds Place  
Sherwood, OR

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REVISION SCHEDULE:  
REVISION DELTA ISSUE DATE

SHEET TITLE:  
**GRADING  
PLAN**

DRAWN BY: JMH  
APPROVED BY: JMH

SHEET:

**C2.2**

JOB NO.:

**DR SUBMITTAL - JULY 2021**

**20-026**

THE BACKGROUND SURVEY INFORMATION SHOWN ON THESE PLANS WAS COMPLETED BY AKS ENGINEERING AND FORESTRY LLC, DATED JUNE 18, 2021. ALL INFORMATION SHOWN SHOULD BE VERIFIED BY THE CONTRACTOR WITH THEIR RESOURCES PRIOR TO EXCAVATING OR ORDERING MATERIALS.

**UTILITY NOTES**

- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF SHERWOOD, THE CURRENT EDITION OF THE UNIFORM PLUMBING CODE, AND THE INTERNATIONAL BUILDING CODE. ALL WORK IN THE PUBLIC R.O.W. REQUIRES A PUBLIC WORKS PERMIT.
- THE WORKING DRAWINGS ARE GENERALLY DIAGRAMMATIC. THEY DO NOT SHOW EVERY OFFSET, BEND, OR ELBOW REQUIRED FOR INSTALLATION IN THE SPACE PROVIDED. THEY DO NOT SHOW EVERY DIMENSION, COMPONENT, PIECE, SECTION, JOINT OR FITTING REQUIRED TO COMPLETE THE PROJECT. ALL LOCATIONS FOR WORK SHALL BE CHECKED AND COORDINATED WITH EXISTING CONDITIONS IN THE FIELD BEFORE BEGINNING CONSTRUCTION. EXISTING UNDERGROUND UTILITIES LAYING WITHIN THE LIMITS OF EXCAVATION SHALL BE VERIFIED AS TO CONDITION, SIZE AND LOCATION BY UNCOVERING, PROVIDING SUCH IS PERMITTED BY LOCAL PUBLIC AUTHORITIES WITH JURISDICTION, BEFORE BEGINNING CONSTRUCTION. CONTRACTOR TO VERIFY EXISTING CONDITIONS WITH HIS/HER OWN RESOURCES PRIOR TO ORDERING MATERIALS, AND SHALL NOTIFY ENGINEER IF THERE ARE ANY DISCREPANCIES.
- PROVIDE CLEANOUTS AS REQUIRED IN THE CURRENT UNIFORM PLUMBING CODE CHAPTER 7, SECTION 707 AND 719, AND CHAPTER 11, SECTION 1103.04. NOTE: NOT ALL REQUIRED CLEANOUTS ARE SHOWN ON THE PLANS.
- ALL STORM PIPING IS SIZED FOR A MANNING'S N VALUE = 0.013. ALL STORM PIPING IS DESIGNED USING CONCENTRIC PIPE TO PIPE AND WYE FITTINGS, UNLESS OTHERWISE NOTED.
- PER SECTION 313.2 OF THE OREGON SPECIALTY PLUMBING CODE, UTILITIES SHOWN UNDER OR WITHIN 5' OF ANY BUILDING OR STRUCTURE (INCLUDING ANY FOUNDATION DRAINAGE PIPING), OR LESS THAN 1' BELOW THE GROUND SURFACE, ARE TO BE CONSTRUCTED OF MATERIALS OTHER THAN THOSE APPROVED TO BE USED UNDER OR WITHIN A BUILDING. TABLE 7-1 AND SECTION 1101.3 LISTS APPROVED PIPE MATERIAL FOR SANITARY AND STORM DRAINAGE, RESPECTIVELY.
- VERIFY LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES BY POTHOLES PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- CONTRACTOR TO MAINTAIN A MINIMUM OF 3" OF COVER OVER ALL WATER LINES.
- CONTRACTOR TO MAINTAIN A MINIMUM OF 18" OF COVER OVER ALL STORM LINES IN LANDSCAPED AREAS AND 24" OF COVER IN PAVED AREAS. STORM LINES MAY HAVE LESS THAN 24" OF COVER BUT NOT LESS THAN 12" OF COVER IN PAVED AREAS WHEN DUCTILE IRON PIPE IS USED. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- CONTRACTOR IS RESPONSIBLE FOR COMPATIBILITY BETWEEN PIPE MATERIALS, FITTINGS AND APPURTENANCES.
- FOOTING DRAINS ARE REQUIRED AT ALL FOUNDATIONS AND BACK OF RETAINING WALLS PER PLUMBING CODE.
- WHERE CONNECTING TO AN EXISTING PIPE, AND PRIOR TO ORDERING MATERIALS, THE CONTRACTOR SHALL EXPOSE THE END OF THE EXISTING PIPE AND VERIFY THE LOCATION, SIZE, AND ELEVATION WITH HIS/HER OWN RESOURCES, AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL HYDRANTS, FIRE SUPPRESSION AND FIRE SPRINKLER SYSTEMS SHALL ALSO COMPLY WITH THE LOCAL FIRE DISTRICT REQUIREMENTS.
- CONTRACTOR IS RESPONSIBLE TO OBTAINING THE DESIGN, PERMITTING, AND FURNISHING OF ALL REQUIRED ELEMENTS, FOR COMPLETE INSTALLATION OF ELECTRICAL SERVICE TO VAULTS FOR SUMP PUMPS, INCLUDING SUMP PUMP AND PIPING.
- ALL 4" WATER LINE AND ABOVE SHALL BE C900 OR APPROVED EQUAL. ALL WATER LINE LESS THAN 4" SHALL FOLLOW THE CURRENT EDITION OF THE OREGON SPECIALTY PLUMBING CODE AND CARRY A MINIMUM 200 PSI TEST PRESSURE OR AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
- LOCATION AND SIZE OF UTILITY VAULTS SHOWN IS APPROXIMATE ONLY. CONTRACTOR SHALL COORDINATE LOCATION, SIZE AND PLACEMENT OF ALL VAULTS WITH AUTHORITY HAVING JURISDICTION PRIOR TO ORDERING MATERIALS. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- SET VAULT LIDS 3 INCHES HIGHER THAN SURROUNDING GROUND IN LANDSCAPED AREAS OR FLUSH WITH PAVED AREAS, OR PER LOCAL JURISDICTION STANDARDS. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO INSTALLATION.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING UTILITY LINES OUT OF THE ZONE OF INFLUENCE OF ALL BUILDING AND OTHER FOOTINGS PER 8/C8.1.

**CONSTRUCTION NOTES**

- RELOCATE POWER VAULT AND PEDESTAL. CONTRACTOR TO COORDINATE RELOCATION WITH UTILITY.
- RELOCATE COMMUNICATION PEDESTAL OUT OF DRIVEWAY. CONTRACTOR TO COORDINATE RELOCATION WITH UTILITY.
- RELOCATE WATER METER OUT OF DRIVEWAY. CONTRACTOR TO COORDINATE RELOCATION WITH UTILITY.
- INSTALL CATCH BASIN W/ 6" STORM LINE OUTLET.
- SET SANITARY SEWER TO EXISTING SANITARY STUB. IE=156.76 VERIFY.
- REMOVE EXISTING STORM STUB TO POINT OF CONNECTION AND CONNECT STORM SEWER TO EXISTING STORM STUB. IE=158.73 VERIFY. REGIONAL WATER QUALITY IS PROVIDED. ONLY HYDROMODIFICATION FLOW CONTROL IS PROPOSED ON SITE.
- CONTRACTOR TO VERIFY LOCATION OF DOWNSPOUTS AND INSTALL WYE AS NECESSARY FOR CONNECTION TO STORM LINE. VERIFY WITH ARCH PLANS FOR LOCATIONS.
- VAULT FOR BACKFLOW PREVENTION FOR FIRE WATER LINE. CONNECT WATER LINE FOR BACKFLOW PREVENTION TO EXISTING WATER LINE STUB.
- FDC WITH DUCTILE IRON WATER LINE TO VAULT. RESTRAIN ALL JOINTS. INSTALL SIGNAGE PER FIRE DEPT. STANDARDS.
- INSTALL TEE AND 2" WATER LINE TO DOMESTIC WATER METER.
- INSTALL WATER METER IN VALVE BOX.
- INSTALL TEE AND 1" WATER LINE FOR IRRIGATION.
- INSTALL BACKFLOW PREVENTION IN VALVE BOX FOR IRRIGATION LINE.
- CONNECT PIPE INSIDE BUILDING PER PLUMBING PLAN.
- INSTALL FIRE HYDRANT, GATE VALVE WITH VALVE BOX, AND TEE. RESTRAIN ALL JOINTS.
- NEW EASEMENT FOR BACKFLOW PREVENTION VAULT AND HYDRANT.
- DUCTILE IRON FIRE WATER LINE FROM VAULT TO BUILDING. RESTRAIN ALL JOINTS.
- 306 LF 48" DETENTION PIPE.
- FLOW CONTROL MANHOLE, SEE DETAIL.
- POTENTIAL UTILITY RELOCATION. CONTRACTOR TO VERIFY WITH UTILITY PROVIDER.
- FRENCH DRAIN PER DETAIL. CONNECT TO SITE STORM LINE.
- PRE-TREATMENT MANHOLE PER DETAIL.

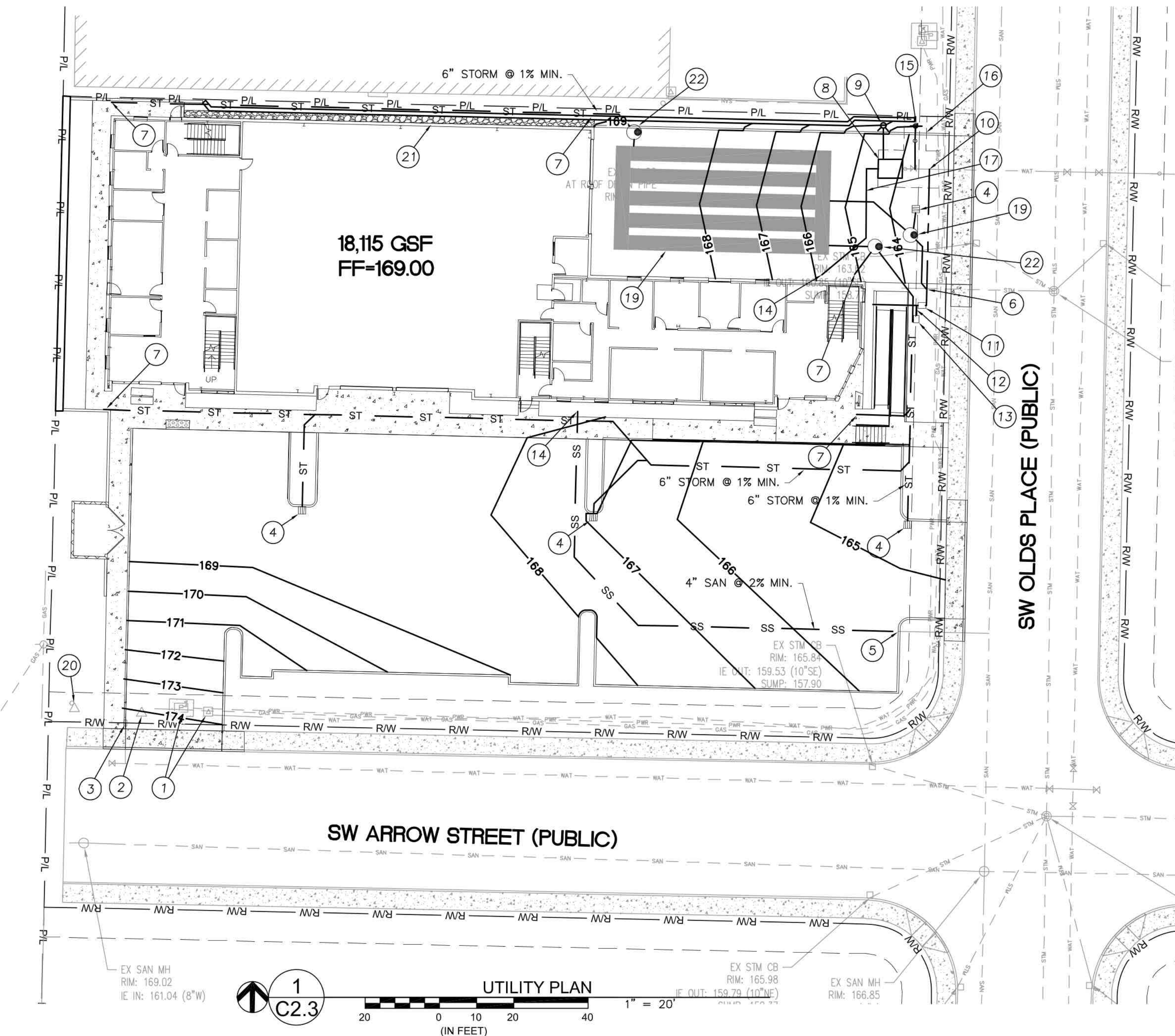
**LEGEND**

**PROPOSED:**

- ASPHALT PAVING
- DRIVEWAY, CONCRETE PADS AND SIDEWALK
- CATCH BASIN
- WATER METER
- WATER VAULT
- FDC
- 6" VERTICAL CURB
- STORM SEWER
- SANITARY SEWER
- WATER LINE

**EXISTING:**

- EOP EXISTING EDGE OF PAVEMENT
- STORM SEWER MANHOLE
- STORM SEWER LINE
- CATCH BASIN
- WATER METER
- WATER LINE
- WATER VALVE
- SANITARY SEWER MANHOLE
- SANITARY SEWER LINE
- UNDERGROUND POWER
- POWER VAULT
- POWER JUNCTION BOX
- COMMUNICATIONS JUNCTION BOX
- GAS LINE
- UNDERGROUND COMMUNICATIONS LINE
- RIGHT OF WAY
- PROPERTY LINE



**SITE PLAN NOTES**

- A. SEE PLANTING PLANS FOR PLANTING INFORMATION.
- B. SEE CIVIL FOR ON-SITE GRADING AND UTILITY INFORMATION.
- C. INSTALL REQUIRED SIGNAGE INCLUDING BUT NOT LIMITED TO BUILDING ADDRESS, FIRE DEPARTMENT CONNECTION, FIRE RISER ACCESS, ETC. SEE SHEET AS.01.
- D. SLOPE FINISHED GRADE AT 2% MINIMUM AWAY FROM STRUCTURE FOR A DISTANCE OF 10'.
- E. SLOPE IMPERVIOUS PEDESTRIAN WALKWAYS AND STAIRS TO DRAIN OR PERVIOUS PLANTER AT 1.5%.
- F. PROVIDE CONTINUOUS FOOTING DRAINS, ROUTE TO FACILITY PER CIVIL.
- G. ROUTE ALL DRAINS/DOWNSPOUTS TO FACILITIES. SEE CIVIL.
- H. PROVIDE WHEEL STOPS AT ALL PARKING SPACES. 4" HIGH BY 3' LONG, LOCATED 3' FROM THE END OF THE PARKING SPACE.
- I. ALL EXTERIOR LIGHTING IS BUILDING MOUNTED. SEE ELEVATIONS FOR LOCATIONS.

**PRELIMINARY**  
NOT FOR  
CONSTRUCTION

**BUILDING AREA SCHEDULE**

LEVEL	NAME	AREA
1-GROUND	OFFICE 1	2,786 SF
1-GROUND	OFFICE 2	2,575 SF
1-GROUND	WAREHOUSE	6,603 SF
GRAND TOTAL		11,964 SF
2-SECOND	OFFICE 1	2,786 SF
2-SECOND	OFFICE 2	2,614 SF
GRAND TOTAL		5,401 SF
GRAND TOTAL		17,365 SF

**ZONING REQUIREMENTS**

**PARKING REQUIREMENTS, SMC 16.94.020.A**  
 6,603 GSF INDUSTRIAL \* 1.6/1,000 = 11 CAR SPACES = 1 BIKE SPACE  
 10,762 GSF OFFICE \* 2.7/1,000 = 29 CAR SPACES = 2 BIKE SPACES  
 40 PARKING SPACES REQ'D  
 40 PARKING SPACES PROVIDED, 9 ARE COMPACT (25% COMPACT MAX)  
 BIKE PARKING  
 3 BIKE PARKING SPACES REQ'D  
 4 BIKE PARKING SPACES PROVIDED

SEE A0.51 PLANTING PLAN FOR LANDSCAPING INFO.

**GREEN RIDGE SOLAR HEADQUARTERS**  
20737 SW OLDS PLACE | SHERWOOD | OR 97140

**REVISIONS**

1	LU REV1	09/13/2021
2	LU REV2	11/09/2021

**SITE PLAN REVIEW**

ISSUE DATE 07/26/2021

**SITE PLAN & CODE SUMMARY**

**LU0.50**

