

ABBREVIATIONS

---	NONE
±	APPROXIMATELY
Ø	DIAMETER
AF	ABOVE FINISH FLOOR
AHJ	AUTHORITY HAVING JURISDICTION
ARCH	ARCHITECTURAL DRAWINGS
BO	BOTTOM OF
CJ	CONTROL JOINT
CL	CENTERLINE
CLG	CEILING
CLR	CLEAR
CONC	CONCRETE
CONT	CONTINUOUS
CODE	APPLICABLE REGULATIONS GOVERNING CONTRACT SCOPE OF WORK *SEE CODE SUMMARY SHEET
DFL	DOUGLAS FIR / LARCH
DIM	DIMENSION
DS	DOWN SPOUT
DTL	DETAIL
DW	DISH WASHER
(E)	EXISTING
ELEV	ELEVATION
EJ	EXPANSION JOINT
EQ	EQUAL
EXP	EXPOSED
EXT	EXTERIOR
FD	FLOOR DRAIN
FDC	FIRE DEPARTMENT CONNECTION
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FF	FINISHED FLOOR
FF EL	FINISHED FLOOR ELEVATION
FLR	FLOOR
FO	FACE OF
GA	GAUGE
GALV	GALVANIZED
GB	GYP SUM BOARD
GFCI	GROUND FAULT CIRCUIT INTERRUPTER
HR	HOSE BIB
HR	HOUR
ID	INSIDE DIAMETER
IC	IMPACT INSULATION CLASS
INT	INTERIOR
MAX	MAXIMUM
MFR	MANUFACTURER
MIN	MINIMUM
MTL	MATERIAL
MW	MICROWAVE
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
OAE	OR APPROVED EQUAL
OC	ON CENTER
OD	OUTSIDE DIAMETER
OFD	OVERFLOW DRAIN
OF/C	OWNER FURNISHED, CONTRACTOR INSTALLED
OF/OI	OWNER FURNISHED, OWNER INSTALLED
OPH	OPPOSITE HAND
OPP	OPPOSITE
PFN	PREFINISHED
PT	PRESSURE TREATED
P-T	POST-TENSION(ED)
RD	ROOF DRAIN
REF	REFRIGERATOR
RO	ROUGH OPENING
ROW	RIGHT OF WAY
SAN	SANITARY
SD	SMOKE DETECTOR
SF	SQUARE FOOT (FEET)
SIM	SIMILAR
SST	STAINLESS STEEL
STN	STAIN
STC	SOUND TRANSMISSION CLASS
STR	STRUCTURAL DRAWINGS
T	TEMPERED
TO	TOP OF
TYP	TYPICAL
UON	UNLESS OTHERWISE NOTED
VF	VERIFY IN FIELD
WH	WATER HEATER

PROJECT SUMMARY

NEW WAREHOUSE AND TWO STORY OFFICE BUILDING WITH ASSOCIATED SITEWORK. THE BUILDING WILL BE A PRE-FABRICATED STEEL STRUCTURE.

PROJECT DIRECTORY

OWNER BRIAN BUTTERFIELD GREEN RIDGE SOLAR 19450 SW MOHAVE CT, TUALATIN, OR 97062 +503-395-1943	PRINCIPAL ARCHITECT MELYNDA RETALLACK INK-BUILT ARCHITECTURE, LLC. 2808 NE MLK BLVD, SUITE G PORTLAND, OR 97212 +503-454-6793
GENERAL CONTRACTOR TBD	STRUCTURAL ENGINEER TIM RIPPEY TIM RIPPEY 7650 SW BEVELAND ST, SUITE 100 TIGARD, OR 97223 +503-443-3900
	CIVIL ENGINEER JASON HAVELKA SUMMIT ENGINEERING LLC 2850 SW CEDAR HILLS BLVD, BEAVERTON, OR 97005

DRAWING INDEX

SHEET #	SHEET NAME
LU0.00	SITE PLAN REVIEW COVER SHEET
C001	OWNERS EXISTING CONDITIONS PLAN
C2.1	CIVIL SITE PLAN
C2.2	GRADING PLAN
C2.3	UTILITY PLAN
LU0.50	SITE PLAN & CODE SUMMARY
LU0.51	LANDSCAPE PLAN
LU0.52	LANDSCAPE DETAILS
LU1.01	FLOOR PLANS
LU1.10	ROOF PLAN
LU2.00	EXTERIOR ELEVATIONS
LU2.01	EXTERIOR ELEVATIONS
LU4.00	SECTIONS



VICINITY MAP

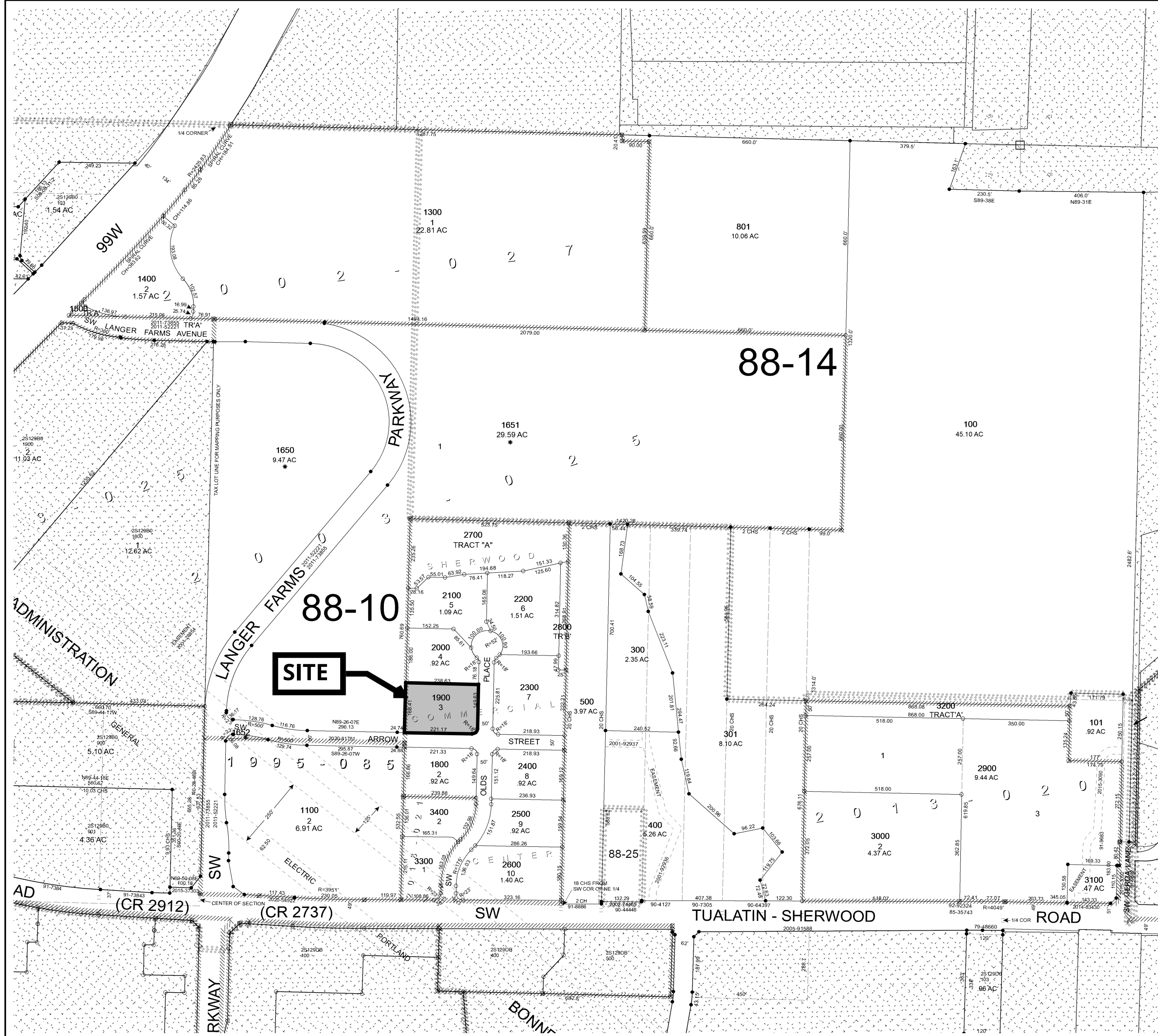


LOCATION MAP



PROJECT GENERAL NOTES

- DRAWINGS ARE DIAGRAMMATIC AND DO NOT NECESSARILY DEPICT ALL MATERIALS IN ALL INSTANCES.
- DO NOT SCALE DRAWINGS, WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
- DRAWINGS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE METHOD OF CONSTRUCTION. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR DETERMINING APPROPRIATE METHOD AND SEQUENCE OF CONSTRUCTION.
- CONTRACTOR SHALL ASSURE THE SAFETY OF WORKERS AND SITE THROUGHOUT THE DURATION OF CONSTRUCTION.
- VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND PURCHASE OF MATERIALS. ANY DISCREPANCIES BETWEEN FIELD MEASUREMENTS AND DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- ALL WORK SHALL CONFORM TO THE MINIMUM STANDARDS SET BY THE LATEST EDITION OF THE OREGON STRUCTURAL SPECIALTY CODE AND ALL OTHER APPLICABLE CODES.
- DETAILS NOTED AS "TYPICAL" OR "TYP" APPLY IN ALL CASES UNLESS SPECIFICALLY REFERENCED. DETAILS THAT ARE SPECIFICALLY REFERENCED SHALL TAKE PRECEDENCE OVER GENERAL NOTES. "TYPICAL" NOTES, GENERAL DETAILS, OR DETAILS NOTED AS "TYPICAL" OR "TYP".
- LOCATE EXISTING UTILITIES WHETHER INDICATED OR NOT AND PROTECT FROM DAMAGE. CONTRACTOR SHALL BEAR REPAIR OR REPLACEMENT EXPENSES OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE EXECUTION OF THE WORK.
- PROVIDE ACCESS PANELS AS REQUIRED. LOCATION, FINISH, AND TYPE SHALL BE APPROVED BY ARCHITECT PRIOR TO OBTAINING AND INSTALLING. PROVIDE ACCESS PANELS WITH THE SAME RATING AS THE ASSEMBLY IN WHICH THEY ARE INSTALLED. ACCESS PANELS IN SHAFT WALLS, RATED FLOOR/CEILING OR RATED ROOF/CEILING SHALL BE SMOKE SEALED.
- ALL RATED ASSEMBLIES SHALL BE CONSTRUCTED TO PREVENT THE MOVEMENT OF HOT FLAME OR GASES PER OESC SECTION 709.6. ALL PENETRATIONS THROUGH RATED ASSEMBLIES SHALL BE FIRE STOPPED.
- ALL SAFETY GLAZING SHALL BE PERMANENTLY LABELED WITH THE MANUFACTURER'S NAME AND TEST APPROVAL INFORMATION.
- PROVIDE ALL CODE REQUIRED SIGNAGE.



2S129A

WASHINGTON COUNTY OREGON
NE 1/4 SECTION 29 T2S R1W W.M.
SCALE 1" = 200'

36	31	22	33	24	35	36	31
1	6	5	4	3	2	7	6
12	8	9	10	11	12	7	
13	18	17	16	15	14	13	18
24	19	20	21	22	23	24	19
25	30	29	28	27	26	25	30
36	31	32	33	34	35	36	31
1	6	5	4	3	2	1	6

FOR ADDITIONAL MAPS VISIT OUR WEBSITE AT
www.co.washington.or.us

Cancelled Taxlots For: 2S129A
461,163,200,900,1000,800,1200,690,700,102,1600,1700.

Feet
0 100 200 400 600

ASSESSMENT
CARTOGRAPHY
TAXATION

PLOT DATE: 3/16/2021
FOR ASSESSMENT PURPOSES ONLY - DO NOT RELY ON FOR OTHER USE

Map areas delineated by other gray shading or a cross-hatched pattern are for reference only and may not indicate the most current property boundaries.
Please consult the appropriate map for the most current information.

SHERWOOD
2S129A

PRELIMINARY
NOT FOR
CONSTRUCTION

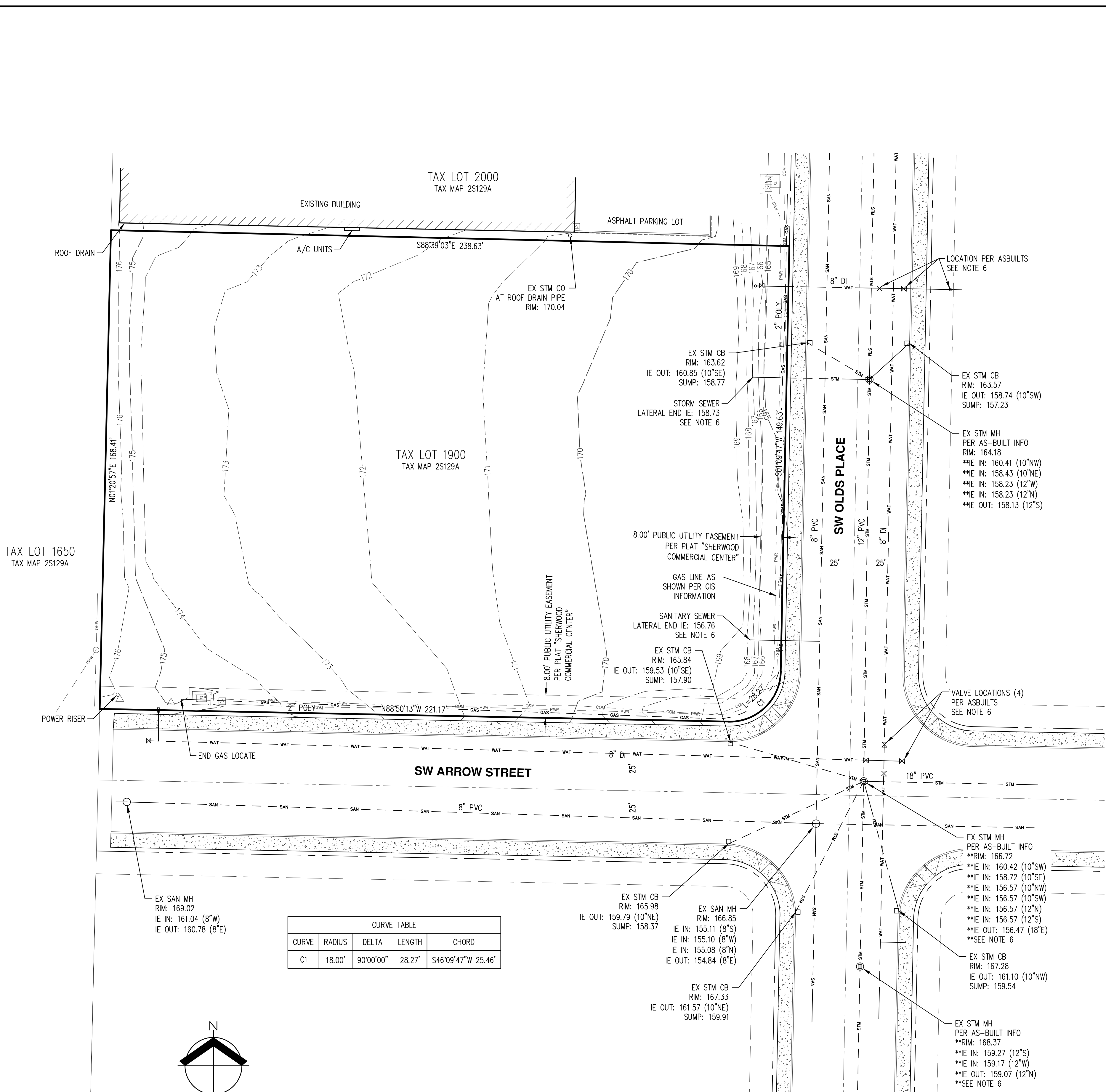
GREEN RIDGE SOLAR HEADQUARTERS
20737 SW OLDS PLACE | SHERWOOD | OR 97140

REVISIONS

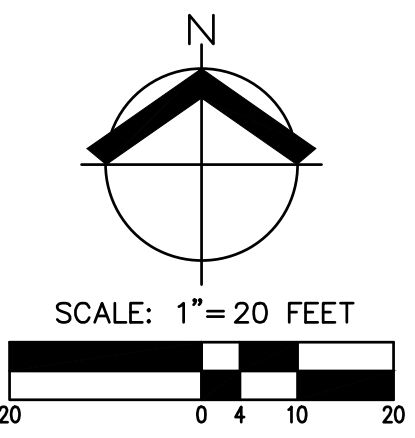
SITE PLAN REVIEW
ISSUE DATE 07/26/2021

SITE PLAN REVIEW
COVER SHEET
LU0.00

AKS DRAWING FILE: 8910EXCONDWG | LAYOUT: C001



CURVE TABLE				
CURVE	RADIUS	DELTA	LENGTH	CHORD
C1	18.00'	90°00'00"	28.27'	S46°09'47\"/>



LEGEND

EXISTING		DECIDUOUS TREE	EXISTING		STORM DRAIN CLEAN OUT
EXISTING		CONIFEROUS TREE	EXISTING		STORM DRAIN CATCH BASIN
EXISTING		FIRE HYDRANT	EXISTING		STORM DRAIN AREA DRAIN
EXISTING		WATER BLOWOFF	EXISTING		STORM DRAIN MANHOLE
EXISTING		WATER METER	EXISTING		GAS METER
EXISTING		WATER VALVE	EXISTING		GAS VALVE
EXISTING		DOUBLE CHECK VALVE	EXISTING		GUY WIRE ANCHOR
EXISTING		AIR RELEASE VALVE	EXISTING		UTILITY POLE
EXISTING		SANITARY SEWER CLEAN OUT	EXISTING		POWER VAULT
EXISTING		SANITARY SEWER MANHOLE	EXISTING		POWER JUNCTION BOX
EXISTING		SIGN	EXISTING		POWER PEDESTAL
EXISTING		STREET LIGHT	EXISTING		COMMUNICATIONS VAULT
EXISTING		MAILBOX	EXISTING		COMMUNICATIONS JUNCTION BOX
			EXISTING		COMMUNICATIONS RISER

EXISTING		RIGHT-OF-WAY LINE
EXISTING		BOUNDARY LINE
EXISTING		PROPERTY LINE
EXISTING		CENTERLINE
EXISTING		DITCH
EXISTING		CURB
EXISTING		EDGE OF PAVEMENT
EXISTING		EASEMENT
EXISTING		FENCE LINE
EXISTING		GRAVEL EDGE
EXISTING		POWER LINE
EXISTING		OVERHEAD WIRE
EXISTING		COMMUNICATIONS LINE
EXISTING		FIBER OPTIC LINE
EXISTING		GAS LINE
EXISTING		STORM DRAIN LINE
EXISTING		SANITARY SEWER LINE
EXISTING		WATER LINE

- NOTES:**
- UTILITIES SHOWN ARE BASED ON FIELD TIES, RECORD AS-BUILT INFORMATION AND UNDERGROUND UTILITY LOCATE MARKINGS AS PROVIDED PER UTILITY LOCATE TICKET NUMBER 21170467. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND LOCATES REPRESENT THE ONLY UTILITIES IN THE AREA. CONTRACTORS ARE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.
 - FIELD WORK WAS CONDUCTED JUNE 7, 2021. EXTENTS OF TOPOGRAPHIC SURVEY INCLUDES ON-SITE FEATURES TO BACK OF SIDEWALK, PLUS UTILITY STRUCTURES UNLESS OTHERWISE NOTED. ALL OTHER LINWORK, INCLUDING SIDEWALK, CURB, AND RAMPS, ARE PER RECORDS DRAWINGS.
 - VERTICAL DATUM: ELEVATIONS ARE BASED ON WASHINGTON COUNTY BENCHMARK 103, A 2" DIAMETER BRASS CAP IN A MONUMENT BOX, LOCATED NEAR THE SOUTHEAST CORNER OF THE INTERSECTION OF SW TUALATIN-SHERWOOD ROAD AND THE SOUTHERN PACIFIC RAILROAD CROSSING. THE ELEVATION OF THE BENCHMARK IS 171.38 FEET (NGVD 29).
 - THIS IS NOT A PROPERTY BOUNDARY SURVEY. BOUNDARIES AS SHOWN ARE PER RECORDED PLAT OF SHERWOOD COMMERCIAL CENTER AND FOUND MONUMENTS. A TITLE REPORT WAS NOT RECEIVED FOR THIS SURVEY, ONLY EASEMENTS FROM RECORDED PLAT ARE SHOWN. PROPERTY MAY BE SUBJECT TO ADDITIONAL EASEMENTS.
 - CONTOUR INTERVAL IS 1 FOOT.
 - ASBUILT INFORMATION PER SHERWOOD COMMERCIAL CENTER ASBUILT PLANS BY AKS ENGINEERING AND FORESTRY, DATED 07, 2008.

GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF SHERWOOD, THE CURRENT EDITION OF THE OREGON SPECIALTY PLUMBING CODE, AND THE INTERNATIONAL BUILDING CODE. ALL WORK IN THE PUBLIC R.O.W. REQUIRES A PUBLIC WORKS PERMIT.
- EXCAVATION: EXCAVATE FOR SLABS, PAVING AND OTHER IMPROVEMENTS TO SIZES AND LEVELS SHOWN OR REQUIRED. ALLOW FOR FORM CLEARANCE AND FOR PROPER COMPACTION OF REQUIRED BACKFILLING MATERIAL. EXCAVATORS MUST COMPLY WITH ORS 757.541 THROUGH 757.571; EXCAVATORS SHALL NOTIFY ALL UTILITY COMPANIES FOR LINE LOCATIONS 72 HOURS (MINIMUM) PRIOR TO START OF WORK. DAMAGE TO UTILITIES SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- EFFECTIVE EROSION CONTROL IS REQUIRED. EROSION CONTROL DEVICES MUST BE INSTALLED AND MAINTAINED MEETING WES STANDARDS. THE GOVERNING JURISDICTION SHALL, AT ANY TIME, ORDER CORRECTIVE ACTION AND STOPPAGE OF WORK TO ACCOMPLISH EFFECTIVE EROSION CONTROL.
- EFFECTIVE DRAINAGE CONTROL IS REQUIRED. DRAINAGE SHALL BE CONTROLLED WITHIN THE WORK SITE AND SHALL BE SO ROUTED THAT ADJACENT PRIVATE PROPERTY, PUBLIC PROPERTY, AND THE RECEIVING SYSTEM ARE NOT ADVERSELY IMPACTED. THE GOVERNING JURISDICTION MAY, AT ANY TIME, ORDER CORRECTIVE ACTION AND STOPPAGE OF WORK TO ACCOMPLISH EFFECTIVE DRAINAGE CONTROL. REFER TO WES STANDARDS AND EROSION CONTROL PLAN.
- CONTRACTOR SHALL ADJUST ALL STRUCTURES IMPACTED BY CONSTRUCTION IMPROVEMENTS TO NEW FINISHED GRADES, AND COORDINATE CONSTRUCTION AROUND EXISTING UTILITIES WITH UTILITY PROVIDERS.
- CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES NOT SHOWN FOR REMOVAL. DAMAGE TO EXISTING STRUCTURES SHALL BE REPAIRED BY THE CONTRACTOR WITH CONTRACTOR'S OWN RESOURCES.
- THE BUILDING OUTLINE SHOWN ON THIS PLAN IS SHOWN FOR REFERENCE ONLY AND SHOULD NOT BE USED FOR CONSTRUCTION, WHETHER MEASURING, STAKING OR OTHERWISE. REFER TO ARCHITECTURAL DRAWINGS FOR ALL MEASUREMENTS, DIMENSIONS, OUTLINE AND FEATURES.
- PAVING, FOUNDATIONS, SITE PREPARATION, CLEARING, GRADING, GRUBBING, SUBGRADE PREPARATION, ETC. BY OTHERS.
- THE SURVEY INFORMATION SHOWN AS A BACKGROUND SCREEN ON THIS SHEET IS BASED ON A SURVEY DONE BY AKS ENGINEERING AND FORESTRY DATED 06/18/2021, AND IS SHOWN FOR REFERENCE ONLY. SUMMIT ENGINEERING HAS NOT VERIFIED ANY INFORMATION SHOWN ON THE PLANS AND MAKES NO GUARANTEES AS TO THE ACCURACY OF THE INFORMATION SHOWN. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS WITH THEIR OWN RESOURCES PRIOR TO THE START OF ANY CONSTRUCTION OR ORDERING MATERIALS. NOTIFY ENGINEER OF ANY DISCREPANCIES WITH THE SITE WITH RESPECT TO ANY ELEMENT SHOWN ON THESE PLANS.

CONSTRUCTION NOTES

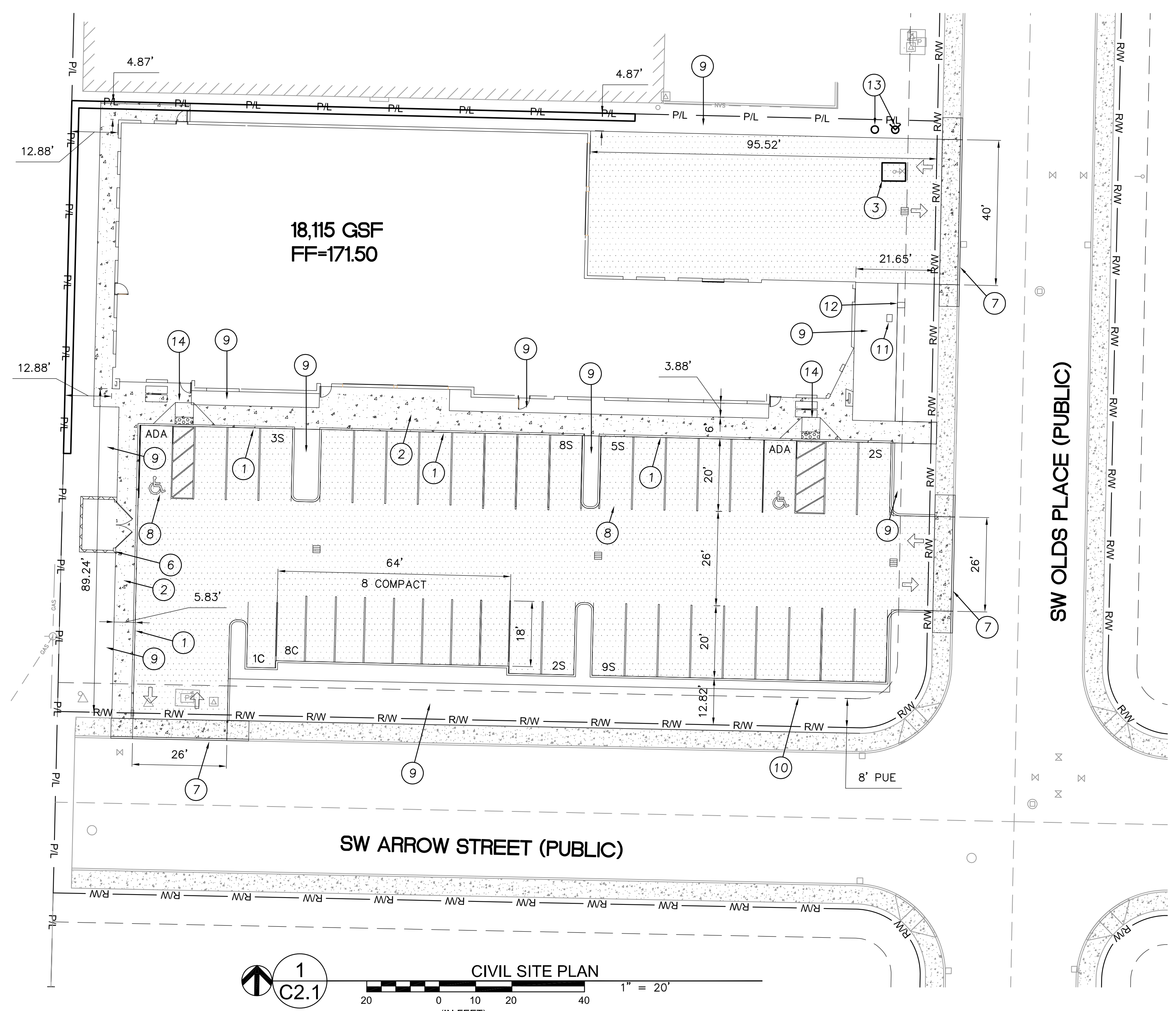
- 6" VERTICAL CURB.
- CONCRETE SIDEWALK.
- BACKFLOW PREVENTION IN VAULT PER UTILITY PLAN.
- FIRE TRUCK/ENGINE TURN RADI.
- BIKE PARKING PER ARCH.
- TRASH ENCLOSURE PER ARCH.
- REMOVE EXISTING CURB AND SIDEWALK. INSTALL CITY STANDARD CONCRETE DRIVEWAY PER RD-42.
- ADA PARKING SPACE.
- LANDSCAPE AREA, SEE LANDSCAPING PLANS.
- EXISTING PUBLIC UTILITY EASEMENT.
- IRRIGATION POINT OF CONNECTION, SEE UTILITY PLAN.
- WATER METER, SEE UTILITY PLAN.
- FDC AND PIV, SEE UTILITY PLAN.
- ADA CURB RAMP.

LEGEND

PROPOSED:	
	ASPHALT PAVING
	DRIVEWAY, CONCRETE PADS AND SIDEWALK
	CATCH BASIN
	WATER METER
	WATER VAULT
	FDC
	6" VERTICAL CURB
	RETAINING WALL, SEE C2.2
EXISTING:	
	EXISTING EDGE OF PAVEMENT
	STORM SEWER MANHOLE
	STORM SEWER LINE
	CATCH BASIN
	WATER METER
	WATER LINE
	WATER VALVE
	SANITARY SEWER MANHOLE
	SANITARY SEWER LINE
	POWER VAULT
	POWER JUNCTION BOX
	COMMUNICATIONS JUNCTION BOX
	GAS LINE
	UNDERGROUND COMMUNICATIONS LINE
	RIGHT OF WAY
	PROPERTY LINE

SITE DATA

SITE AREA	40,070 SF
LANDSCAPE AREA	6,844 SF (17.1%)
ASPHALT PARKING	13,765 SF
ASPHALT AT TRUCK COURT	3,813 SF
BUILDING FOOT PRINT	11,971 SF
VEHICLE PARKING SPACES	
STANDARD	29 SPACES
ADA	2 SPACES
COMPACT	9 SPACES
TOTAL PROVIDED	40 SPACES
TOTAL REQUIRED	40 SPACES
BICYCLE SPACES PROVIDED	4 SPACES
BICYCLE SPACES REQUIRED	3 SPACES

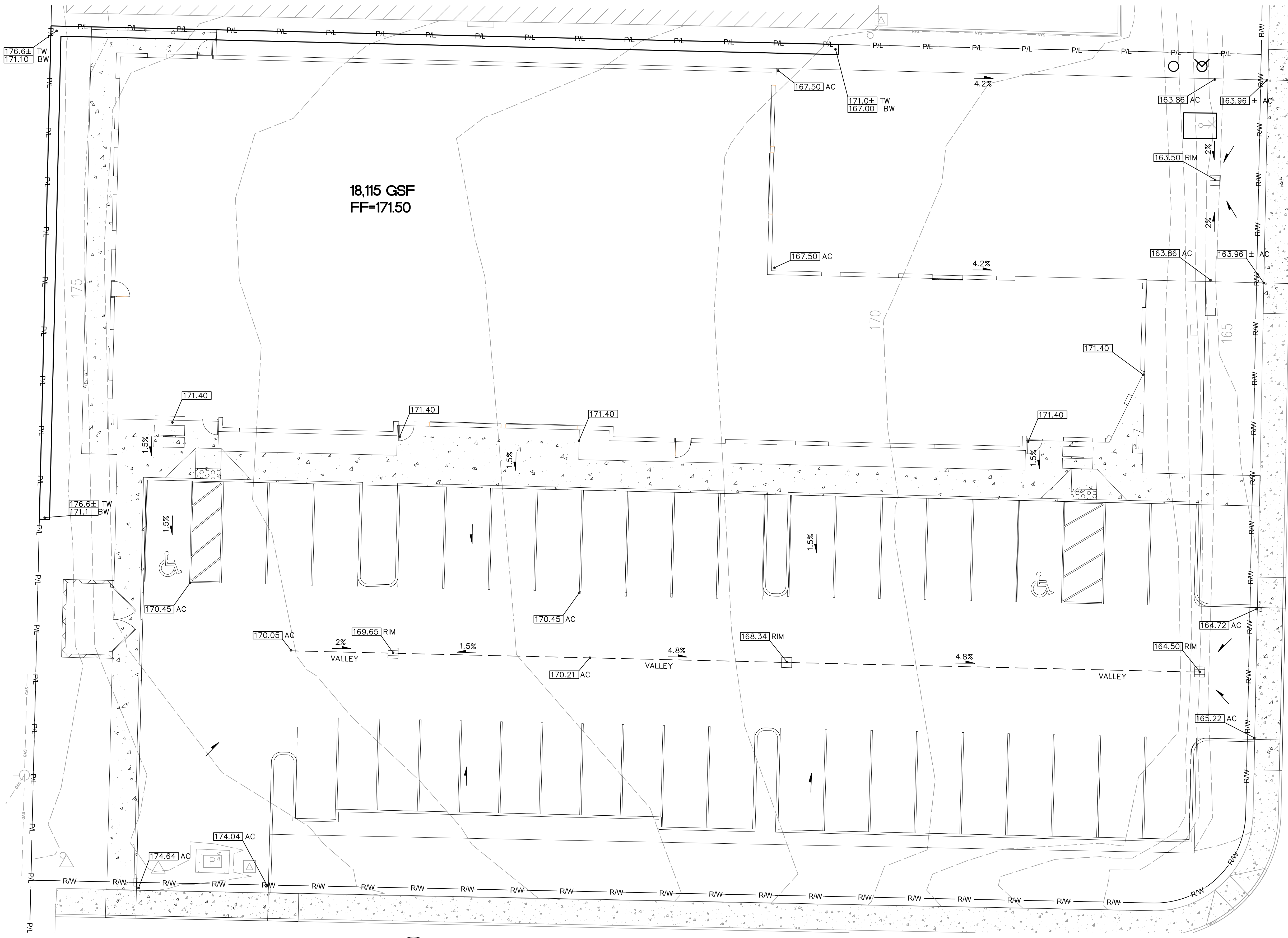


GRADING NOTES

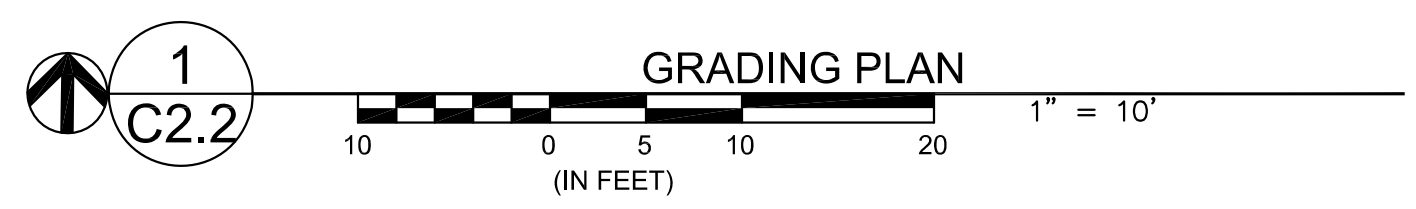
- ROUGH GRADING:** BRING ALL FINISHED GRADES TO APPROXIMATE LEVELS INDICATED. WHERE GRADES ARE NOT OTHERWISE INDICATED, FINISHED GRADES ARE TO BE THE SAME AS ADJACENT SIDEWALKS, CURBS, OR THE OBVIOUS GRADE OF ADJACENT STRUCTURE. GRADE TO UNIFORM LEVELS OR SLOPES BETWEEN POINTS WHERE GRADES ARE GIVEN; OTHERWISE, GRADING SHALL ADHERE TO THE CONTOUR OR SPOT GRADE SHOWN, OR AN INTERPOLATION BETWEEN A GIVEN SPOT GRADE OR CONTOUR. ROUND OFF SURFACES, AVOID ABRUPT CHANGES IN LEVELS. ROUGH GRADE TO ALLOW FOR DEPTH OF CONCRETE SLABS, WALKS AND THEIR BASE COURSES. GRADE FOR PAVED DRIVES AND PAVED PARKING AREAS AS INDICATED AND SPECIFIED HEREIN, AND PROVIDE FOR SURFACE DRAINAGE AS SHOWN, ALLOWING FOR THICKNESS OF SURFACING MATERIAL.
- EXCAVATION:** EXCAVATE FOR SLABS, PAVING AND OTHER IMPROVEMENTS TO SIZES AND LEVELS SHOWN OR REQUIRED. ALLOW FOR FORM CLEARANCE AND FOR PROPER COMPACTION OF REQUIRED BACKFILLING MATERIAL. EXCAVATORS MUST COMPLY WITH ORS 757.541 THROUGH 757.571; EXCAVATORS SHALL NOTIFY ALL UTILITY COMPANIES FOR LINE LOCATIONS 72 HOURS (MINIMUM) PRIOR TO START OF WORK. DAMAGE TO UTILITIES SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- EFFECTIVE EROSION CONTROL IS REQUIRED. EROSION CONTROL DEVICES MUST BE INSTALLED AND MAINTAINED MEETING WES STANDARDS. THE GOVERNING JURISDICTION SHALL, AT ANY TIME, ORDER CORRECTIVE ACTION AND STOPPAGE OF WORK TO ACCOMPLISH EFFECTIVE EROSION CONTROL.
- EFFECTIVE DRAINAGE CONTROL IS REQUIRED. DRAINAGE SHALL BE SO ROUTED THAT ADJACENT PRIVATE PROPERTY, PUBLIC PROPERTY, AND THE RECEIVING SYSTEM ARE NOT ADVERSELY IMPACTED. THE GOVERNING JURISDICTION MY, AT ANY TIME, ORDER CORRECTIVE ACTION AND STOPPAGE OF WORK TO ACCOMPLISH EFFECTIVE DRAINAGE CONTROL. REFER TO WES STANDARDS AND EROSION CONTROL PLAN.
- SITE TOPSOIL SHALL BE STOCKPILED DURING CONSTRUCTION AND USED FOR LANDSCAPING TO THE EXTENT PRACTICABLE.
- THE SURVEY INFORMATION SHOWN AS A BACKGROUND SCREEN ON THIS SHEET IS BASED ON A SURVEY DONE BY AKS ENGINEERING AND FORESTRY DATED 06/18/2021, AND IS SHOWN FOR REFERENCE ONLY. SUMMIT ENGINEERING HAS NOT VERIFIED ANY INFORMATION SHOWN ON THE PLANS AND MAKES NO GUARANTEES AS TO THE ACCURACY OF THE INFORMATION SHOWN. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS WITH THEIR OWN RESOURCES PRIOR TO THE START OF ANY CONSTRUCTION OR ORDERING MATERIALS. NOTIFY ENGINEER OF ANY DISCREPANCIES WITH THE SITE WITH RESPECT TO ANY ELEMENT SHOWN ON THESE PLANS.
- CONTRACTOR SHALL COORDINATE GRADES AT ALL BUILDING ENTRANCES WITH ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION.
- CONTRACTOR TO ENSURE 1.5% MAX SLOPE AT ALL ADA-ACCESSIBLE PARKING SPACES.
- CONTRACTOR TO ENSURE 5% MAX SLOPE (EXCLUDING RAMPS) AND 1.5% MAX CROSS-SLOPE AT PEDESTRIAN SIDEWALK CONNECTIONS BETWEEN PUBLIC R.O.W. AND BUILDING ENTRANCES.
- CONTRACTOR TO ENSURE ALL STRUCTURES IMPACTED BY CONSTRUCTION IMPROVEMENTS ARE ADJUSTED TO NEW FINISHED GRADES.
- CONTRACTOR TO ENSURE THE FIRST FIVE (5) FEET OF FINISHED GROUND SHALL SLOPE AWAY FROM EACH FACE OF EACH BUILDING AT A MINIMUM OF 2%. NOTIFY ENGINEER OF ANY DISCREPANCIES SHOWN ON PLAN DURING CONSTRUCTION.
- REFER TO GENERAL NOTES ON C2.1.

LEGEND

232.81 TC	TOP OF CURB
232.81 AC	ASPHALT ELEVATION
232.81 TW	TOP OF WALL ELEVATION
232.81 BW	BOTTOM GRADE AT FACE OF RETAINING WALL (NOT BOTTOM OF WALL OR WALL FOOTING)
232.81 RIM	CATCH BASIN RIM ELEVATION
232.81 EG	EXISTING GRADE
229	PROPOSED 1-FEET CONTOUR
230	PROPOSED 5-FEET CONTOUR
-229	EXISTING 1-FEET CONTOUR
-230	EXISTING 5-FEET CONTOUR
---	RIDGE OR VALLEY LINE
▬	RETAINING WALL



18,115 GSF
FF=171.50



THE BACKGROUND SURVEY INFORMATION SHOWN ON THESE PLANS WAS COMPLETED BY AKS ENGINEERING AND FORESTRY LLC DATED JUNE 18, 2021. ALL INFORMATION SHOWN SHOULD BE VERIFIED BY THE CONTRACTOR WITH THEIR RESOURCES PRIOR TO EXCAVATING OR ORDERING MATERIALS.

UTILITY NOTES

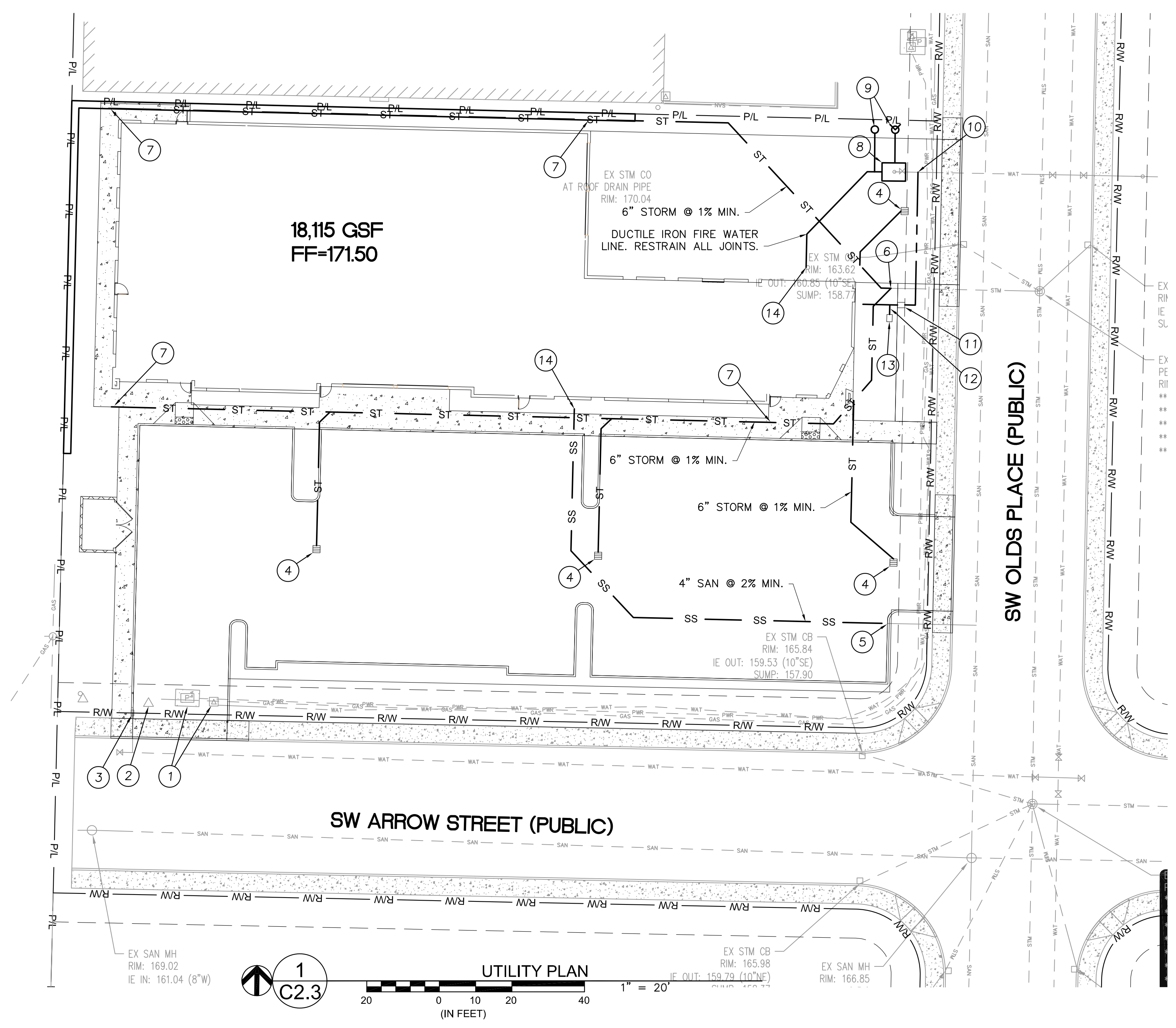
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF SHERWOOD, THE CURRENT EDITION OF THE UNIFORM PLUMBING CODE, AND THE INTERNATIONAL BUILDING CODE. ALL WORK IN THE PUBLIC R.O.W. REQUIRES A PUBLIC WORKS PERMIT.
- THE WORKING DRAWINGS ARE GENERALLY DIAGRAMMATIC. THEY DO NOT SHOW EVERY OFFSET, BEND, OR ELBOW REQUIRED FOR INSTALLATION IN THE SPACE PROVIDED. THEY DO NOT SHOW EVERY DIMENSION, COMPONENT, PIECE, SECTION, JOINT OR FITTING REQUIRED TO COMPLETE THE PROJECT. ALL LOCATIONS FOR WORK SHALL BE CHECKED AND COORDINATED WITH EXISTING CONDITIONS IN THE FIELD BEFORE BEGINNING CONSTRUCTION. EXISTING UNDERGROUND UTILITIES LAYING WITHIN THE LIMITS OF EXCAVATION SHALL BE VERIFIED AS TO CONDITION, SIZE AND LOCATION BY UNCOVERING, PROVIDING SUCH IS PERMITTED BY LOCAL PUBLIC AUTHORITIES WITH JURISDICTION, BEFORE BEGINNING CONSTRUCTION. CONTRACTOR TO VERIFY EXISTING CONDITIONS WITH HIS/HER OWN RESOURCES PRIOR TO ORDERING MATERIALS, AND SHALL NOTIFY ENGINEER IF THERE ARE ANY DISCREPANCIES.
- PROVIDE CLEANOUTS AS REQUIRED IN THE CURRENT UNIFORM PLUMBING CODE CHAPTER 7, SECTION 707 AND 719, AND CHAPTER 11, SECTION 1103.04. NOTE: NOT ALL REQUIRED CLEANOUTS ARE SHOWN ON THE PLANS.
- ALL STORM PIPING IS SIZED FOR A MANNING'S N VALUE = 0.013. ALL STORM PIPING IS DESIGNED USING CONCENTRIC PIPE TO PIPE AND WYE FITTINGS, UNLESS OTHERWISE NOTED.
- PER SECTION 313.2 OF THE OREGON SPECIALTY PLUMBING CODE, UTILITIES SHOWN UNDER OR WITHIN 5' OF ANY BUILDING OR STRUCTURE (INCLUDING ANY FOUNDATION DRAINAGE PIPING), OR LESS THAN 1' BELOW THE GROUND SURFACE, ARE TO BE CONSTRUCTED OF MATERIALS OTHER THAN THOSE APPROVED TO BE USED UNDER OR WITHIN A BUILDING. TABLE 7-1 AND SECTION 1101.3 LISTS APPROVED PIPE MATERIAL FOR SANITARY AND STORM DRAINAGE, RESPECTIVELY. VERIFY LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES BY POT-HOLING PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- CONTRACTOR TO MAINTAIN A MINIMUM OF 3" OF COVER OVER ALL WATER LINES.
- CONTRACTOR TO MAINTAIN A MINIMUM OF 18" OF COVER OVER ALL STORM LINES IN LANDSCAPED AREAS AND 24" OF COVER IN PAVED AREAS. STORM LINES MAY HAVE LESS THAN 24" OF COVER BUT NOT LESS THAN 12" OF COVER IN PAVED AREAS WHEN DUCTILE IRON PIPE IS USED. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- CONTRACTOR IS RESPONSIBLE FOR COMPATIBILITY BETWEEN PIPE MATERIALS, FITTINGS AND APPURTENANCES.
- FOOTING DRAINS ARE REQUIRED AT ALL FOUNDATIONS AND BACK OF RETAINING WALLS PER PLUMBING CODE.
- WHERE CONNECTING TO AN EXISTING PIPE, AND PRIOR TO ORDERING MATERIALS, THE CONTRACTOR SHALL EXPOSE THE END OF THE EXISTING PIPE AND VERIFY THE LOCATION, SIZE, AND ELEVATION WITH HIS/HER OWN RESOURCES, AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL HYDRANTS, FIRE SUPPRESSION AND FIRE SPRINKLER SYSTEMS SHALL ALSO COMPLY WITH THE LOCAL FIRE DISTRICT REQUIREMENTS.
- CONTRACTOR IS RESPONSIBLE TO OBTAINING THE DESIGN, PERMITTING, AND FURNISHING OF ALL REQUIRED ELEMENTS, FOR COMPLETE INSTALLATION OF ELECTRICAL SERVICE TO VAULTS FOR SUMP PUMPS, INCLUDING SUMP PUMP AND PIPING.
- ALL 4" WATER LINE AND ABOVE SHALL BE C900 OR APPROVED EQUAL. ALL WATER LINE LESS THAN 4" SHALL FOLLOW THE CURRENT EDITION OF THE OREGON SPECIALTY PLUMBING CODE AND CARRY A MINIMUM 200 PSI TEST PRESSURE OR AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
- LOCATION AND SIZE OF UTILITY VAULTS SHOWN IS APPROXIMATE ONLY. CONTRACTOR SHALL COORDINATE LOCATION, SIZE AND PLACEMENT OF ALL VAULTS WITH AUTHORITY HAVING JURISDICTION PRIOR TO ORDERING MATERIALS. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- SET VAULT LIDS 3 INCHES HIGHER THAN SURROUNDING GROUND IN LANDSCAPED AREAS OR FLUSH WITH PAVED AREAS, OR PER LOCAL JURISDICTION STANDARDS. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO INSTALLATION.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING UTILITY LINES OUT OF THE ZONE OF INFLUENCE OF ALL BUILDING AND OTHER FOOTINGS PER 8/C8.1.

CONSTRUCTION NOTES

- RELOCATE POWER VAULT AND PEDESTAL OUT OF DRIVEWAY. CONTRACTOR TO COORDINATE RELOCATION WITH UTILITY.
- RELOCATE COMMUNICATION PEDESTAL OUT OF DRIVEWAY. CONTRACTOR TO COORDINATE RELOCATION WITH UTILITY.
- RELOCATE WATER METER OUT OF DRIVEWAY. CONTRACTOR TO COORDINATE RELOCATION WITH UTILITY.
- INSTALL CATCH BASIN W/ 6" STORM LINE OUTLET.
- CONNECT SANITARY SEWER TO EXISTING SANITARY STUB. IE=156.76 VERIFY.
- CONNECT STORM SEWER TO EXISTING STORM STUB. IE=158.73 VERIFY. REGIONAL WATER QUALITY IS PROVIDED. NO STORMWATER MANAGEMENT IS PROPOSED ON SITE.
- CONTRACTOR TO VERIFY LOCATION OF DOWNSPOUTS AND INSTALL WYE AS NECESSARY FOR CONNECTION TO STORM LINE. VERIFY WITH ARCH PLANS FOR LOCATIONS.
- VAULT FOR BACKFLOW PREVENTION FOR FIRE WATER LINE. CONNECT BACKFLOW PREVENTION TO EXISTING WATER LINE STUB.
- FDC AND PIV WITH DUCTILE IRON WATER LINE TO VAULT. RESTRAIN ALL JOINTS. INSTALL SIGNAGE PER FIRE DEPT. STANDARDS.
- INSTALL TEE AND 2" WATER LINE TO DOMESTIC WATER METER.
- INSTALL WATER METER IN VALVE BOX.
- INSTALL TEE AND 1" WATER LINE FOR IRRIGATION.
- INSTALL BACKFLOW PREVENTION IN VALVE BOX FOR IRRIGATION LINE.
- CONNECT PIPE INSIDE BUILDING PER PLUMBING PLAN.

LEGEND

PROPOSED:	
	ASPHALT PAVING
	DRIVEWAY, CONCRETE PADS AND SIDEWALK
	CATCH BASIN
	WATER METER
	WATER VAULT
	FDC
	6" VERTICAL CURB
EXISTING:	
	EXISTING EDGE OF PAVEMENT
	STORM SEWER MANHOLE
	STORM SEWER LINE
	CATCH BASIN
	WATER METER
	WATER LINE
	WATER VALVE
	SANITARY SEWER MANHOLE
	SANITARY SEWER LINE
	UNDERGROUND POWER
	POWER VAULT
	POWER JUNCTION BOX
	COMMUNICATIONS JUNCTION BOX
	GAS LINE
	UNDERGROUND COMMUNICATIONS LINE
	RIGHT OF WAY
	PROPERTY LINE



THE BACKGROUND SURVEY INFORMATION SHOWN ON THESE PLANS WAS COMPLETED BY AKS ENGINEERING AND FORESTRY LLC DATED JUNE 16, 2021. ALL INFORMATION SHOWN SHOULD BE VERIFIED BY THE CONTRACTOR WITH THEIR RESOURCES PRIOR TO EXCAVATING OR ORDERING MATERIALS.

PLANTING PLAN NOTES

- A. SEE ARCHITECTURAL SITE PLAN FOR ADDITIONAL SITE INFORMATION.
- B. SEE CIVIL FOR ON-SITE GRADING AND UTILITY INFORMATION.
- C. PROVIDE PERMANENT DRIP IRRIGATION SYSTEM WITH AUTOMATIC CONTROLLER.
- D. PREPARE AND AMEND THE TOPSOIL AND SUBSOIL AS RECOMMENDED FOR EACH TYPE OF PLANT SELECTED.
- E. PLANT MATERIALS MUST BE INSTALLED TO CURRENT NURSERY INDUSTRY STANDARDS. PLANT MATERIALS MUST BE PROPERLY SUPPORTED TO ENSURE SURVIVAL. SUPPORT DEVICES SUCH AS GUY WIRES OR STAKES MUST NOT INTERFERE WITH VEHICULAR OR PEDESTRIAN MOVEMENT.

ZONING REQUIREMENTS

PERIMETER LANDSCAPE BUFFER ZONE, SMC 16.92.030.A
10' AT STREETS. REDUCED TO 5' AT INTERIOR LOT LINES. SHOWN WITH DASHED LINES ON PLANTING PLAN.

PARKING AREA LANDSCAPING, SMC 16.92.030.B

REQUIRED LANDSCAPING QUANTITIES:
2,816 SF REQ'D (40 PARKING SPACES * 45 SF PER SPACE)
2,816 SF PROVIDED.

TREE CANOPY FACTOR:
SMALL < 40
MEDIUM 40 < 90
LARGE > 90

TREE COMBINATIONS:
10 SMALL TREES @ 1 PER 2 PARKING SPACES = 20 PARKING SPACES
4 MEDIUM TREES @ 1 PER 3 PARKING SPACES = 12 PARKING SPACES
2 LARGE TREES @ 1 PER 4 PARKING SPACES = 8 PARKING SPACES
20 + 12 + 8 = 40 PROVIDED PARKING SPACES

> 5% OF REQUIRED TREES MUST BE EVERGREEN
1 OF 16 TREES PROVIDED ARE EVERGREEN

2 SHRUBS REQ'D PER PARKING SPACE = 80 SHRUBS REQ'D
82 SHRUBS PROVIDED

PLANT SELECTIONS

1. TREES

- A. SMALL DECIDUOUS TREE = Alternate PAPERBARK MAPLE (*Acer Griseum*) and JAPANESE MAPLE (*Acer Palmatum* - not 'dissectum')
- B. SMALL EVERGREEN TREE = COLORADO BLUE SPRUCE (*Picea pungens*)
- C. MEDIUM DECIDUOUS TREE = SARGENT CHERRY (*Prunus sargentii*)
- D. LARGE DECIDUOUS TREE = OREGON WHITE OAK (*Quercus garryana*)

NOTE: ALL TREES TO BE 6' MINIMUM HEIGHT, 2" MINIMUM CALIPER SIZE, AND FULLY BRANCHED AT THE TIME OF PLANTING.

2. SHRUBS

- PARKING AREA LANDSCAPE:**
- A. SPANISH LAVENDER (*Lavendula Stoechas*)
 - B. SNOWBERRY (*Symphoricarpos albus*)
- PERIMETER LANDSCAPE:**
- C. CAUCASIAN DAPHNE (*Daphne caucasica*)
 - D. WESTERN SPIRAEA HARDHACK (*Spiraea douglasii*)

NOTE: ALL SHRUBS TO BE ONE GALLON CONTAINER SIZE OR LARGER AT THE TIME OF PLANTING, AND SHALL BE OF SUFFICIENT SIZE TO BE AT FULL GROWTH WITHIN THREE YEARS OF PLANTING.

3. GROUND COVER PLANTS

- PARKING AREA LANDSCAPE:**
- A. SPREADING COYOTE BUSH (*Baccharis magillanicus*)
 - B. BLUE FESCUE (*Festuca Glauca*)
- PERIMETER LANDSCAPE:**
- C. SEDGE (*Carex morrowii*)
 - D. CREEPING OREGON GRAPE (*Mahonia repens*)

NOTE: ALL LANDSCAPE AREA THAT IS NOT PLANTED WITH TREES AND SHRUBS SHALL BE PLANTED IN GROUND COVER PLANTS. GROUND COVER PLANTS OTHER THAN GRASSES MUST BE AT LEAST THE FOUR-INCH POT SIZE AND SPACED AT DISTANCES APPROPRIATE FOR THE PLANT SPECIES. GROUND COVER PLANTS SHALL BE OF SUFFICIENT SIZE, QUANTITY, AND SPACING TO BE AT FULL GROWTH WITHIN THREE YEARS OF PLANTING.

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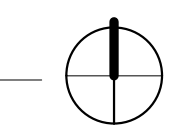
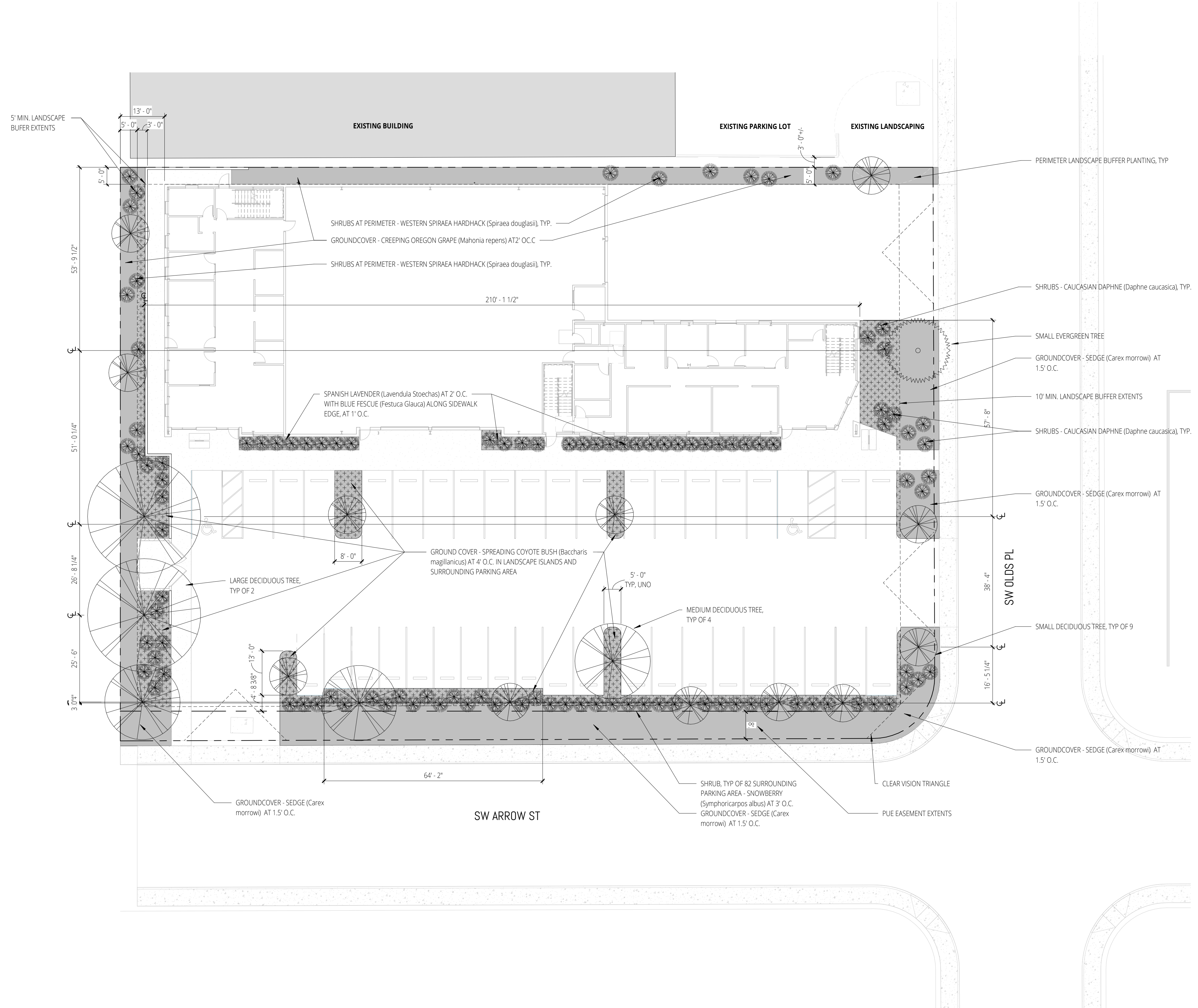
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LANDSCAPE PLAN
LU0.51

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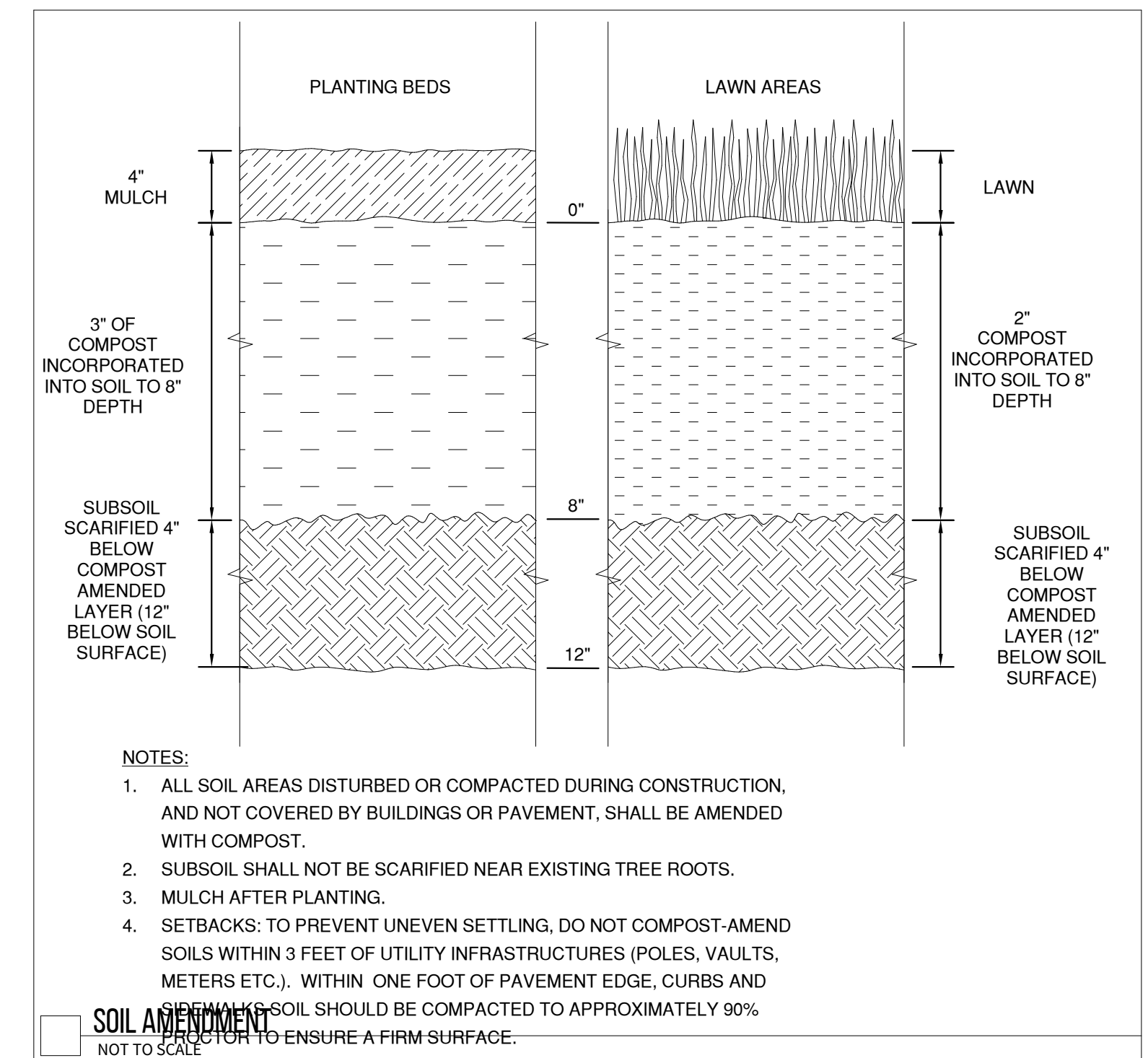
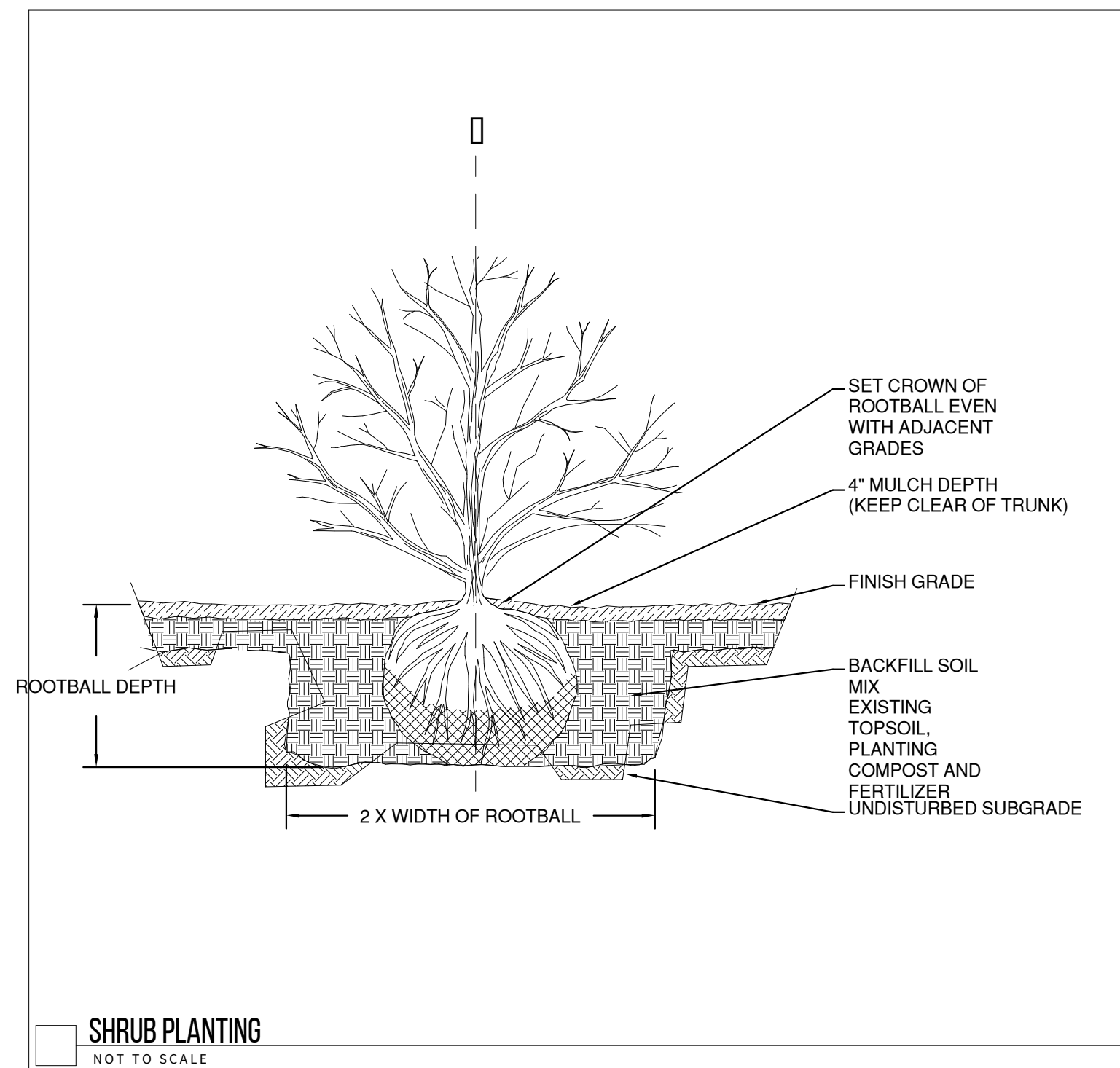
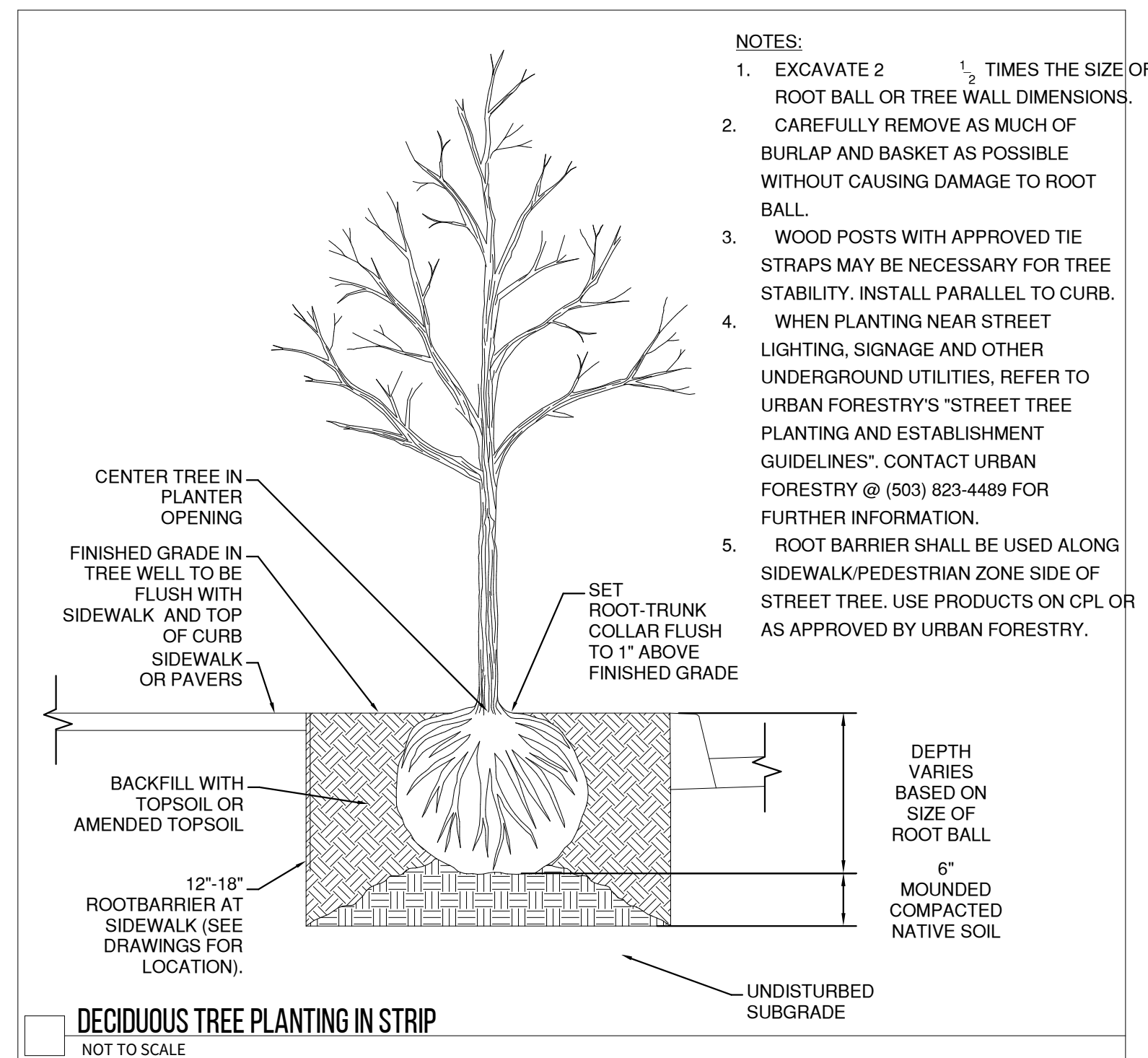
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LANDSCAPE
DETAILS

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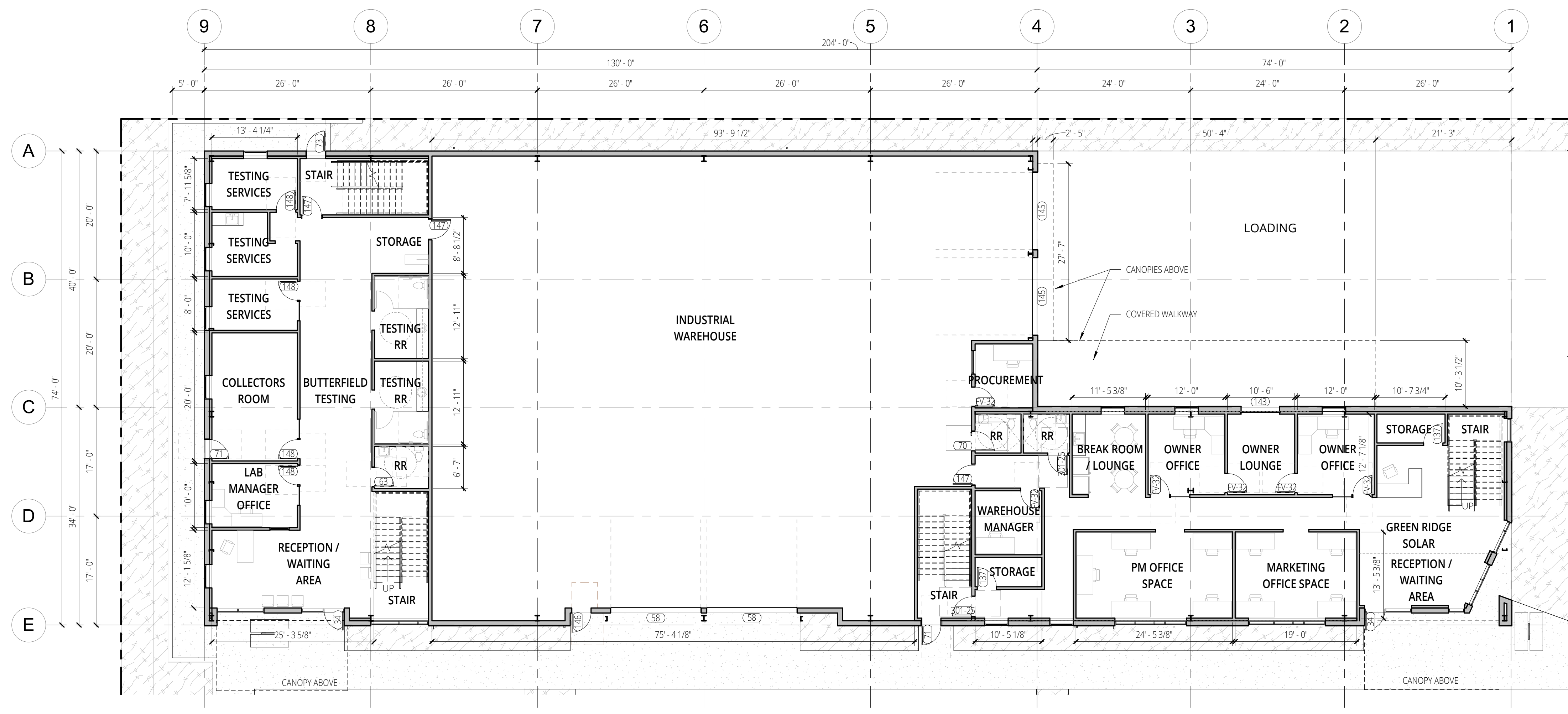
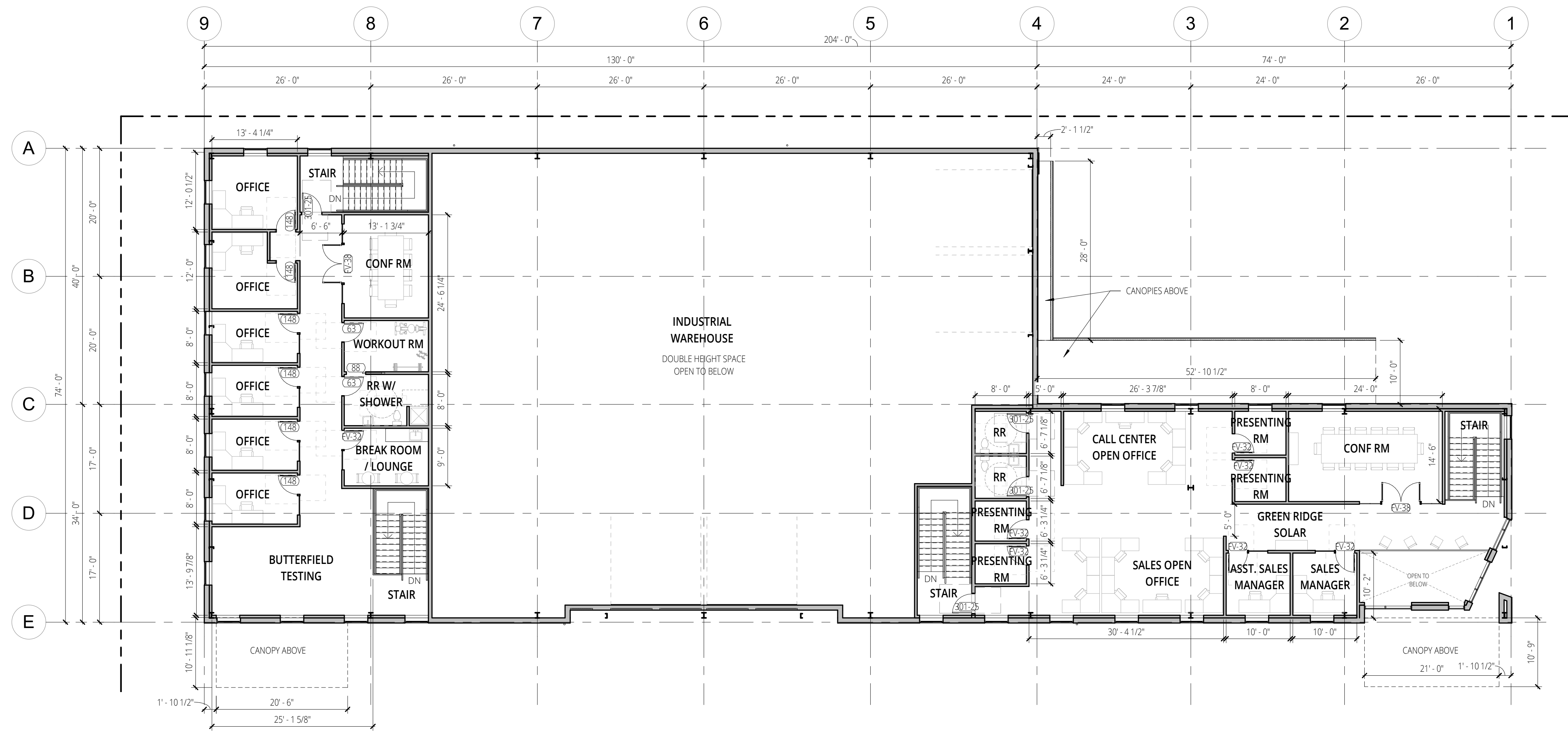
FLOOR PLAN NOTES

- A. SEE ASSEMBLIES SHEET A0.70 OR 0.71 FOR WALL DIMENSION POINT LOCATIONS.
- B. DOOR HINGE JAMBS TO BE LOCATED 2 1/2" FROM FACE OF FINISH OF THE NEAREST PERPENDICULAR ADJACENT WALL, UNLESS NOTED OTHERWISE.
- C. PROVIDE BLOCKING PER MFR RECOMMENDATIONS, AS SHOWN ON AS.01 FOR ALL WALL MOUNTED ACCESSORIES AND EQUIPMENT, AND AS OTHERWISE INDICATED.
- D. SEE A3.XX INTERIOR COMPOSITE SHEETS FOR ENLARGED PLANS/RPCS, INTERIOR ELEVATIONS, AND ADDITIONAL INFORMATION.
- E. INTERIOR WALLS TO BE INSULATED WHERE PLUMBING OCCURS AND AT ALL OTHER LOCATIONS REQUIRED PER ASSEMBLY OR NOTE.
- F. PROVIDE IDENTIFICATION SIGNS AT 1-HR FIRE PARTITIONS (MATE WALLS) AND STAIR ENCLOSURE WALLS ABOVE ACCESSIBLE CORRIDOR CEILING WITH 3" LETTERING PER OSSC 703.7.

FLOOR PLAN LEGEND

- TYPICAL WALLS**
INTERIOR | NON-BEARING
TYPE A | TYPICAL | FURRING
- EXTERIOR WALLS**
EXTERIOR FRAME | BEARING
TYPE E
- STRUCTURAL WALLS**
INTERIOR FRAME | BEARING
TYPE B
- CONCRETE WALLS**
EXTERIOR | CONCRETE | BEARING
TYPE G

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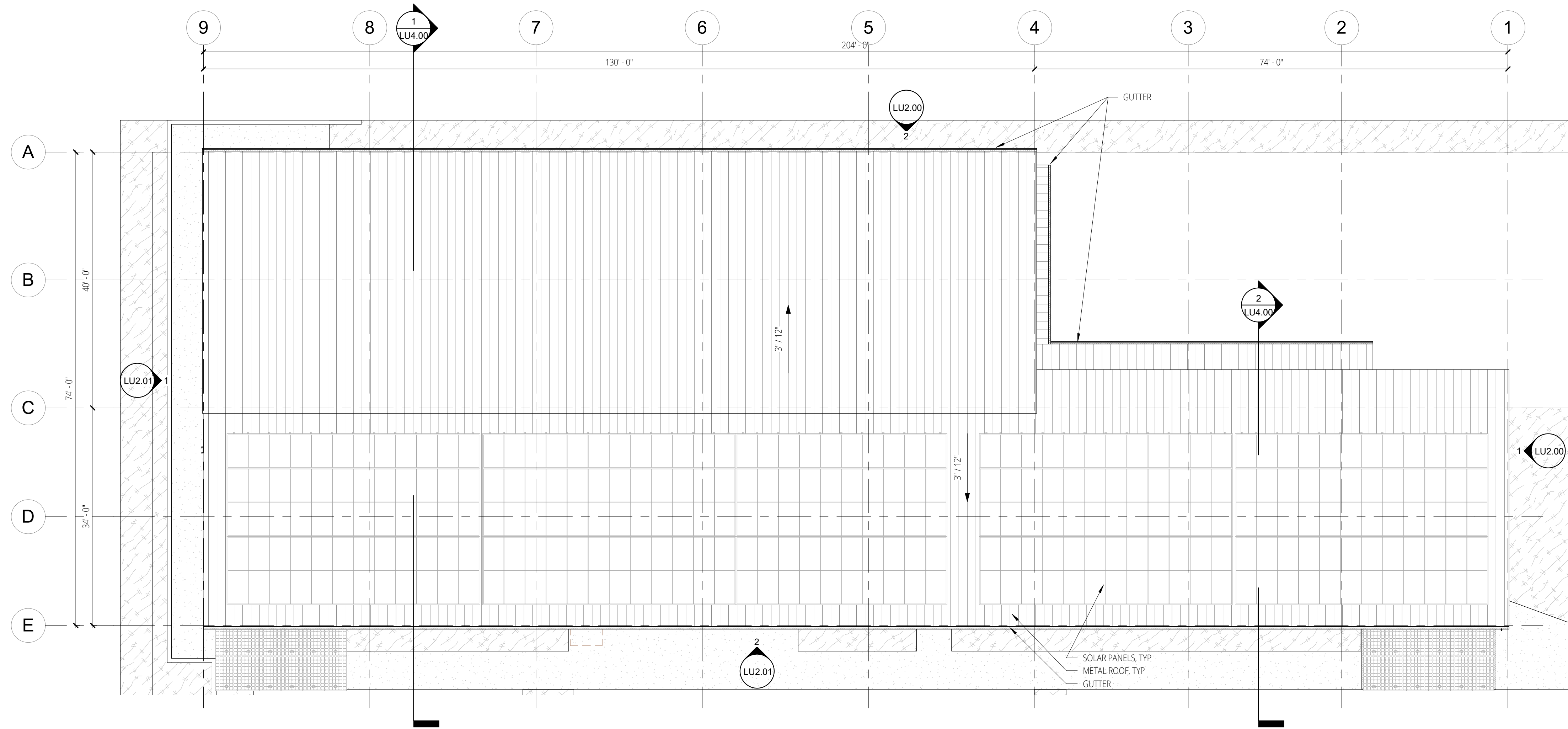
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FLOOR PLANS
LU1.01

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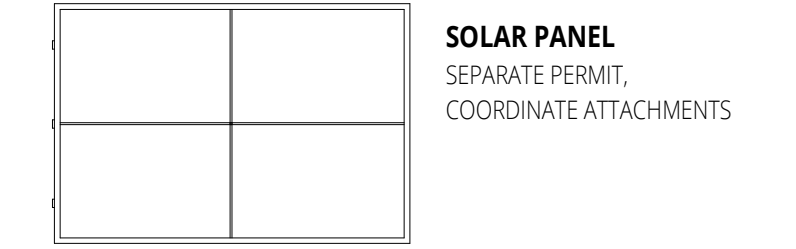


1 ROOF PLAN
3/32" = 1'-0"

ROOF PLAN NOTES

- A. SLOPE ALL TAPERED INSULATION TO DRAIN AT 1/4" PER FOOT MINIMUM. MAINTAIN 3" MINIMUM THICKNESS AT LOW POINTS / DRAINS.
- B. CONSOLIDATE PLUMBING VENT PENETRATIONS, COORDINATE LOCATIONS RELATIVE TO OTHER ELEMENTS, AND TERMINATE PER ROOFING MANUFACTURER DETAILS.
- C. TRANSITION, TERMINATE, AND SEAL ALL JOINTS, OPENINGS, AND PENETRATIONS IN ROOFING MATERIALS PER MANUFACTURER'S INSTRUCTIONS TO MAINTAIN FULL WARRANTY COVERAGE.
- D. ALL ROOF DRAIN PIPING / DOWNSPOUTS TO ROUTE TO STORMWATER FACILITIES. SEE PLUMBING.
- E. SOLAR PANEL SYSTEM IS DELEGATED DESIGN UNDER SEPARATE PERMIT. COORDINATE ATTACHMENT PENETRATIONS AND TERMINATE ROOFING PER MANUFACTURER DETAILS.
- F. ROOF MAINTENANCE ANCHOR/DAVIT LOCATIONS SHOWN REFLECT GENERAL GUIDANCE FOR PROJECT SCOPE. CONTRACTOR TO COORDINATE FINAL LOCATIONS PER MANUFACTURER AND APPLICABLE CODES FOR SAFE ROOF MAINTENANCE ACCESS.

ROOF PLAN LEGEND



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ROOF PLAN
LU1.10

ELEVATION & COMPOSITE NOTES

- A. SEE ASSEMBLIES SHEET A0.70 FOR EXTERIOR WALL AND ROOF COMPONENTS.
- B. SEE DOOR & WINDOW SCHEDULES SHEET A6.00 FOR INFORMATION OPENING COMPONENTS.
- C. SEE BUILDING SECTION SHEET A4.01 FOR INFORMATION ON CONTINUITY OF ENVELOPE CONTROL LAYERS.
- D. SEE EXTERIOR DETAILS SHEET A5.50 FOR TYPICAL CONDITIONS AND GENERAL INTENT. SPECIFIC DETAILS TAKE PRECEDENCE WHERE INDICATED. CALLOUTS NOTED AS **TYP** OR **SIM** APPLY AT SAME OR SIMILAR INTERFACE CONDITIONS.
- E. SHEET METAL FLASHING & TRIM COLORS TO MATCH ADJACENT SIDING MATERIAL, UON. SUBMIT TO ARCHITECT.

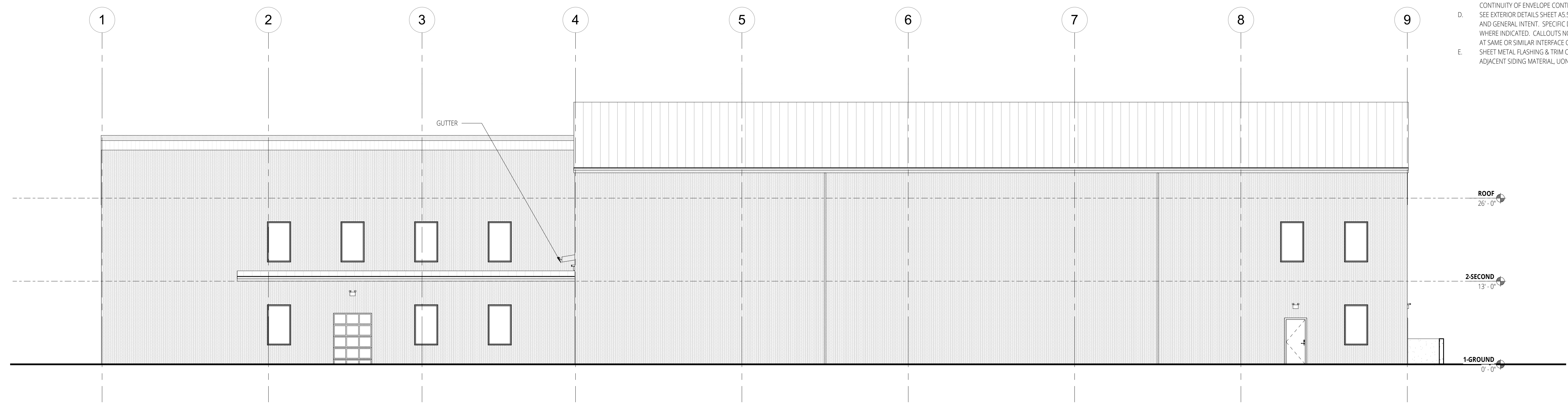
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EXTERIOR ELEVATIONS
LU2.00



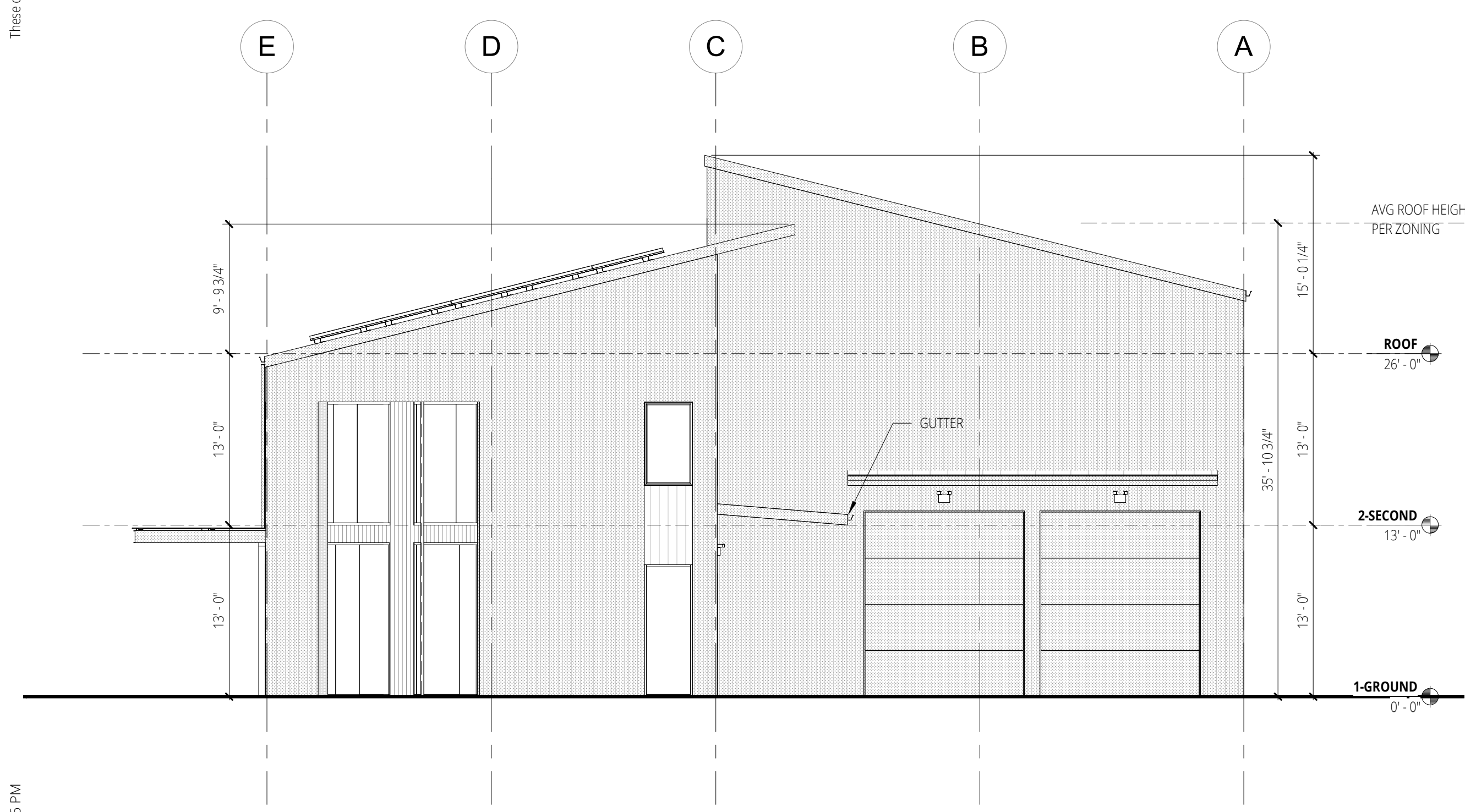
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2 NORTH ELEVATION
1/8" = 1'-0"

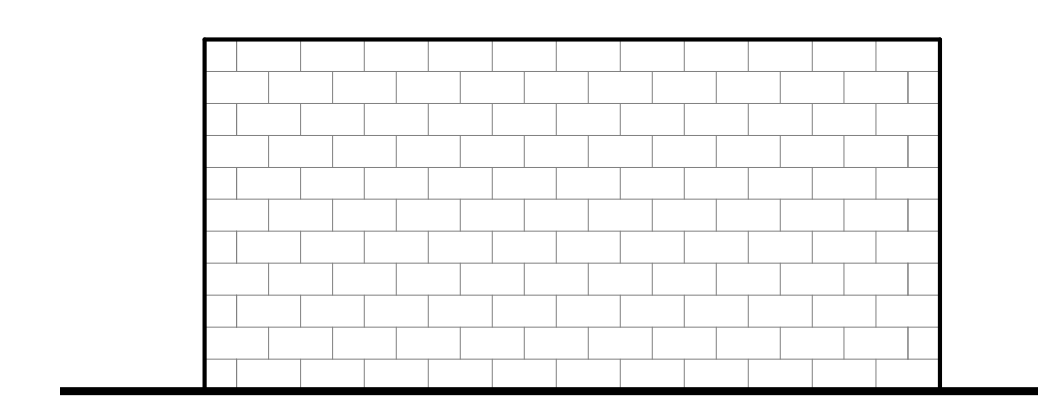
EXTERIOR ELEVATION LEGEND

- METAL PANEL - RIB**
VERTICAL, BLACK
- METAL PANEL**
VERTICAL, GRAY
- 4x SHIPLAP CEDAR**
VERTICAL, STAIN COLOR TBD
- CMU BLOCK**
8X8X16, PAINT COLOR TBD
- ALUMINUM STOREFRONT WINDOW**
FIXED PICTURE WINDOW UNIT
WINDOW TYPE TAG, SEE SCHEDULE
- EXTERIOR EMERGENCY LIGHT**
WALL MOUNTED

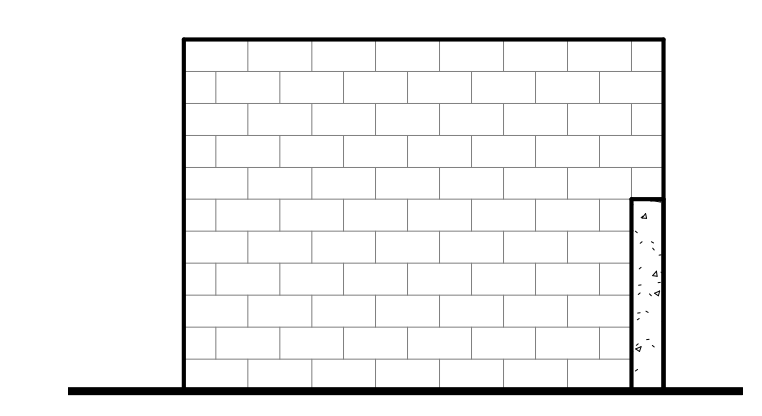
ZONING REQUIREMENTS
GLAZING AREA, EAST ELEVATION
GLAZING AREA = 227 SF TOTAL
FAÇADE AREA = 2,462 SF TOTAL
GLAZING % = 227 / 2,462 = 9.22%



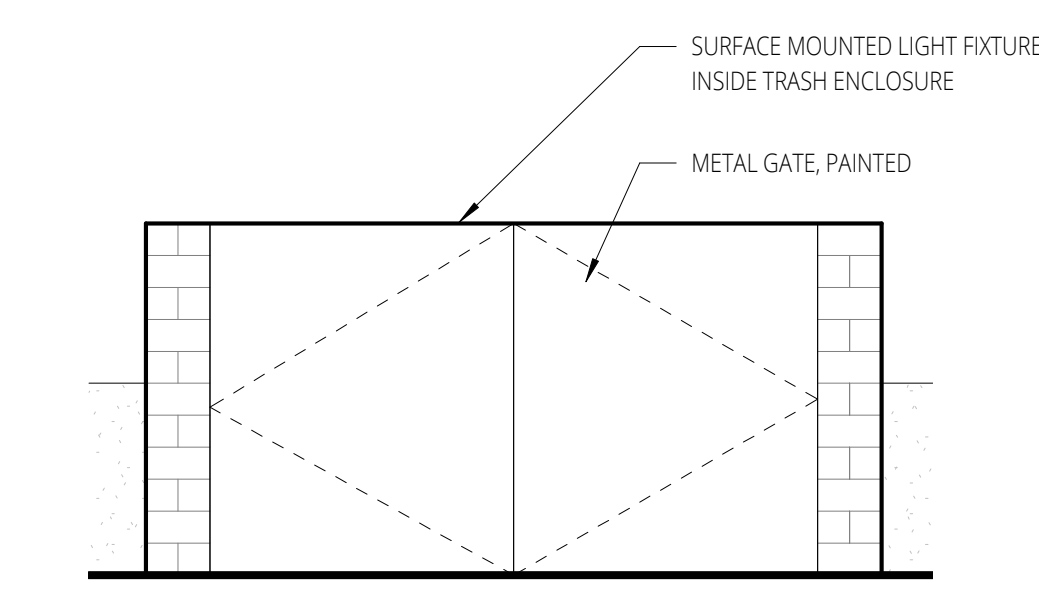
1 EAST ELEVATION
1/8" = 1'-0"



5 TRASH ENCLOSURE - WEST ELEVATION
1/4" = 1'-0"



4 TRASH ENCLOSURE - NORTH & SOUTH ELEVATION
1/4" = 1'-0"



3 TRASH ENCLOSURE - EAST ELEVATION
1/4" = 1'-0"

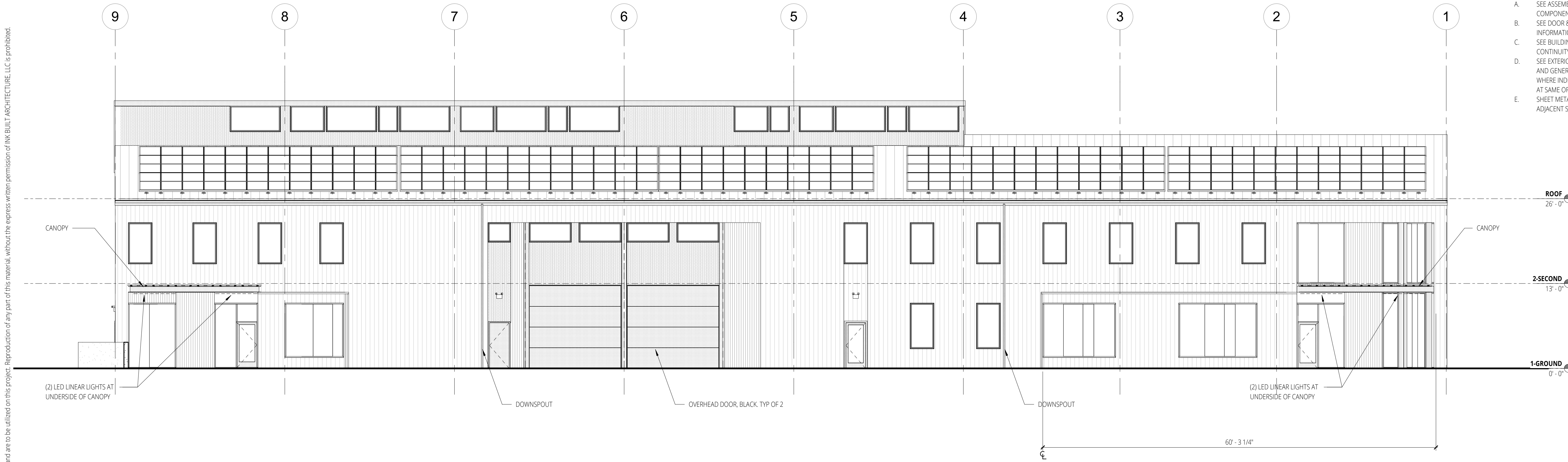
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ELEVATION & COMPOSITE NOTES

- A. SEE ASSEMBLIES SHEET A0.70 FOR EXTERIOR WALL AND ROOF COMPONENTS.
- B. SEE DOOR & WINDOW SCHEDULES SHEET A6.00 FOR INFORMATION OPENING COMPONENTS.
- C. SEE BUILDING SECTION SHEET A4.01 FOR INFORMATION ON CONTINUITY OF ENVELOPE CONTROL LAYERS.
- D. SEE EXTERIOR DETAILS SHEET A5.50 FOR TYPICAL CONDITIONS AND GENERAL INTENT. SPECIFIC DETAILS TAKE PRECEDENCE WHERE INDICATED. CALLOUTS NOTED AS **TYP** OR **SIM** APPLY AT SAME OR SIMILAR INTERFACE CONDITIONS.
- E. SHEET METAL FLASHING & TRIM COLORS TO MATCH ADJACENT SIDING MATERIAL, UON. SUBMIT TO ARCHITECT.

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2 SOUTH ELEVATION
1/8" = 1'-0"

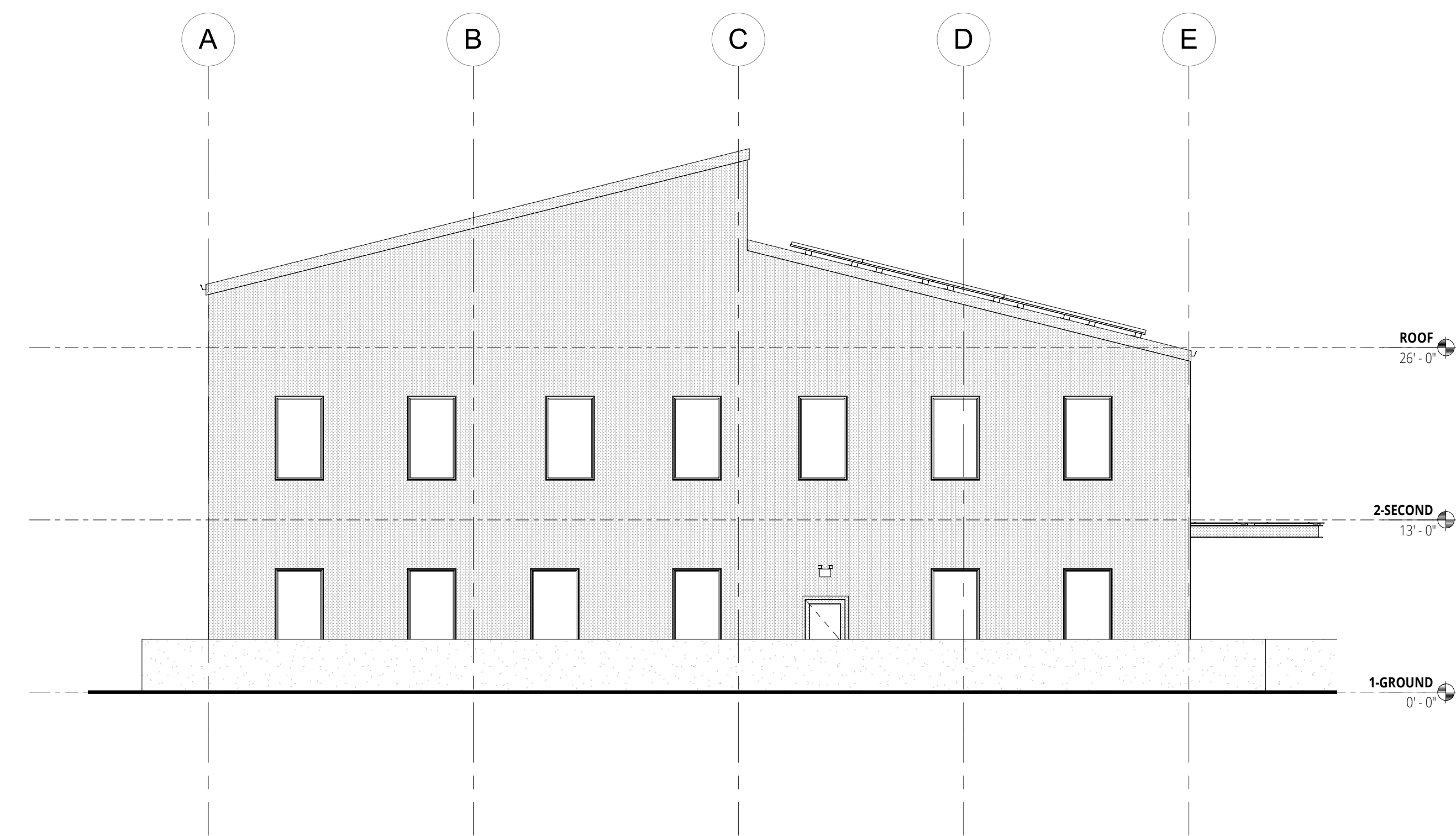
EXTERIOR ELEVATION LEGEND

- METAL PANEL - RIB**
VERTICAL, BLACK
- METAL PANEL**
VERTICAL, GRAY
- 4x SHIPLAP CEDAR**
VERTICAL, STAIN COLOR TBD
- CMU BLOCK**
8X8X16, PAINT COLOR TBD
- ALUMINUM STOREFRONT WINDOW**
FIXED PICTURE WINDOW UNIT
WINDOW TYPE TAG, SEE SCHEDULE
- EXTERIOR EMERGENCY LIGHT**
WALL MOUNTED

ZONING REQUIREMENTS
GLAZING AREA - SOUTH ELEVATION
GLAZING AREA = 930 SF + 287 SF AT CLERESTORY = 1,217 SF TOTAL
FACADE AREA = 6,032 SF TOTAL
GLAZING % = 1,217 / 6,032 = 20.17%

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1 WEST ELEVATION
1/8" = 1'-0"



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EXTERIOR
ELEVATIONS
LU2.01

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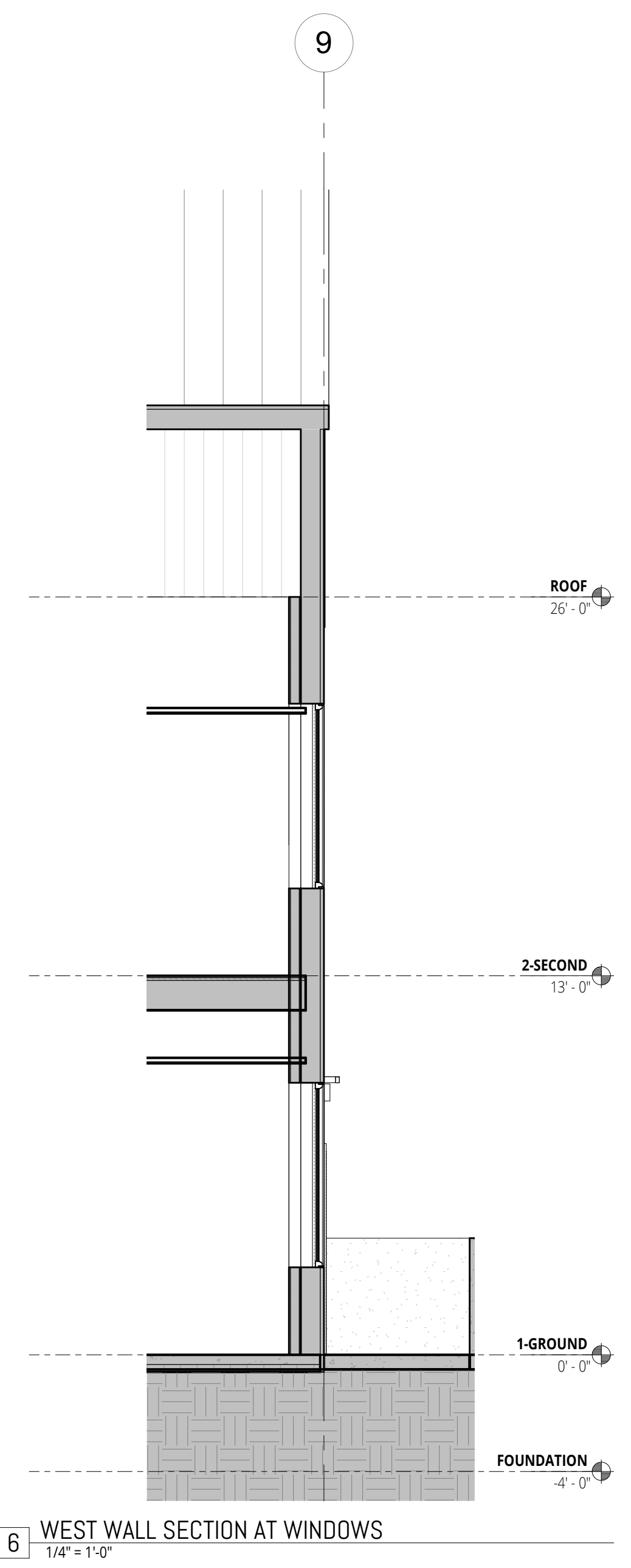
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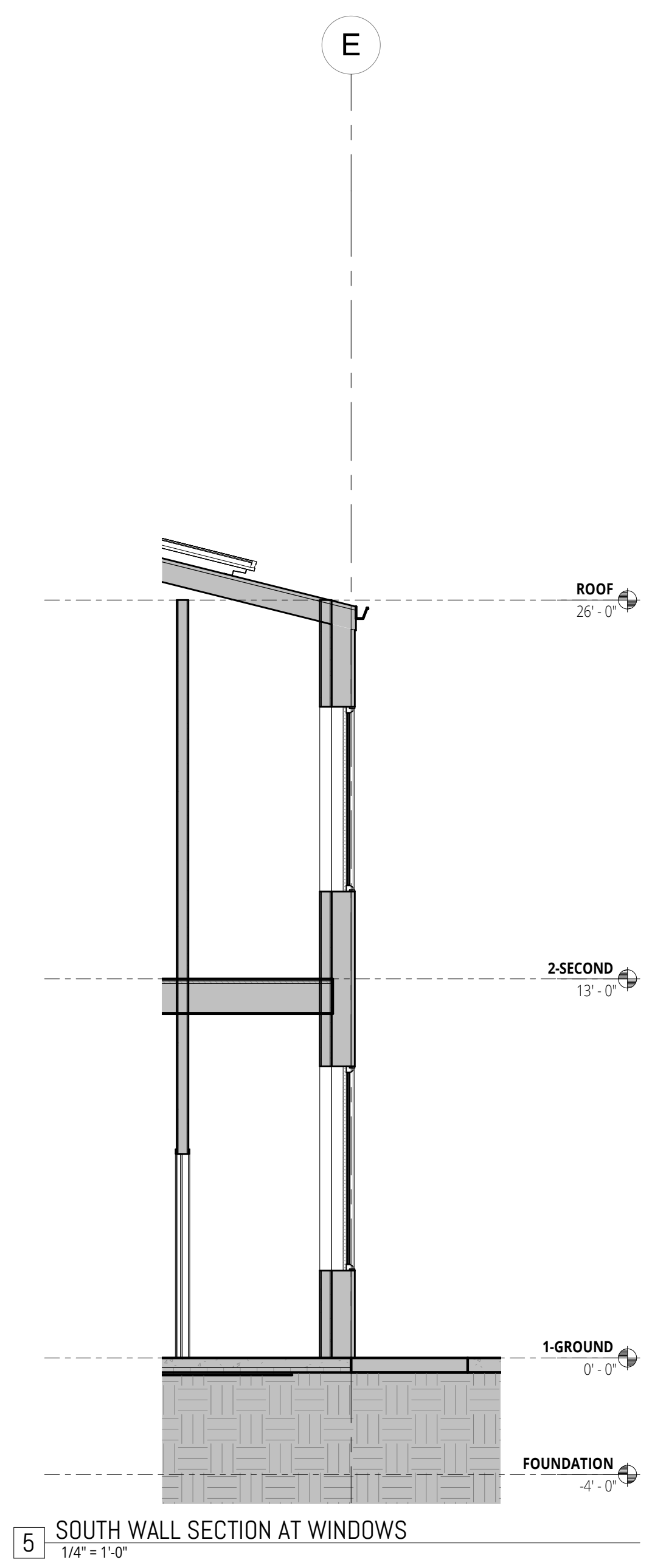
SECTIONS
LU4.00

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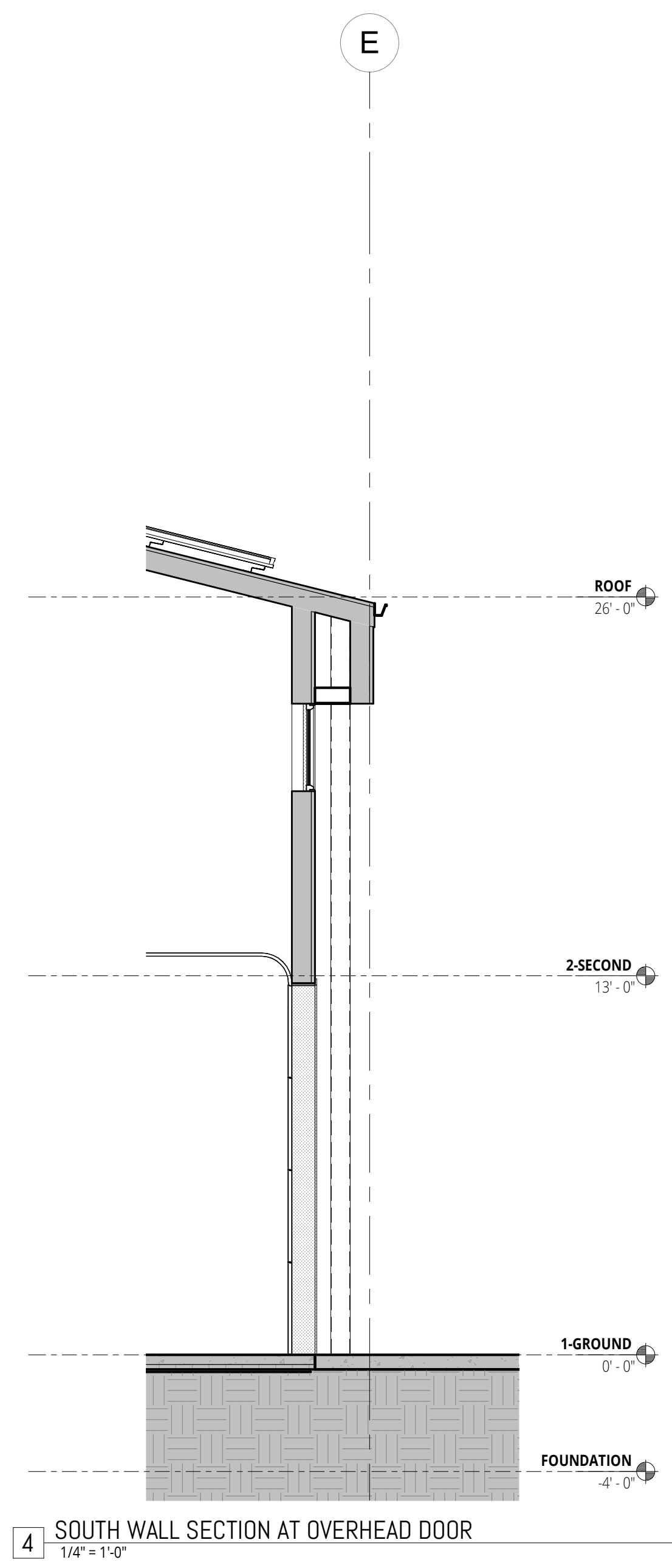
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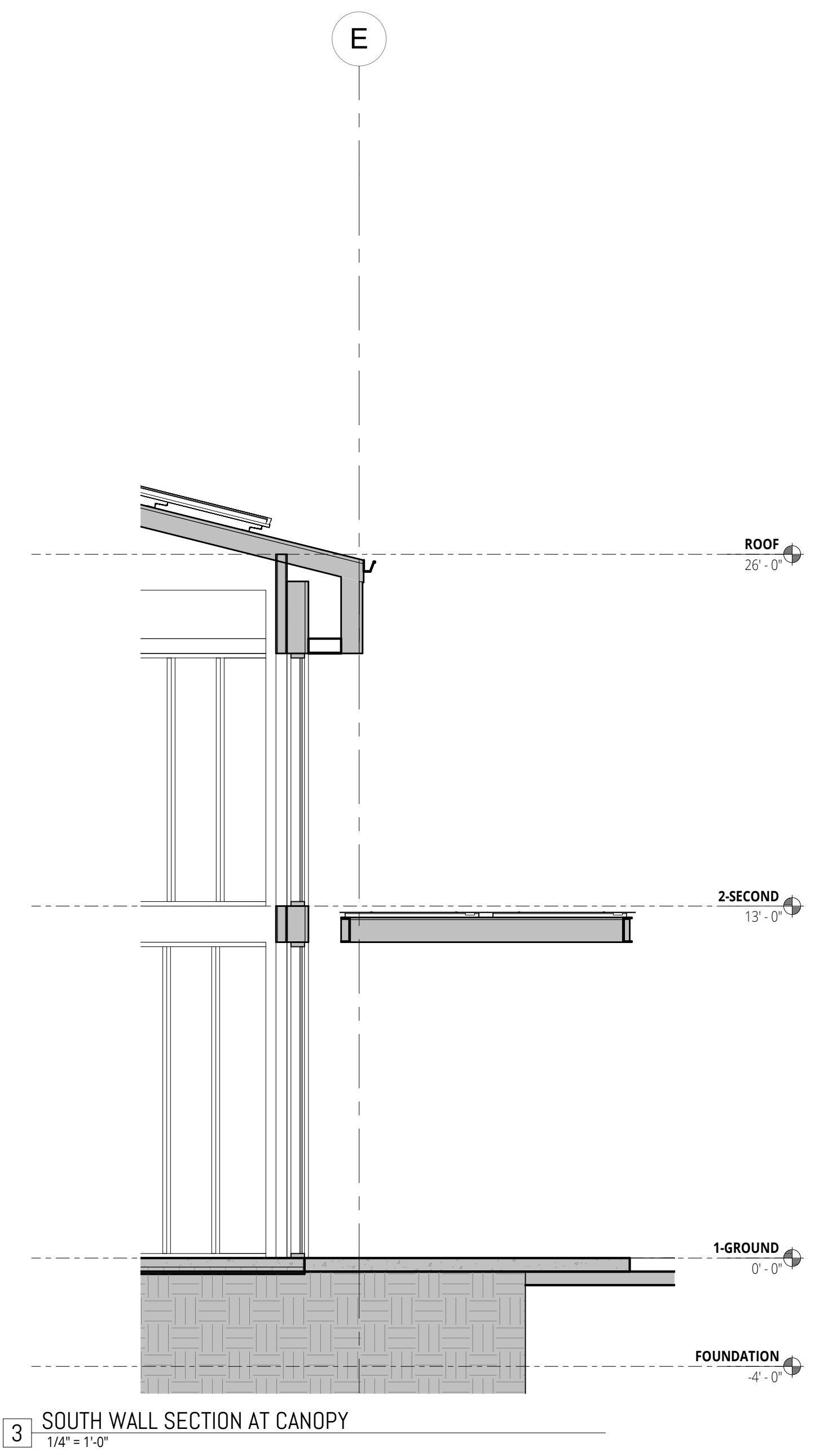
6 WEST WALL SECTION AT WINDOWS
 1/4" = 1'-0"



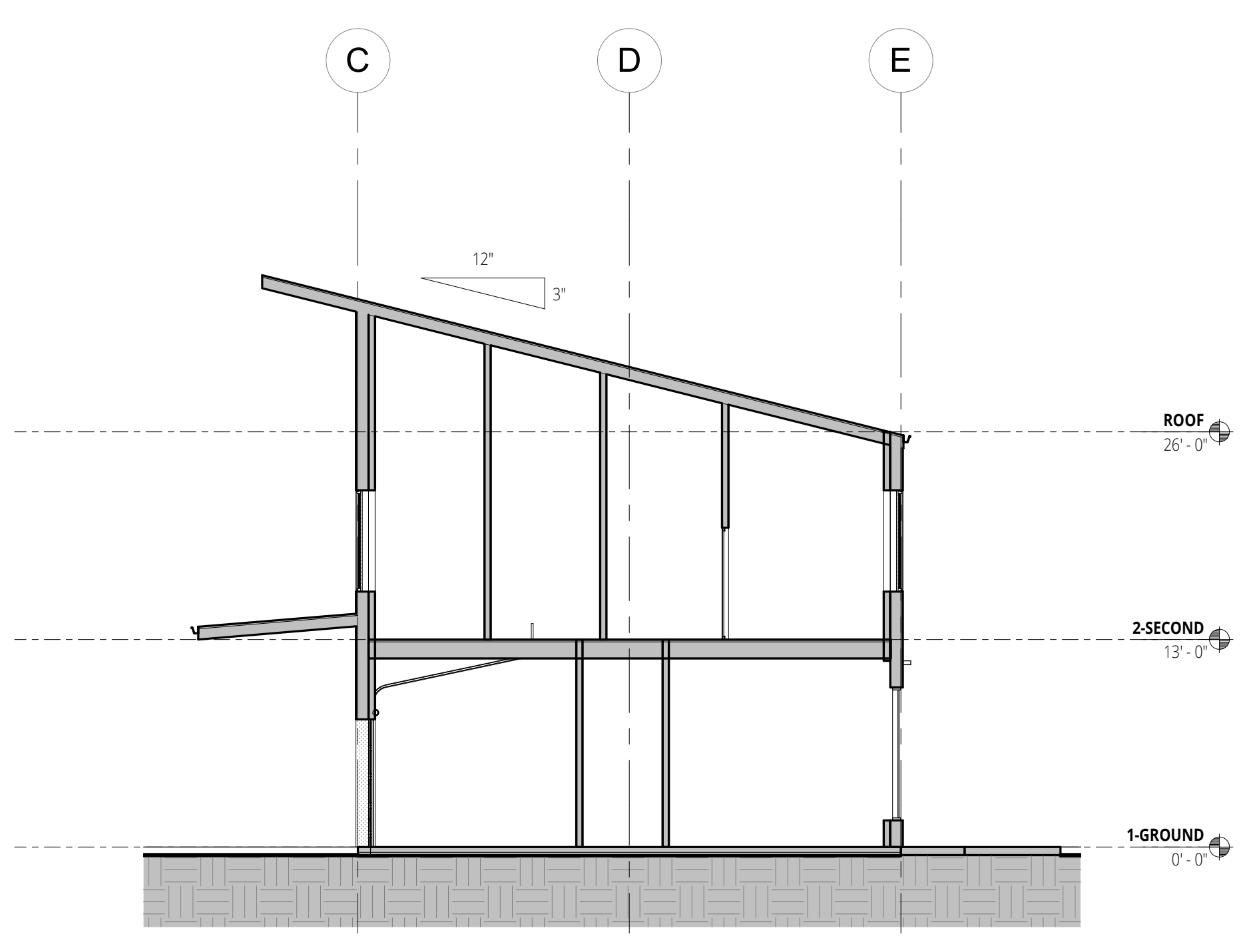
5 SOUTH WALL SECTION AT WINDOWS
 1/4" = 1'-0"



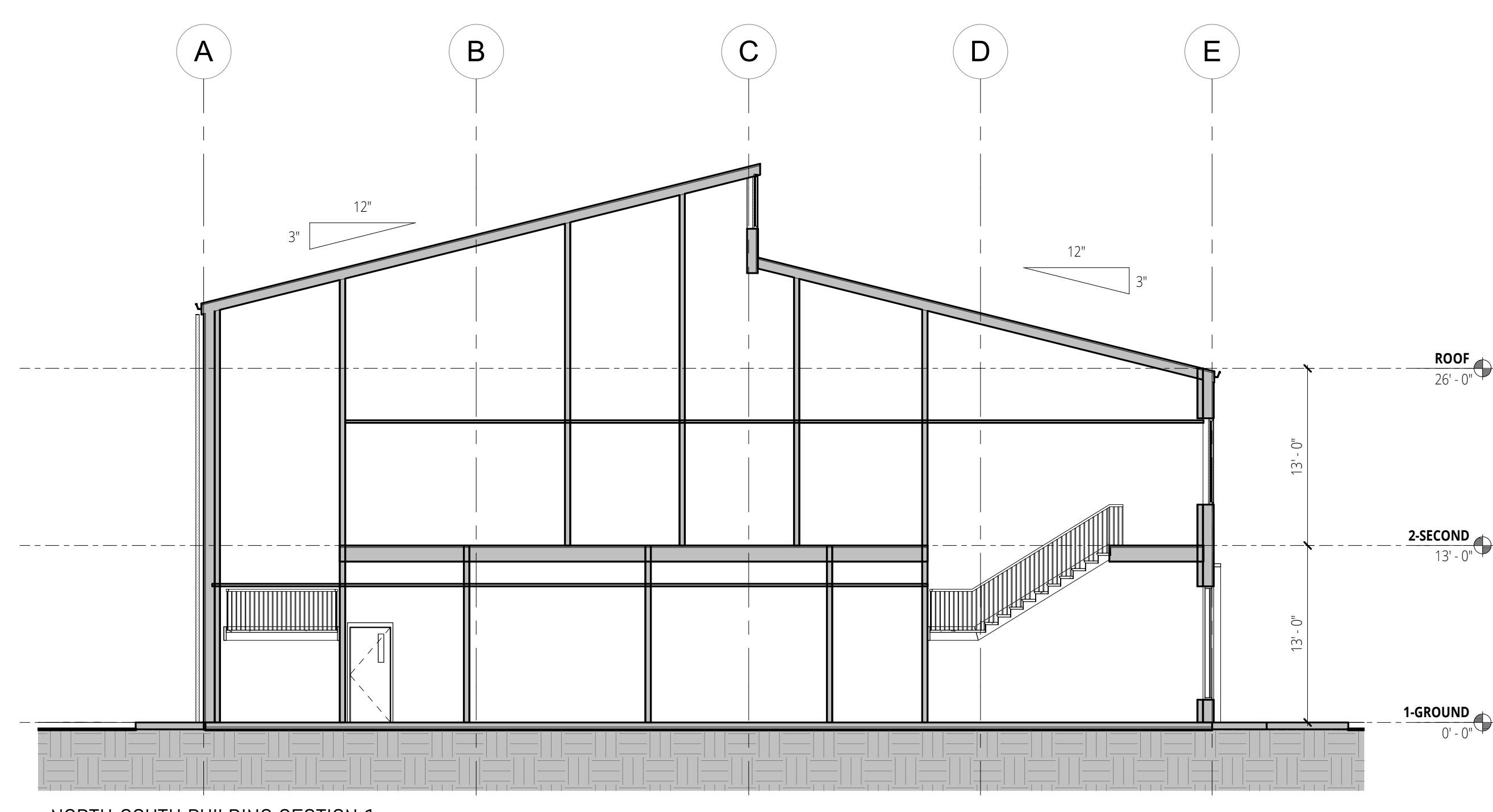
4 SOUTH WALL SECTION AT OVERHEAD DOOR
 1/4" = 1'-0"



3 SOUTH WALL SECTION AT CANOPY
 1/4" = 1'-0"



2 NORTH-SOUTH BUILDING SECTION 2
 1/8" = 1'-0"



1 NORTH-SOUTH BUILDING SECTION 1
 1/8" = 1'-0"