



NOTICE OF DECISION

MAP/TAX LOT: 2S129A001900
CASE NO: LU 2021-018 SP
DATE OF NOTICE: February 3, 2022

APPLICANT:
Melynda Retallack
2808 NE Martin Luther King Jr. Blvd, Suite G
Portland, OR 97212

OWNER:
Brian Butterfield
19450 SW Mohave Ct.
Tualatin, OR 97062

NOTICE

You are receiving this Notice of Decision because you are the applicant or because you provided testimony on the subject application. Notice is hereby given that on February 3, 2022 the City of Sherwood Planning Department **APPROVED with CONDITIONS LU 2021-018 SP Greenridge Solar**. The applicant proposes a new 17,365 SF industrial building including warehousing and office space at 20737 SW Olds Place.

For information on the decision go to: <https://www.sherwoodoregon.gov/planning/project/senstraro-family-orthodontics>

Staff Contact: Eric Rutledge, Associate Planner, at 503-625-4242 or rutledgee@sherwoodoregon.gov

APPEAL

Pursuant to Sherwood Zoning and Community Development Code Section 16.72.010.B.3.c, an appeal of the Planning Director's decision may be made to the Planning Commission. Pursuant to Section 16.76, any person who appeared before the local government, orally or in writing, on this matter may file a notice of intent to appeal to the City of Sherwood Planning Director not later than 14 days from the date of this notice. **An appeal of this decision must be filed no later than 5:00 PM on February 17, 2022.**

I, Eric Rutledge, for the Planning Department, City of Sherwood, State of Oregon, in Washington County, declare that the Notice of Decision LU 2021-018 SP Greenridge Solar was placed in a U.S. Postal receptacle, or transmitted via electronic mail, on February 3, 2022.

Eric Rutledge, Associate Planner
City of Sherwood Planning Department



**CITY OF SHERWOOD
FEBRUARY 3, 2022
STAFF REPORT AND NOTICE OF DECISION**

**Greenridge Solar
LU 2021-018 SP**

Planning Department

Eric Rutledge
Associate Planner

App. Submitted: July 29, 2021
App. Complete: November 22, 2021
Hearing Date: N/A
120-Day Deadline: March 22, 2022

I. BACKGROUND

A. Applicant: Melynda Retallack
2808 NE Martin Luther King Jr. Blvd., Suite G
Portland, OR 97212

Owner: Brian Butterfield
19450 SW Mohave Ct.
Tualatin, OR 97062

B. Application Summary: The applicant is requesting Site Plan approval for a new 17,365 SF industrial building including warehousing and office space at 20737 SW Olds Place. The 0.92-acre site is currently vacant and is zoned Light Industrial. Access is proposed from SW Olds Place and SW Arrow Dr. Associated site improvements include parking, landscaping, and underground utilities. The proposed development will serve as Greenridge Solar's new headquarters.

C. Location: 20737 SW Olds Place (Tax Lot 2S129A001900)

D. Zoning: Light Industrial

E. Review Type: Type II Site Plan Review - Industrial "Design Upgraded" projects, defined as those site plan applications which propose between 15,001 and 60,000 square feet of floor area, parking or seating capacity and which meet all of the criteria in SZCDC § 16.90.020.D.7.b. (SZCDC §

16.72.010(A)(2)(e)). The Type II Hearing Authority is the Planning Director and the Appeal Authority is the Planning Commission.

- F. Public Notice: Notice of the application was provided in accordance with § 16.72.020 of the Sherwood Zoning and Development Code (SZDC) as follows: notice mailed to property owners within 1,000 feet, posted on the property, and distributed in five locations throughout the City on or before December 3, 2021

- G. Review Criteria: Sherwood Zoning and Community Development Code (SZCDC) Chapter 16.31 Industrial Land Use Districts; Chapter 16.58 Clear Vision and Fence Standards; Chapter 16.72 Procedures for Processing Development Permits; Chapter 16.90 Site Planning; Chapter 16.92 Landscaping; Chapter 16.94 Off-Street Parking and Loading; Chapter 16.96 On-Site Circulation; Chapter 16.98 On-Site Storage; Chapter 16.106 Transportation Facilities; Chapter 16.108 Improvement Plan Review; Chapter 16.110 Sanitary Sewers; Chapter 16.112 Water Supply; Chapter 16.114 Storm Water; Chapter 16.116 Fire Protection; Chapter 16.118 Public and Private Utilities; Chapter 16.142 Parks, Trees, and Open Spaces; Chapter 16.146 Noise; Chapter 16.148 Vibrations; Chapter 16.150 Air Quality; Chapter 16.152 Odors; Chapter 15.154 Heat and Glare; Chapter 16.156 Energy Conservation

- H. History and Background: The subject lot is identified as Lot 3 of the Sherwood Commercial Center subdivision which was recorded in 2007. Public improvements were installed as part of the subdivision including two local streets (SW Olds Place & SW Arrow Street), sidewalks, street lights, and underground utilities.

- I. Site Characteristics: The site is currently vacant and does not contain any above-ground structures. The site is flat with low lying vegetation including grasses and weeds. Based on recent satellite imagery there does not appear to be significant vegetation or trees.

II. AFFECTED AGENCY AND PUBLIC COMMENTS

- A. Notice of the application was sent to affected agencies via email on November 29, 2021. The following responses were received:
 - 1. City of Sherwood Engineering Department – the City of Sherwood Engineering Department provided comments dated December 10, 2021 (Exhibit B1). The engineering comments address requirements for water, storm sewer, sanitary sewer, and transportation design

standards and specific Conditions of Approval and comments are included throughout the report under each applicable code section.

2. Clean Water Services provided a memorandum dated December 16 2021 (Exhibit B2). The memorandum provides Conditions of Approvals related to stormwater and erosion control.
3. The following agencies acknowledged the application without comment or expressing any issues or concerns: Oregon Department of Transportation Outdoor Sign Program

B. Public Comments

1. As of the date of this report, no public comments were received on the application.

III. APPLICABLE CODE PROVISIONS

Chapter 16.72 PROCEDURES FOR PROCESSING DEVELOPMENT PERMITS

16.72.010 – Generally

A. Classifications

Except for Final Development Plans for Planned Unit Developments, which are reviewed per Section 16.40.030, all quasi-judicial development permit applications and legislative land use actions shall be classified as one of the following:

2. Type II

The following quasi-judicial actions shall be subject to a Type II review process:

- e. Industrial "Design Upgraded" projects, defined as those site plan applications which propose between 15,001 and 60,000 square feet of floor area, parking or seating capacity and which meet all of the criteria in Section 16.90.020.D.7.b.

ANALYSIS: The application is proposing a new 17,365 SF industrial building for lab, warehousing, and office uses. The proposal meets all of the criteria in SZCDC § 16.90.020(D)(7)(b) as discussed in this report. The application is therefore subject to the Type II land use review procedures.

FINDING: The application is being processed as a Type II Site Plan Review and Industrial Design Upgraded Project. This standard is met.

Chapter 16.31 - INDUSTRIAL LAND USE DISTRICTS

16.31.010 - Purpose

- B. Light Industrial (LI) - The LI zoning district provides for the manufacturing, processing, assembling, packaging and treatment of products which have been previously prepared from raw materials. Industrial establishments shall not have objectionable external features and shall feature well-landscaped sites and attractive architectural design, as determined by the Commission.**

16.31.020 - Uses

- A. The table below identifies the land uses that are permitted outright (P), permitted conditionally (C) and not permitted (N) in the industrial zoning districts. The specific land use categories are described and defined in Chapter 16.88.**
- B. Uses listed in other sections of this Code, but not within this specific table are prohibited.**
- C. Any use not otherwise listed that can be shown to be consistent or associated with the uses permitted outright or conditionally in the industrial zones or contribute to the achievement of the objectives of the industrial zones may be permitted outright or conditionally, utilizing the provisions of Chapter 16.88.**
- D. Additional limitations for specific uses are identified in the footnotes of this table.**

Uses	LI
Building, heating, plumbing or electrical contractors and suppliers, building maintenance services, and similar uses ¹⁰	P
Distribution, warehousing and storage associated with a permitted use operating on the same site	P
Medical or dental laboratories, including biomedical compounding	P
Any incidental business, service, processing, storage or display, not otherwise permitted, that is essential to and customarily associated with a use permitted outright, provided said incidental use is conducted entirely within an enclosed building	P
Business and professional offices³	P

³ **Limited in size to five thousand (5,000) square feet in a single outlet and no more than twenty thousand (20,000) square feet in multiple outlets in the same development project.**

¹⁰ **These businesses are involved in the servicing and supplying of materials and equipment primarily intended for industrial, institutional, or commercial businesses. On-site sales are limited as most activity occurs electronically or off-site. Businesses may or may not be open to the general public, but sales to the general public are limited as a result of the way in which the firm operates. Products are generally delivered to the customer. Few customers, especially the general public, come to the site.**

ANALYSIS: The site will be occupied by Greenridge Solar and Butterfield Testing Labs. Greenridge solar is a locally owned company performing solar panel sales and installation. Butterfield Testing Labs is also a locally owned company that provides drug and alcohol testing for businesses. Both uses will have warehousing and office space as a secondary use. Both primary uses are permitted outright in the LI zone.

FINDING: This standard is met.

16.31.030 - Development Standards

A. Generally

No lot area, setback, yard, landscaped area, open space, off-street parking or loading area, or other site dimension or requirement, existing on, or after, the effective date of this Code shall be reduced below the minimum required by this Code. Nor shall the conveyance of any portion of a lot, for other than a public use or right-of-way, leave a lot or structure on the remainder of said lot with less than minimum Code dimensions, area, setbacks or other requirements, except as permitted by Chapter 16.84 (Variances and Adjustments).

B. Development Standards

Except as otherwise provided, required minimum lot areas and dimensions and setbacks shall be:

Development Standards by Zone	LI
Lot area – Industrial Uses:	10,000 SF
Lot area – Commercial Uses (subject to Section 16.31.050):	10,000 SF
Lot width at front property line:	100 feet
Lot width at building line:	100 feet

Front yard setback¹¹	20 feet
Side yard setback¹⁰	None
Rear yard setback¹¹	None
Corner lot street side¹¹	20 feet
Height	50 ft.

¹⁰ When a yard is abutting a residential zone or public park, there shall be a minimum setback of forty (40) feet provided for properties zoned Employment Industrial and Light Industrial Zones, and a minimum setback of fifty (50) feet provided for properties zoned General Industrial.

¹¹ Structures located within one-hundred (100) feet of a residential zone shall be limited to the height requirements of that residential zone.

ANALYSIS: The site is not located adjacent to or within 100 feet of a park or residential zone. The proposed development standards are as follows:

Lot area:	40,069 SF
Lot width front property line:	~168 ft. (Olds Pl.) / ~239 ft. (Arrow St.)
Lot width at building line:	Same as above
Front setback:	~22 ft. (Olds Pl.) / ~85 ft. (Arrow St.)
Rear setback:	5 ft.
Side yard setback:	~13 ft.
Building height:	36 ft.

FINDING: This standard is met.

16.58.010 Clear Vision Areas

- A. A clear vision area shall be maintained on the corners of all property at the intersection of two (2) streets, intersection of a street with a railroad, or intersection of a street with an alley or private driveway.**
- B. A clear vision area shall consist of a triangular area, two (2) sides of which are lot lines measured from the corner intersection of the street lot lines for a distance specified in this regulation; or, where the lot lines have rounded corners, the lot lines extended in a straight line to a point of intersection, and so measured, and the third side of which is a line across the corner of the lot joining the non-intersecting ends of the other two (2) sides.**

- C. A clear vision area shall contain no planting, sight obscuring fence, wall, structure, or temporary or permanent obstruction exceeding two and one-half (2½) feet in height, measured from the top of the curb, or where no curb exists, from the established street center line grade, except that trees exceeding this height may be located in this area, provided all branches and foliage are removed to the height of seven (7) feet above the ground on the sidewalk side and ten (10) feet on the street side.

The following requirements shall govern clear vision areas:

1. In all zones, the minimum distance shall be twenty (20) feet.
2. In all zones, the minimum distance from corner curb to any driveway shall be twenty-five (25) feet.
3. Where no setbacks are required, buildings may be constructed within the clear vision area.

ANALYSIS: The Site Plan proposes three private driveway intersections with a private street. Clear Vision Areas are required at all three intersections. The plans show a clear vision triangle at each intersection, however, the area is not shown as required in the standard above.

FINDING: This standard is met as conditioned below.

CONDITION OF APPROVAL B1: Prior to Final Site Plan Approval, revise the Site Plan to provide Clear Vision Areas at each of the private driveway intersections with a public street.

CONDITION OF APPROVAL F1: Prior to Occupancy, Clear Vision Areas shall be established at each private driveway intersection with a public street.

16.58.020 - Fences, Walls and Hedges.

- A. **Purpose:** The fence standards promote the positive benefits of fences without negatively impacting the community or endangering public or vehicle safety. Fences can create a sense of privacy, protect children and pets, provide separation from busy streets, and enhance the appearance of property by providing attractive landscape materials. The negative effect of fences can include the creation of street walls that inhibit police and community surveillance, decrease the sense of community, hinder the safe movement of pedestrians and vehicles, and create an unattractive appearance. These standards are intended to promote the positive aspects of fences and to limit the negative ones.
- B. Reserved

- C. Applicability:** The following standards apply to walls, fences, hedges, lattice, mounds, and decorative toppers. The standards do not apply to vegetation, sound walls and landscape features up to four (4) feet wide and at least twenty (20) feet apart.
- E. Location—Non-Residential Zone:**
- 1.** Fences up to eight (8) feet high are allowed along front, rear and side property lines, subject to Section 16.58.010. (Clear Vision) and building department requirements.
 - 2.** A sound wall is permitted when required as a part of a development review or concurrent with a road improvement project. A sound wall may not be taller than twenty (20) feet.
 - 3.** Hedges up to twelve (12) feet tall are allowed, however, when the non-residential zone abuts a residential zone the requirements of section 16.58.030.d.6. shall apply.
- F. General Conditions—All Fences:**
- 1.** Fences must be structurally sound and maintained in good repair. A fence may not be propped up in any way from the exterior side.
 - 2.** Chain link fencing is not allowed in any required residential front yard setback.
 - 3.** The finished side of the fence must face the street or the neighboring property. This does not preclude finished sides on both sides.
 - 4.** Buffering: If a proposed development is adjacent to a dissimilar use such as a commercial use adjacent to a residential use, or development adjacent to an existing farming operation, a buffer plan that includes, but is not limited to, setbacks, fencing, landscaping, and maintenance via a homeowner's association or managing company must be submitted and approved as part of the preliminary plat or site plan review process per Section 16.90.020 and Chapter 16.122.
 - 5.** In the event of a conflict between this Section and the clear vision standards of Section 16.58.010, the standards in Section 16.58.010 prevail.
 - 6.** Fences and walls cannot be located within or over a public utility easement without an approved right-of-way permit.
 - 7.** The height of a fence or wall is measured from the actual adjoining level of finished grade measured six (6) inches from the fence. In the event the ground is sloped, the lowest grade within six (6) inches of the fence is used to measure the height.

ANALYSIS: The industrial property does not abut a residential use or zone and buffering is not required. A 4 ft. tall retaining wall is proposed along the east property line. The applicant's narrative states no fences are proposed.

FINDING: This standard is met.

Chapter 16.90 – SITE PLANNING

16.90.020 – Site Plan Review

D. Required Findings

No site plan approval shall be granted unless each of the following is found:

- 1. The proposed development meets applicable zoning district standards and design standards in Division II, and all provisions of Divisions V, VI, VIII and IX.**

ANALYSIS: The proposed development meets or is conditioned to meet the applicable zoning district standards as discussed in this report.

FINDING: This standard is met.

- 2. The proposed development can be adequately served by services conforming to the Community Development Plan, including but not limited to water, sanitary facilities, storm water, solid waste, parks and open space, public safety, electric power, and communications.**

ANALYSIS: Water, sanitary sewer, and storm sewer are located in SW Olds Place and are available to serve the site. The property is located within the service districts of the Sherwood Police Department, Tualatin Valley Fire and Rescue, and Pride Waste Disposal. A TVF&R SPL has been obtained by the applicant. The application was also routed to affected agencies and no service issues were reported.

FINDING: This standard is met.

- 3. Covenants, agreements, and other specific documents are adequate, in the City's determination, to assure an acceptable method of ownership, management, and maintenance of structures, landscaping, and other on-site features.**

ANALYSIS: The site will be owned and maintained by a single owner. The owner is required to maintain the site and improvements in accordance with City code. Future violations would be addressed through City code compliance.

FINDING: This standard is met.

4. **The proposed development preserves significant natural features to the maximum extent feasible, including but not limited to natural drainage ways, wetlands, trees, vegetation (including but not limited to environmentally sensitive lands), scenic views, and topographical features, and conforms to the applicable provisions of Division VIII of this Code and Chapter 5 of the Community Development Code.**

ANALYSIS: The site is vacant and does not contain significant natural features, wetlands, or trees.

FINDING: This standard is met.

5. **For developments that are likely to generate more than 400 average daily trips (ADTs), or at the discretion of the City Engineer, the applicant must provide adequate information, such as a traffic impact analysis (TIA) or traffic counts, to demonstrate the level of impact to the surrounding transportation system. The developer is required to mitigate for impacts attributable to the project, pursuant to TIA requirements in Section 16.106.080 and rough proportionality requirements in Section 16.106.090. The determination of impact or effect and the scope of the impact study must be coordinated with the provider of the affected transportation facility.**

ANALYSIS: Public streets and sidewalks that serve the site were installed as part of the Sherwood Commercial Center subdivision. A traffic impact study was submitted for the original subdivision in 2005. The study assumed a total of 828 daily trips were anticipated for the entire 16 acre site, distributed evenly among 10 lots for a total of 83 trips per lot. Additional daily trips beyond the 83 per lot require a payment in lieu of construction to cover a proportionate share of future road improvements.

A trip generation summary (Exhibit A6) was submitted for the subject property determining that the proposed building will generate approximately 56 daily trips which is under the 41 daily site trips accounted for in the original traffic study. A small traffic mitigation fee is required and is addressed under SZCDC § 16.106.

FINDING: This standard is met.

6. **The proposed commercial, multi-family, institutional or mixed-use development is oriented to the pedestrian and bicycle, and to existing and planned transit facilities. Urban design standards include the following...**

ANALYSIS: The site is zoned Light Industrial and this section does not apply.

FINDING: This standard does not apply.

7. **Industrial developments provide employment opportunities for citizens of Sherwood and the region as a whole. The proposed industrial development is designed to enhance areas visible from arterial and collector streets by reducing the "bulk" appearance of large buildings. Industrial design standards include the following (a. and b.).**
 - a. **Portions of the proposed industrial development within 200 feet of an arterial or collector street and visible to the arterial or collector (i.e. not behind another building) must meet any four of the following six design criteria:**
 - (1) **A minimum 15% window glazing for all frontages facing an arterial or collector.**
 - (2) **A minimum of two (2) building materials used to break up vertical facade street facing frontages (no T-111 or aluminum siding).**
 - (3) **Maximum thirty-five (35) foot setback for all parts of the building from the property line separating the site from all arterial or collector streets (required visual corridor falls within this maximum setback area).**
 - (4) **Parking is located to the side or rear of the building when viewed from the arterial or collector.**
 - (5) **Loading areas are located to the side or rear of the building when viewed from the arterial or collector. If a loading area is visible from an arterial or collector, it must be screened with vegetation or a screen made of materials matching the building materials.**
 - (6) **All roof-mounted equipment is screened with materials complimentary to the building design materials.**

ANALYSIS: The development standards above apply because the site is located along SW Arrow St. (collector) and the development will be visible from the street. The applicant is proposing to meet the following four design criteria:

- Minimum 15% window glazing along Arrow St.
- Two exterior building materials
- Loading space located to the side or rear
- Roof-mounted equipment screened with complimentary building materials

FINDING: This standard is met as conditioned below.

CONDITION OF APPROVAL D1: Prior to issuance of building permits, all roof-mounted equipment shall be screened with materials complimentary to the building design materials.

CONDITION OF APPROVAL F2: Prior to issuance of occupancy, all roof-mounted equipment shall be screened with materials complimentary to the building design materials.

- b. **As an alternative to Section 16.90.020.D.7.a, an applicant may opt to have a design review hearing before the Planning Commission to demonstrate how the proposed development meets or exceeds the applicable industrial design objectives below (this design review hearing will be processed as a Type IV review):**
- (1) **Provide high-value industrial projects that result in benefits to the community, consumers and developers.**
 - (2) **Provide diversified and innovative working environments that take into consideration community needs and activity patterns.**
 - (3) **Support the City's goals of economic development.**
 - (4) **Complement and enhance projects previously developed under the industrial design standards identified in Section 16.90.020.D.7.**
 - (5) **Enhance the appearance of industrial developments visible from arterials and collectors, particularly those considered "entrances" to Sherwood, including but not limited to: Highway 99W, Tualatin-Sherwood Road and Oregon Street.**

- (6) **Reduce the "bulk" appearance of large industrial buildings as viewed from the public street by applying exterior features such as architectural articulation, windows and landscaping.**
- (7) **Protect natural resources and encourage integration of natural resources into site design (including access to natural resources and open space amenities by the employees of the site and the community as a whole).**

ANALYSIS: The application is being processed as a Design Upgraded project and the criteria above apply. The proposed industrial building will be used as a headquarters and tenant space for two local businesses, Greenridge Solar and Butterfield Testing Labs. Greenridge Solar sells and installs solar panels in the Portland region and provide a valuable service to customers in Sherwood and the surrounding areas. The new development will also provide additional capacity for Greenridge Solar and Butterfield Testing Labs to grow in Sherwood. As shown in the Architectural Plans, the applicant is proposing a high-quality industrial building that incorporates solar panels and energy efficiency into the design. The pitched roof will also minimize the bulk appearance of the building when viewed from the public street.

FINDING: These criteria are satisfied.

8. **Driveways that are more than twenty-four (24) feet in width shall align with existing streets or planned streets as shown in the Local Street Connectivity Map in the adopted Transportation System Plan (Figure 17), except where prevented by topography, rail lines, freeways, pre-existing development, or leases, easements, or covenants.**

ANALYSIS: The public street system across each driveway has been constructed. There are no planned streets that would align with the proposed driveways.

FINDING: This standard is met.

Chapter 16.92 – LANDSCAPING

16.92.010-Landscaping Plan Required

All proposed developments for which a site plan is required pursuant to Section 16.90.020 shall submit a landscaping plan that meets the standards of this Chapter. All areas not occupied by structures, paved roadways, walkways, or patios shall be landscaped or maintained according to an approved site plan.

ANALYSIS: The applicant submitted a landscape plan (Exhibit A3 – Sheet LU 0.51) that shows perimeter, parking lot, and site landscaping. Compliance with the specific landscaping standards is discussed below.

FINDING: This standard is met.

16.92.020 Landscaping Materials

A. Type of Landscaping

Required landscaped areas shall include an appropriate combination of native evergreen or deciduous trees and shrubs, evergreen ground cover, and perennial plantings. Trees to be planted in or adjacent to public rights-of-way shall meet the requirements of this Chapter. Plants may be selected from the City's "Suggested Plant Lists for Required Landscaping Manual" or suitable for the Pacific Northwest climate and verified by a landscape architect or certified landscape professional.

1. Ground Cover Plants

- a. All of the landscape that is not planted with trees and shrubs must be planted in ground cover plants, which may include grasses. Mulch is not a substitute for ground cover, but is allowed in addition to the ground cover plants.
- b. Ground cover plants other than grasses must be at least the four-inch pot size and spaced at distances appropriate for the plant species. Ground cover plants must be planted at a density that will cover the entire area within three (3) years from the time of planting.

2. Shrubs

- a. All shrubs must be of sufficient size and number to be at full growth within three (3) years of planting.
- b. Shrubs must be at least the one-gallon container size at the time of planting.

3. Trees

- a. Trees at the time of planting must be fully branched and must be a minimum of two (2) caliper inches and at least six (6) feet in height.
- b. Existing trees may be used to meet the standards of this chapter, as described in Section 16.92.020.C.2.

B. Plant Material Selection and Preparation

1. Required landscaping materials shall be established and maintained in a healthy condition and of a size sufficient to meet the intent of the approved landscaping plan.

Specifications shall be submitted showing that adequate preparation of the topsoil and subsoil will be undertaken.

2. Landscape materials should be selected and sited to produce a hardy and drought-resistant landscape area. Selection of the plants should include consideration of soil type, and depth, the amount of maintenance required, spacing, exposure to sun and wind, the slope and contours of the site, and compatibility with existing native vegetation preserved on the site.

ANALYSIS: The Landscape Plans provide detail on the size, location, and quantity of landscaping in conformance with this section. Shrubs are proposed at from 1" pots and trees at 2" caliper / 6 ft. tall.

FINDING: These standards are met.

C. Existing Vegetation

1. All developments subject to site plan review per Section 16.90.020 and required to submit landscaping plans per this section shall preserve existing trees, woodlands and vegetation on the site to the maximum extent possible, as determined by the Review Authority, in addition to complying with the provisions of Section 16.142 (Parks, Trees and Open Space) and Chapter 16.144 (Wetland, Habitat, and Natural Resources).
2. Existing vegetation, except those plants on the Nuisance Plants list as identified in the "Suggested Plant Lists for Required Landscaping Manual" may be used to meet the landscape standards, if protected and maintained during the construction phase of the development.
 - a. If existing trees are used, each tree six (6) inches or less in diameter counts as one (1) medium tree.
 - b. Each tree that is more than six (6) inches and up to nine (9) inches in diameter counts as two (2) medium trees.
 - c. Each additional three (3) inch diameter increment above nine (9) inches counts as an additional medium tree.

ANALYSIS: The site is clear of significant vegetation and no trees are identified for protection. Tree and landscaping standards will be met through new plantings.

FINDING: These standards have been met.

D. Non-Vegetative Features

1. Landscaped areas as required by this Chapter may include architectural features interspersed with planted areas, such as sculptures, benches, masonry or stone walls, fences, rock groupings, bark dust, semi-pervious decorative paving, and graveled areas.
2. Impervious paving shall not be counted toward the minimum landscaping requirements unless adjacent to at least one (1) landscape strip and serves as a pedestrian pathway.
3. Artificial plants are prohibited in any required landscaped area.

ANALYSIS: Non-vegetative features may be used as prescribed above. No artificial plants are permitted or proposed.

FINDING: These standards are met.

16.92.030 Site Area Landscaping and Perimeter Screening Standards

A. Perimeter Screening and Buffering

1. **Perimeter Screening Separating Residential Zones:**
A minimum six-foot high sight-obscuring wooden fence, decorative masonry wall, or evergreen screen, shall be required along property lines separating single and two-family uses from multi-family uses, and along property lines separating residential zones from commercial, institutional/public or industrial zones subject to the provisions of Chapter 16.48.020 (Fences, Walls and Hedges).

ANALYSIS: The subject property is zoned Light Industrial (LI) and is the surrounding zoning in all directions is industrial or commercial.

FINDING: This standard is not applicable.

2. **Perimeter Landscaping Buffer**
 - a. A minimum ten (10) foot wide landscaped strip comprised of trees, shrubs and ground cover shall be provided between off-street parking, loading, or vehicular use areas on separate, abutting, or adjacent properties.
3. **Perimeter Landscape Buffer Reduction**
If the separate, abutting property to the proposed development contains an existing perimeter landscape buffer of at least five (5) feet in width, the applicant may reduce the proposed site's required perimeter landscaping up to five (5) feet maximum, if

the development is not adjacent to a residential zone. For example, if the separate abutting perimeter landscaping is five (5) feet, then applicant may reduce the perimeter landscaping to five (5) feet in width on their site so there is at least five (5) feet of landscaping on each lot.

ANALYSIS: A 10 ft. wide landscape buffer is provided along the south and east property lines where the parking lot abuts the street. A 5 ft. wide landscape strip is provided at the northeast corner of the site where the loading area abuts another property. The adjacent property to the north includes a 5 ft. wide landscape strip a reduction on the subject property is permitted.

FINDING: This standard has been met.

B. Parking Area Landscaping

3. Required Landscaping

There shall be at least forty-five (45) square feet parking area landscaping for each parking space located on the site. The amount of required plant materials are based on the number of spaces as identified below.

4. Amount and Type of Required Parking Area Landscaping

a. Number of Trees required based on Canopy Factor

Small trees have a canopy factor of less than forty (40), medium trees have a canopy factor from forty (40) to ninety (90), and large trees have a canopy factor greater than ninety (90);

(1) Any combination of the following is required:

(i) One (1) large tree is required per four (4) parking spaces;

(ii) One (1) medium tree is required per three (3) parking spaces; or

(iii) One (1) small tree is required per two (2) parking spaces.

(iv) At least five (5) percent of the required trees must be evergreen.

(2) Street trees may be included in the calculation for the number of required trees in the parking area.

b. Shrubs:

(1) Two (2) shrubs are required per each space.

(2) For spaces where the front two (2) feet of parking spaces have been landscaped instead of paved, the standard requires one (1) shrub per space. Shrubs may be evergreen or deciduous.

- c. **Ground cover plants:**
 - (1) Any remainder in the parking area must be planted with ground cover plants.
 - (2) The plants selected must be spaced to cover the area within three (3) years. Mulch does not count as ground cover.
5. **Individual Landscape Islands Requirements**
- a. Individual landscaped areas (islands) shall be at least ninety (90) square feet in area and a minimum width of five (5) feet and shall be curbed to protect the landscaping.
 - b. Each landscape island shall be planted with at least one (1) tree.
 - c. Landscape islands shall be evenly spaced throughout the parking area.
 - d. Landscape islands shall be distributed according to the following:
 - (3) Industrial uses: one (1) island for every twelve (12) contiguous parking spaces.
 - e. Storm water bio-swales may be used in lieu of the parking landscape areas and may be included in the calculation of the required landscaping amount.

ANALYSIS: The Landscape Plans provide details on the parking lot landscaping for the development site. The plans demonstrate all of the parking lot landscaping requirements have been satisfied,

FINDING: These standards are met.

6. **Landscaping at Points of Access**
 When a private access-way intersects a public right-of-way or when a property abuts the intersection of two (2) or more public rights-of-way, landscaping shall be planted and maintained so that minimum sight distances shall be preserved pursuant to Section 16.58.010.

ANALYSIS: Clear vision areas are shown on the plans but not in the correct location at each driveway.

FINDING: This standard is met by Condition of Approval B1 and F1.

6. **Exceptions**

- a. For properties with an environmentally sensitive area and/or trees or woodlands that merit protection per Chapters 16.142 (Parks, Trees and Open Space) and 16.144 (Wetland, Habitat and Natural Areas) the landscaping standards may be reduced, modified or "shifted" on-site where necessary in order to retain existing vegetation that would otherwise be removed to meet the above referenced landscaping requirements.
- b. The maximum reduction in required landscaping buffer permitted through this exception process shall be no more than fifty (50) percent. The resulting landscaping buffer after reduction may not be less than five (5) feet in width unless otherwise permitted by the underlying zone. Exceptions to the required landscaping may only be permitted when reviewed as part of a land use action application and do not require a separate variance permit.

ANALYSIS: The applicant is not requesting any additional reduction to the site landscaping requirements.

FINDING: This standard is not applicable.

C. Screening of Mechanical Equipment, Outdoor Storage, Service and Delivery Areas

All mechanical equipment, outdoor storage and manufacturing, and service and delivery areas, shall be screened from view from all public streets and any adjacent residential zones. If unfeasible to fully screen due to policies and standards, the applicant shall make efforts to minimize the visual impact of the mechanical equipment.

ANALYSIS: The Site Plan proposes a loading area at the northeast corner of the site. The loading zone will be screened from view from all public streets to the extent practicable. No residential zones are located nearby. Mechanical equipment is required to be screened from view as conditioned below.

FINDING: This standard is met as conditioned below.

CONDITION OF APPROVAL F2: Prior to Receiving Occupancy, all roof and ground mounted mechanical equipment shall be screened from view from all public streets.

D. Visual Corridors

Except as allowed by subsection 6. above, new developments shall be required to establish landscaped visual corridors along Highway 99W and other arterial and collector streets, consistent with the Natural Resources and Recreation Plan Map, Appendix C of the Community Development Plan, Part II, and the provisions of Chapter 16.142 (Parks, Trees, and Open Space). Properties within the Old Town Overlay are exempt from this standard.

ANALYSIS: The site has frontage on SW Arrow St. which a collector status road. A 10 ft. wide visual corridor is required on private property along the frontage. The landscape plans propose a 10 ft. wide visual corridor as required by the code.

FINDING: This standard is met.

16.92.040 Installation and Maintenance Standards

A. Installation

All required landscaping must be in-ground, except when in raised planters that are used to meet minimum Clean Water Services storm water management requirements. Plant materials must be installed to current nursery industry standards. Plant materials must be properly supported to ensure survival. Support devices such as guy wires or stakes must not interfere with vehicular or pedestrian movement.

B. Maintenance and Mitigation of Landscaped Areas

1. Maintenance of existing non-invasive native vegetation is encouraged within a development and required for portions of the property not being developed.
2. All landscaping shall be maintained in a manner consistent with the intent of the approved landscaping plan.
3. Any required landscaping trees removed must be replanted consistent with the approved landscaping plan and comply with § 16.142, (Parks, Trees and Open Space).

C. Irrigation

The intent of this standard is to ensure that plants will survive the critical establishment period when they are most vulnerable due to lack of watering. All landscaped areas must provide an irrigation system, as stated in Option 1, 2, or 3.

1. Option 1: A permanent built-in irrigation system with an automatic controller installed.
2. Option 2: An irrigation system designed and certified by a licensed landscape architect or other qualified professional as part of the landscape plan, which provides sufficient water to ensure that the plants become established. The system does

not have to be permanent if the plants chosen can survive independently once established.

3. **Option 3: Irrigation by hand.** If the applicant chooses this option, an inspection will be required one (1) year after final inspection to ensure that the landscaping has become established.

ANALYSIS: The applicant's landscape plans indicate an automated drip irrigation system will be used.

FINDING: This standard is met.

Chapter 16.94 OFF-STREET PARKING AND LOADING

16.94.010 General Requirements

A. Off-Street Parking Required

No site shall be used for the parking of vehicles until plans are approved providing for off-street parking and loading space as required by this Code. Any change in uses or structures that reduces the current off-street parking and loading spaces provided on site, or that increases the need for off-street parking or loading requirements shall be unlawful and a violation of this Code, unless additional off-street parking or loading areas are provided in accordance with Section 16.94.020, or unless a variance from the minimum or maximum parking standards is approved in accordance with Chapter 16.84 Variances.

ANALYSIS: The applicant has provided a Civil Site Plan (Exhibit A3 – Sheet C2.1) that includes details on the proposed parking. Parking requirements are being reviewed and approved as part of this decision.

FINDING: This standard is met.

B. Deferral of Improvements

Off-street parking and loading spaces shall be completed prior to the issuance of occupancy permits, unless the City determines that weather conditions, lack of available surfacing materials, or other circumstances beyond the control of the applicant make completion impossible. In such circumstances, security equal to one hundred twenty five (125) percent of the cost of the parking and loading area is provided the City. "Security" may consist of a performance bond payable to the City, cash, certified check, or other assurance of completion approved by the City. If the installation of the parking or

loading area is not completed within one (1) year, the security may be used by the City to complete the installation.

C. Options for Reducing the Required Parking Spaces

- 1. Two (2) or more uses or, structures on multiple parcels of land may utilize jointly the same parking and loading spaces when the peak hours of operation do not substantially overlap, provided that satisfactory evidence is presented to the City, in the form of deeds, leases, or contracts, clearly establishing the joint use.**
 - a. Within commercial, institutional and public, or industrial zones, shared parking may be provided on lots that are within five hundred (500) feet of the property line of the use to be served.**
 - b. Shared parking is allowed if the application can show that the combined peak use is available by a parking study that demonstrates:**
 - (1) There is a sufficient number of parking spaces to accommodate the requirements of the individual businesses; or**
 - (2) That the peak hours of operation of such establishments do not overlap, and**
 - (3) That an exclusive permanent easement over a delineated area has been granted for parking space use.**
- 2. Mixed use projects are developments where a variety of uses occupies a development project or complex. For example, an eating establishment, professional office building and movie theater are all components of a mixed use site. It does not include a secondary use within a primary use such as an administrative office associated with a retail establishment. In mixed-use projects, the required minimum vehicle parking shall be determined using the following formula:**
 - a. Primary use: i.e. that with the largest proportion of total floor area within the development at one hundred (100) percent of the minimum vehicle parking required for that use.**
 - b. Secondary Use: i.e. that with the second largest percentage of total floor area within the development, at ninety (90) percent of the vehicle parking required for that use.**
 - c. Subsequent use or uses, at eighty (80) percent of the vehicle parking required for that use.**

ANALYSIS: A reduction or deferral of the required parking improvements is not proposed.

FINDING: These standards do not apply.

D. Prohibited Uses

Required parking, loading and maneuvering areas shall not be used for long-term storage or sale of vehicles or other materials, and shall not be rented, leased or assigned to any person or organization not using or occupying the building or use served.

ANALYSIS: No long-term storage, sale of vehicles, or rented or leased parking spaces is proposed.

FINDING: This standard is met.

E. Location

1. **Residential off-street parking spaces:**
 - a. **Shall be located on the same lot or development as the residential use.**
 - b. **Shall not include garages or enclosed buildings with the exception of a parking structure in multifamily developments where three (3) or more spaces are not individually enclosed. (Example: Underground or multi-level parking structures).**
2. **For other uses, required off-street parking spaces may include adjacent on-street parking spaces, nearby public parking and shared parking located within five hundred (500) feet of the use. The distance from the parking, area to the use shall be measured from the nearest parking space to a building entrance, following a sidewalk or other pedestrian route. The right to use private off-site parking must be evidenced by a recorded deed, lease, easement, or similar written notarized letter or instrument.**
3. **Vehicle parking is allowed only on improved parking shoulders that meet City standards for public streets, within garages, carports and other structures, or on driveways or parking lots that have been developed in conformance with this code. Specific locations and types of spaces (car pool, compact, etc.) for parking shall be indicated on submitted plans and located to the side or rear of buildings where feasible.**

- a. All new development with forty (40) employees or more shall include preferential spaces for carpool/vanpool designation. Carpool and vanpool parking spaces shall be located closer to the main employee entrance than all other parking spaces with the exception of ADA parking spaces. Carpool/vanpool spaces shall be clearly marked as reserved for carpool/vanpool only.
- b. Existing development may redevelop portions of designated parking areas for multi-modal facilities (transit shelters, park and ride, and bicycle parking), subject to meeting all other applicable standards, including minimum space standards.

ANALYSIS: All required parking spaces are proposed on-site. No shared or on-street parking is proposed.

FINDING: These standards are met.

F. Marking

All parking, loading or maneuvering areas shall be clearly marked and painted. All interior drives and access aisles shall be clearly marked and signed to show the direction of flow and maintain vehicular and pedestrian safety.

ANALYSIS: The Civil Site Plan identifies clearly marked and painted parking spaces.

FINDING: This standard is met as conditioned below.

CONDITION OF APPROVAL F3: Prior to issuance of occupancy, all parking, loading, and maneuvering areas shall be clearly marked and painted.

G. Surface and Drainage

1. All parking and loading areas shall be improved with a permanent hard surface such as asphalt, concrete or a durable pervious surface. Use of pervious paving material is encouraged and preferred where appropriate considering soils, location, anticipated vehicle usage and other pertinent factors.
2. Parking and loading areas shall include storm water drainage facilities approved by the City Engineer or Building Official.

ANALYSIS: The parking area will be paved using asphalt and a storm drainage system has been provided for the parking area as shown in the applicant's plans.

FINDING: These standards are met.

H. Repairs

Parking and loading areas shall be kept clean and in good repair. Breaks in paved surfaces shall be repaired. Broken or splintered wheel stops shall be replaced. Painted parking space boundaries and directional symbols shall be maintained in a readable condition.

ANALYSIS: The property owner will be responsible for proper maintenance of the parking and loading areas. Violations are subject to Code Compliance.

FINDING: This standard is met.

I. Parking and Loading Plan

An off-street parking and loading plan, drawn to scale, shall accompany requests for building permits or site plan approvals, except for single and two-family dwellings, and manufactured homes on residential lots. The plan shall show but not be limited to:

- 1. Delineation of individual parking and loading spaces and dimensions.**
- 2. Circulation areas necessary to serve parking and loading spaces.**
- 3. Location of accesses to streets, alleys and properties to be served, and any curb cuts.**
- 4. Landscaping as required by Chapter 16.92.**
- 5. Grading and drainage facilities.**
- 6. Signing and bumper guard specifications.**
- 7. Bicycle parking facilities as specified in Section 16.94.020.C.**
- 8. Parking lots more than one (1) acre in size shall provide street-like features including curbs, sidewalks, and street trees or planting strips.**

ANALYSIS: The applicant has provided a Civil Site Plan that includes details on the proposed parking. Parking requirements are being reviewed and approved as part of this decision.

FINDING: This standard is met.

J. Parking Districts

The City may establish a parking district (i.e., permits or signage) in residential areas in order to protect residential areas from spillover parking generated by adjacent commercial, employment or mixed-

use areas, or other uses that generate a high demand for parking. The district request shall be made to the City Manager, who will forward a recommendation to the City Council for a decision. Structured parking and on-street parking are exempt from the parking space maximums in Section 16.94.020.A.

ANALYSIS: No parking districts or structured parking is proposed.

FINDING: This standard is not applicable.

16.94.020 Off-Street Parking Standards

A. Generally

Where square feet are specified, the area measured shall be the gross building floor area primary to the functioning of the proposed use. Where employees are specified, persons counted shall be those working on the premises, including proprietors, during the largest shift at peak season. Fractional space requirements shall be counted as a whole space. The Review Authority may determine alternate off - street parking and loading requirements for a use not specifically listed in this Section based upon the requirements of comparable uses.

**Table 1: Minimum and Maximum Parking Standards
(Metro spaces are based on 1 per 1,000 sq ft of gross leasable area)**

Use	Minimum Parking Standard	Maximum Permitted Parking Zone A¹	Maximum Permitted Parking Zone B²
Industrial	1.6	None	None
General office	2.7	3.4	4.1
Warehouse (gross square feet; parking ratios apply to warehouses 150,00 gsf or greater)	0.3	0.4	0.5

¹ Parking Zone A reflects the maximum number of permitted vehicle parking spaces allowed for each listed land use. Parking Zone A areas include those parcels that are located within one-quarter (1/4) mile walking distance of bus transit stops, one-half (1/2) mile walking distance of light rail station platforms, or both, or that have a greater than twenty-minute peak hour transit service.

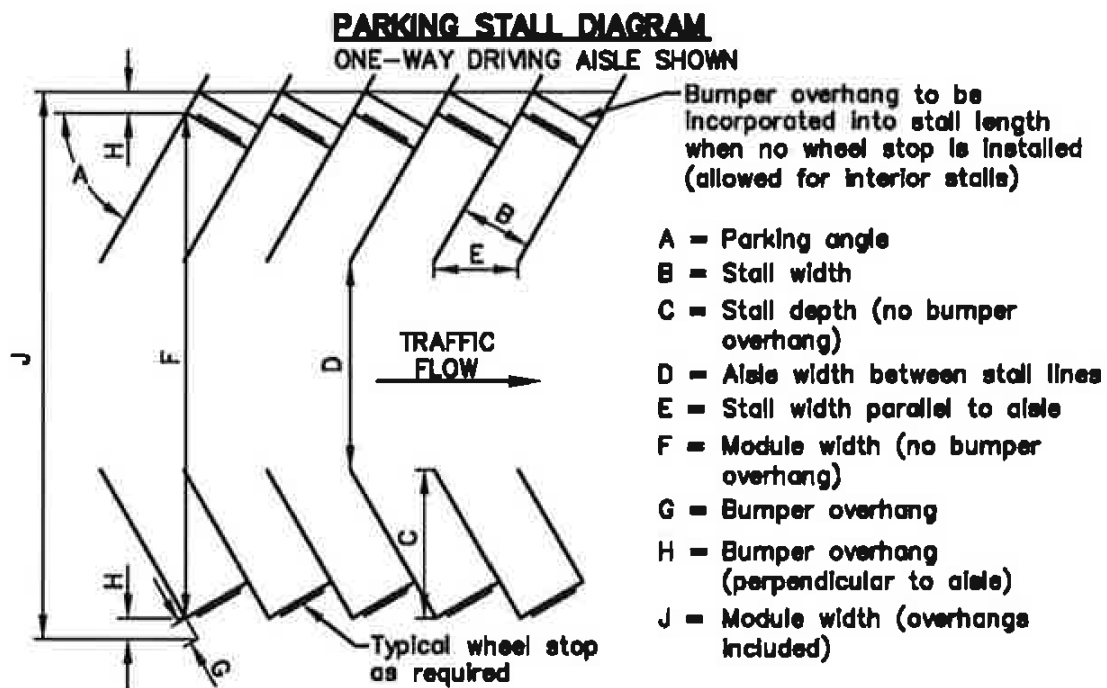
² Parking Zone B reflects the maximum number of permitted vehicle parking spaces allowed for each listed land use. Parking Zone B areas include those parcels that are located at a distance greater than one-quarter (¼) mile walking distance of bus transit stops, one-half (½) mile walking distance of light rail station platforms, or both.

ANALYSIS: The applicant has provided details on the proposed square footage of each use in Exhibit A2 – Building Area Schedule. Lab, storage, common area and warehouse uses are classified as “industrial” for determining parking requirements.

Use	Area	Minimum Spaces Required
Industrial	8,165 SF	1.6 x 8.16 = 13.05
Office	9,011 SF	2.7 x 9.01 = 24.3
		TOTAL 37.35

A minimum of 37 parking stalls are required and the applicant is proposing 40 on-site stalls.

FINDING: This standard is met.



B. Dimensional and General Configuration Standards

1. Dimensions For the purpose of this Chapter, a "parking space" means a stall nine (9) feet in width and twenty (20) feet in length. Up to twenty five (25) percent of required parking

spaces may have a minimum dimension of eight (8) feet in width and eighteen (18) feet in length so long as they are signed as compact car stalls.

2. Layout

Parking space configuration, stall and access aisle size shall be of sufficient width for all vehicle turning and maneuvering. Groups of more than four (4) parking spaces shall be served by a driveway so as to minimize backing movements or other maneuvering within a street, other than an alley. All parking areas shall meet the minimum standards shown in the following table and diagram.

**Table 3: Minimum Parking Dimension Requirements
Two-Way Driving Aisle (Dimensions in Feet)**

A	B	C	D	E		F	G	H	J
90°	8.0	18.0	26.0	8.0		56.0	3.0	3.0	62.0
	9.0	20.0	24.0	9.0		58.0	3.0	3.0	64.0

3. Wheel Stops

- a. Parking spaces along the boundaries of a parking lot or adjacent to interior landscaped areas or sidewalks shall be provided with a wheel stop at least four (4) inches high, located three (3) feet back from the front of the parking stall as shown in the above diagram.
- b. Wheel stops adjacent to landscaping, bio-swales or water quality facilities shall be designed to allow storm water runoff.
- c. The paved portion of the parking stall length may be reduced by three (3) feet if replaced with three (3) feet of low lying landscape or hardscape in lieu of a wheel stop; however, a curb is still required. In other words, the traditional three-foot vehicle overhang from a wheel stop may be low-lying landscaping rather than an impervious surface.

ANALYSIS: The Site Plan shows the dimensions of proposed parking stalls and drive aisle meeting the dimensional standards. A total of 8 compact spaces are proposed or 20% of the total, which is under the maximum allowed of 25%.

FINDING: These standards are met.

C. Bicycle Parking Facilities

1. General Provisions

- a. **Applicability.** Bicycle parking spaces shall be provided for new development, changes of use, and major renovations, defined as construction valued at twenty-

- five (25) percent or more of the assessed value of the existing structure.
- b. **Types of Spaces.** Bicycle parking facilities shall be provided in terms of short-term bicycle parking and long-term bicycle parking. Short-term bicycle parking is intended to encourage customers and other visitors to use bicycles by providing a convenient and readily accessible place to park bicycles. Long-term bicycle parking provides employees, students, residents, commuters, and others who generally stay at a site for at least several hours a weather-protected place to park bicycles.
 - c. **Minimum Number of Spaces.** The required total minimum number of bicycle parking spaces for each use category is shown in Table 4, Minimum Required Bicycle Parking Spaces.
 - d. **Minimum Number of Long-term Spaces.** If a development is required to provide eight (8) or more required bicycle parking spaces in Table 4, at least twenty-five (25) percent shall be provided as long-term bicycle with a minimum of one (1) long-term bicycle parking space.
 - e. **Multiple Uses.** When there are two or more primary uses on a site, the required bicycle parking for the site is the sum of the required bicycle parking for the individual primary uses.
2. **Location and Design.**
- a. **General Provisions**
 - (1) Each space must be at least two (2) feet by six (6) feet in area, be accessible without moving another bicycle, and provide enough space between the rack and any obstructions to use the space properly.
 - (2) There must be an aisle at least five (5) feet wide behind all required bicycle parking to allow room for bicycle maneuvering. Where the bicycle parking is adjacent to a sidewalk, the maneuvering area may extend into the right-of-way.
 - (3) **Lighting.** Bicycle parking shall be at least as well lit as vehicle parking for security.

- (4) **Reserved Areas.** Areas set aside for bicycle parking shall be clearly marked and reserved for bicycle parking only.
 - (5) **Bicycle parking in the Old Town Overlay District** can be located on the sidewalk within the right-of-way. A standard inverted "U shaped" or staple design is appropriate. Alternative, creative designs are strongly encouraged.
 - (6) **Hazards.** Bicycle parking shall not impede or create a hazard to pedestrians. Parking areas shall be located so as to not conflict with vision clearance standards.
- b. **Short-term Bicycle Parking**
- (1) Provide lockers or racks that meet the standards of this section.
 - (2) Locate inside or outside the building within thirty (30) feet of the main entrance to the building or at least as close as the nearest vehicle parking space, whichever is closer.

Table 4: Minimum Required Bicycle Parking Spaces

Use Categories	Minimum Required Spaces
Industrial uses	2 or 1 per 40 auto spaces, whichever is greater

ANALYSIS: The proposed industrial use requires a minimum of 2 spaces. The Site Plan indicates a bike rack with two stalls will be located near the eastern entrance to the building.

FINDING: This standard is met.

16.94.030 - Off-Street Loading Standards

A. Minimum Standards

- 1. A driveway designed for continuous forward flow of passenger vehicles for the purpose of loading and unloading passengers shall be located on the site of any school, or other public meeting place, which is designed to accommodate more than twenty five (25) persons at one time.
- 2. The minimum loading area for non-residential uses shall not be less than ten (10) feet in width by twenty-five (25) feet in length and shall have an unobstructed height of fourteen (14) feet.

3. Multiple uses on the same parcel or adjacent parcels may utilize the same loading area if it is shown in the development application that the uses will not have substantially overlapping delivery times.
4. The following additional minimum loading space is required for buildings in excess of twenty thousand (20,000) square feet of gross floor area:
 - a. Twenty thousand (20,000) to fifty (50,000) sq. ft. - five hundred (500) sq. ft.
 - b. Fifty (50,000) sq. ft. or more - seven hundred fifty (750) sq. ft.

ANALYSIS: The Site Plan shows a designated loading stall (10 ft. x 25 ft.) at the northeast corner of the site.

FINDING: This standard is met.

B. Separation of Areas

Any area to be used for the maneuvering of delivery vehicles and the unloading or loading of materials shall be separated from designated off-street parking areas and designed to prevent the encroachment of delivery vehicles onto off-street parking areas or public streets. Off-street parking areas used to fulfill the requirements of this Chapter shall not be used for loading and unloading operations.

ANALYSIS: The loading area is separated from the parking area by the building.

FINDING: This standard is met.

C. Exceptions and Adjustments.

The review authority, through Site Plan Review, may approve loading areas within a street right-of-way in the Old Town Overlay District when all of the following conditions are met:

1. Short in duration (i.e., less than one (1) hour);
2. Infrequent (less than three (3) operations occur daily between 5:00 a.m. and 12:00 a.m. or all operations occur between 12:00 a.m. and 5:00 a.m. at a location that is not adjacent to a residential zone);
3. Does not unreasonably obstruct traffic; [or] Does not obstruct traffic during peak traffic hours;
4. Does not obstruct a primary emergency response route; and
5. Is acceptable to the applicable roadway authority.

ANALYSIS: No exceptions are requested.

FINDING: This standard is met.

Chapter 16.96 - ONSITE CIRCULATION

16.92.010 – On-Site Pedestrian and Bicycle Circulation

A. Purpose

On-site facilities shall be provided that accommodate safe and convenient pedestrian access within new subdivisions, multi-family developments, planned unit developments, shopping centers and commercial districts, and connecting to adjacent residential areas and neighborhood activity centers within one-half mile of the development. Neighborhood activity centers include but are not limited to existing or planned schools, parks, shopping areas, transit stops or employment centers. All new development, (except single-family detached housing), shall provide a continuous system of private pathways/sidewalks.

B. Maintenance

No building permit or other City permit shall be issued until plans for ingress, egress and circulation have been approved by the City. Any change increasing any ingress, egress or circulation requirements, shall be a violation of this Code unless additional facilities are provided in accordance with this Chapter.

C. Joint Access

Two (2) or more uses, structures, or parcels of land may utilize the same ingress and egress when the combined ingress and egress of all uses, structures, or parcels of land satisfied the other requirements of this Code, provided that satisfactory legal evidence is presented to the City in the form of deeds, easements, leases, or contracts to clearly establish the joint use.

D. Connection to Streets

- 1. Except for joint access per this Section, all ingress and egress to a use or parcel shall connect directly to a public street, excepting alleyways with paved sidewalk.**
- 2. Required private sidewalks shall extend from the ground floor entrances or the ground floor landing of stairs, ramps or elevators to the public sidewalk or curb of the public street which provides required ingress and egress.**

ANALYSIS: The Site Plan proposes a 6 ft. wide sidewalk along the front of the building and connecting to each public street. An ADA ramp will provide accessible access between the site and SW Olds Pl.

FINDING: This standard is met.

E. Maintenance of Required Improvements

Required ingress, egress and circulation improvements shall be kept clean and in good repair.

ANALYSIS: Maintenance of the required circulation improvements will be addressed after construction. Any issues related to maintenance will fall under Code Compliance.

FINDING: This standard is met.

F. Access to Major Roadways

Points of ingress or egress to and from Highway 99W and arterials designated on the Transportation Plan Map, attached as Appendix C of the Community Development Plan, Part II, shall be limited as follows:

- 1. Single and two-family uses and manufactured homes on individual residential lots developed after the effective date of this Code shall not be granted permanent driveway ingress or egress from Highway 99W and arterial roadways. If alternative public access is not available at the time of development, provisions shall be made for temporary access which shall be discontinued upon the availability of alternative access.**
- 2. Other private ingress or egress from Highway 99W and arterial roadways shall be minimized. Where alternatives to Highway 99W or arterials exist or are proposed, any new or altered uses developed after the effective date of this Code shall be required to use the alternative ingress and egress.**
- 3. All site plans for new development submitted to the City for approval after the effective date of this Code shall show ingress and egress from existing or planned local or collector streets, consistent with the Transportation Plan Map and Section VI of the Community Development Plan.**

G. Service Drives

Service drives shall be provided pursuant to Section 16.94.030.

ANALYSIS: Vehicle access is not proposed from Hwy 99 or an arterial. Service drives are not proposed.

FINDING: These standards do not apply.

16.96.030 - Minimum Non-Residential Standards

Minimum standards for private, on-site circulation improvements in non-residential developments:

A. Driveways

2. Industrial: Improved hard surfaced driveways are required as follows:

Required Parking Spaces	# Driveways	Minimum Width	
		One-Way Pair	Two-Way
1 - 249	1	15 feet	24 feet
250 & above	2	15 feet	24 feet

ANALYSIS: The required number of parking spaces is 38 and a minimum of one 24 ft. wide two-way driveway is required. The Site Plan proposes three driveways, each with a minimum width of 26 ft.

FINDING: This standard is met.

3. Surface materials are encouraged to be pervious when appropriate considering soils, anticipated vehicle usage and other pertinent factors.

B. Sidewalks and Curbs

1. A private pathway/sidewalk system extending throughout the development site shall be required to connect to existing development, to public rights-of-way with or without improvements, to parking and storage areas, and to connect all building entrances to one another. The system shall also connect to transit facilities within five hundred (500) feet of the site, future phases of development, and whenever possible to parks and open spaces.

2. Curbs shall also be required at a standard approved by the Hearing Authority. Private pathways/sidewalks shall be connected to public rights-of-way along driveways but may be allowed other than along driveways if approved by the Hearing Authority.

3. Private Pathway/Sidewalk Design. Private pathway surfaces shall be concrete, asphalt, brick/masonry pavers, or other pervious durable surface. Primary pathways connecting front entrances to the right of way shall be at least 6 feet wide and conform to ADA standards. Secondary pathways between buildings and within parking areas shall be a minimum of four

(4) feet wide and/or conform to ADA standards. Where the system crosses a parking area, driveway or street, it shall be clearly marked with contrasting paving materials or raised crosswalk (hump). At a minimum all crosswalks shall include painted striping.

4. **Exceptions.** Private pathways/sidewalks shall not be required where physical or topographic conditions make a connection impracticable, where buildings or other existing development on adjacent lands physically preclude a connection now or in the future considering the potential for redevelopment; or pathways would violate provisions of leases, restrictions or other agreements.

ANALYSIS: The Site Plan indicates sidewalks and curbs will be constructed with concrete. All pathways are a minimum of 6 ft. wide.

FINDING: This standard is met.

Chapter 16.98 - ONSITE STORAGE

16.98.020 Solid Waste and Recycling Storage

All uses shall provide solid waste and recycling storage receptacles which are adequately sized to accommodate all solid waste generated on site. All solid waste and recycling storage areas and receptacles shall be located out of public view. Solid waste and recycling receptacles for multi-family, commercial, industrial and institutional uses shall be screened by six (6) foot high sight-obscuring fence or masonry wall and shall be easily accessible to collection vehicles.

ANALYSIS: A trash enclosure is proposed along the western boundary of the site. The applicant is proposing a 6 ft. tall CMU enclosure with a metal gate (Exhibit A3 – Sheet LU2.00). The City did not receive a response from Pride Disposal regarding approval of the trash enclosure location or design.

FINDING: This standard is met as conditioned below.

RECOMMENDED CONDITION OF APPROVAL B2: Prior to Final Site Plan Approval, obtain written approval from Pride Disposal for the location and design of the on-site waste and recycling enclosure.

Chapter 16.106 - TRANSPORTATION FACILITIES

Sections 16.106.010 Generally through 16.106.090 Rough Proportionality

ANALYSIS: City of Sherwood Engineering comments were provided on December 10, 2021 and are included as Exhibit B1. The comments are incorporated into the analysis and findings of SZCDC § 16.106 in full.

“The subject property has frontage on SW Olds Place and SW Arrow Street (Collector). The existing streets have an 18-foot wide paved street section with 5-foot wide curb tight sidewalk within a 25-foot wide half street right-of-way section. SW Olds Place is a standard commercial local street which per standards should have 20 feet of paved width with a 5-foot wide landscape strip and 6-foot wide sidewalk within a 32-foot wide half street right-of-way section. While a 2-lane collector (with no on-street parking) should have 17 feet of paved width with a 5-foot wide landscape strip and 6-foot wide sidewalk within a 29-foot wide half street right-of-way section. Due to the streets being fully developed and the same as surrounding properties, no street improvements are required except as necessary to provide commercial access to the subject property.

Based upon the original traffic study for the Sherwood Commercial Center determined that each of the original lots within the subdivision (10 total) would have 83 daily site trips. A trip generation report was submitted for the subject property and determined that the new building will generate an additional 33 daily trips above the original 83 daily trips. Being 0.12% of SW Tualatin-Sherwood Road traffic times an intersection improvement cost of \$125,000 for the SW Olds Place/SW Tualatin-Sherwood Road intersection, the resulting traffic mitigation cost share of \$150.00 will be assessed to the development.”

FINDING: This standard is met as conditioned below.

CONDITION OF APPROVAL C1: Prior to Approval of the Engineering Public Improvement Plans, the new driveway shall be designed to meet Sherwood Engineering Department standards.

CONDITION OF APPROVAL C2: Prior to Approval of the Engineering Public Improvement Plans, the developer shall pay a traffic mitigation cost in the amount of \$150.00.

Chapter 16.108 – Improvement Plan Review

16.108.010 – Preparation and Submission

An improvement plan shall be prepared and stamped by a Registered Civil Engineer certifying compliance with City specifications. Two (2) sets of the plan shall be submitted to the City for review. An improvements plan shall be accompanied by a review fee as per this Section.

A. Review Fee

Plan review fees are calculated as a percentage of the estimated total cost of improvements and are set by the "Schedule of Development

and Business Fees" adopted by Resolution of the Council. This schedule is included herein for the purposes of information, but is deemed to be separate from and independent of this Code.

B. Engineering Agreement

A copy of an agreement or contract between the applicant and Registered Civil Engineer for:

1. Surveying sufficient to prepare construction plans.
2. Preparation of construction plans and specifications.
3. Construction staking, and adequate inspection.
4. Construction notes sufficient to develop accurate as-built plans.
5. Drawing of accurate as-built plans and submission of reproducible mylars for finals to the City.
6. Certificate stating that construction was completed in accordance with required plans and specifications.

ANALYSIS: Work will be conducted in the right-of-way as part of the proposed development and a Engineering Plan Review / Engineering Compliance Agreement is required.

FINDING: This standard is met as conditioned below.

CONDITION OF APPROVALD2: Prior to Issuance of Building Permits, an Engineering Compliance Agreement shall be obtained from the City of Sherwood Engineering Department.

Chapter 16.110 – SANITARY SEWERS

Sanitary sewers shall be installed to serve all new developments and shall connect to existing sanitary sewer mains. Provided, however, that when impractical to immediately connect to a trunk sewer system, the use of septic tanks may be approved, if sealed sewer laterals are installed for future connection and the temporary system meets all other applicable City, Clean Water Services, Washington County and State sewage disposal standards.

ANALYSIS: City of Sherwood Engineering comments were provided on December 10, 2021 and are included as Exhibit B1. The comments are incorporated into the analysis and findings of SZCDC § 16.106 in full.

“Currently a public sanitary sewer main exists within SW Olds Place and within SW Arrow Street along the subject property frontage. No public sanitary sewer main extension is required.”

FINDING: This standard is met as conditioned below.

CONDITION OF APPROVAL C3: Prior to Approval of the Engineering Public Improvement Plans, the proposed development shall design to use the existing sanitary lateral to supply service to the new building unless otherwise approved by the Sherwood Engineering Department.

CONDITION OF APPROVAL D3: Prior to Issuance of a Plumbing Permit, the proposed development shall design the private sanitary sewer to be in compliance with the current Oregon Plumbing Specialty Code.

Chapter 16.112– WATER SUPPLY

16.112.010 Required Improvements

Water lines and fire hydrants conforming to City and Fire District standards shall be installed to serve all building sites in a proposed development. All waterlines shall be connected to existing water mains or shall construct new mains appropriately sized and located in accordance with the Water System Master Plan.

ANALYSIS: City of Sherwood Engineering comments were provided on December 10, 2021 and are included as Exhibit B1. The comments are incorporated into the analysis and findings of SZCDC § 16.106 in full.

“Currently there is a public water main existing within SW Olds Place and within SW Arrow Street along the subject property frontage. No public water main extension is required. On-site fire protection may be necessary depending on conditions by Tualatin Valley Fire & Rescue.”

FINDING: This standard is met as conditioned below.

CONDITION OF APPROVAL C4: Prior to Approval of the Engineering Public Improvement Plans, the proposed development shall design to use the existing water service(s) to supply domestic, irrigation and fire water to the development as needed unless otherwise approved by the Sherwood Engineering Department.

CONDITION OF APPROVAL C5: Prior to Approval of the Engineering Public Improvement Plans, water flows calculations (domestic, irrigation and fire) shall be provided by the developer.

CONDITION OF APPROVAL C6: Prior to Approval of the Engineering Public Improvement Plans, the proposed development shall design for the installation of a Reduced Pressure Backflow Assembly meeting Sherwood Engineering Department standards unless otherwise approved.

CONDITION OF APPROVAL C7: Prior to Approval of the Engineering Public Improvement Plans, if on-site fire protection is to be installed, the proposed development shall design for the installation of fire line backflow protection meeting Sherwood Engineering Department standards.

CONDITION OF APPROVAL D4: Prior to Issuance of a Plumbing Permit, the proposed development shall design for private water lines to be in compliance with the current Oregon Plumbing Specialty Code.

CONDITION OF APPROVAL E1: Prior to Final Acceptance of the Constructed Public Improvements, any public water facilities to be located on private property shall have a recorded public water line easement encompassing the related public water improvements meeting Sherwood Engineering standards.

Chapter 16.114 – STORM WATER

Storm water facilities, including appropriate source control and conveyance facilities, shall be installed in new developments and shall connect to the existing downstream drainage systems consistent with the Comprehensive Plan and the requirements of the Clean Water Services water quality regulations contained in their Design and Construction Standards R&O 04-9, or its replacement.

ANALYSIS: City of Sherwood Engineering comments were provided on December 10, 2021 and are included as Exhibit B1. The comments are incorporated into the analysis and findings of SZCDC § 16.106 in full.

“Currently a public storm sewer main exists within SW Olds Place along the subject property frontage. However, there is no storm sewer existing within SW Arrow Street along the subject property frontage. City standards require the extension of the public utilities to the property line to serve uphill neighboring properties. However, since this is a lot of a subdivision that was previously developed under City of Sherwood standards, any extension of the storm sewer should have been completed under the original subdivision. Therefore, no public storm sewer main extension is required.

There is an existing water quality swale which was constructed with the original subdivision. This swale was designed to treat the runoff from the development of the subject property. This water quality swale was not designed to provide hydro-modification to meet the newly adopted Clean Water Services’ hydro-modification requirements.

City policy requires that prior to grading, a permit is obtained from the Building Department for all grading on the private portion of the site.

Clean Water Services has commented in the Service Provider Letter that this development will not significantly impact water quality sensitive areas.

The Engineering Department requires a grading permit for all areas graded as part of the public improvements. The Engineering permit for grading of the public improvements is reviewed, approved and released as part of the public improvement plans.

An erosion control plan and permit is required from the City of Sherwood Engineering Department for all public and private improvements. The erosion control permit is reviewed, approved and released as part of the public improvement plans.

Although the proposed parcel is less than 1 acre in size, the original development was constructed under a 1200-C, therefore a DEQ NPDES 1200-C permit is required for this development.”

FINDING: This standard is met as conditioned below.

CONDITION OF APPROVAL C8: Prior to Approval of the Engineering Public Improvement Plans, the proposed development shall design to use the existing storm lateral to supply service to the development unless otherwise approved by the Sherwood Engineering Department.

CONDITION OF APPROVAL C9: Prior to Approval of the Engineering Public Improvement Plans, the proposed development shall design to provide hydro-modification in compliance with Clean Water Services’ standards.

CONDITION OF APPROVAL E2: Prior to Acceptance of Public Improvements, private hydro-modification facilities shall have a recorded Private Stormwater Facility Access and Maintenance Covenant. An Operation and Maintenance Plan for all private hydro-modification facilities is also required to be submitted to the Sherwood Engineering Department.

CONDITION OF APPROVAL D5: Prior to Issuance of a Plumbing Permit, the proposed development shall design for private storm water runoff within the subject property to be collected and conveyed in accordance with the current Oregon Plumbing Specialty Code.

CONDITION OF APPROVAL D6: Prior to Issuance of Building Permits, a DEQ NPDES 1200-C permit shall be obtained.

CONDITION OF APPROVAL C10: Prior to Approval of the Engineering Public Improvement Plans, a Storm Water Connection Permit Authorization shall be obtained from Clean Water Services.

Chapter 16.116 - FIRE PROTECTION

16.116.010 Required Improvements

When land is developed so that any commercial or industrial structure is further than two hundred and fifty (250) feet or any residential structure is further than five hundred (500) feet from an adequate water supply for fire protection, as determined by the Fire District, the developer shall provide fire protection facilities necessary to provide adequate water supply and fire safety.

A. Capacity

All fire protection facilities shall be approved by and meet the specifications of the Fire District, and shall be sized, constructed, located, and installed consistent with this Code, Chapter 7 of the Community Development Plan, and other applicable City standards, in order to adequately protect life and property in the proposed development.

B. Fire Flow

Standards published by the Insurance Services Office, entitled "Guide for Determination of Required Fire Flows" shall determine the capacity of facilities required to furnish an adequate fire flow. Fire protection facilities shall be adequate to convey quantities of water, as determined by ISO standards, to any outlet in the system, at no less than twenty (20) pounds per square inch residual pressure. Water supply for fire protection purposes shall be restricted to that available from the City water system. The location of hydrants shall be taken into account in determining whether an adequate water supply exists.

C. Access to Facilities

Whenever any hydrant or other appurtenance for use by the Fire District is required by this Chapter, adequate ingress and egress shall be provided. Access shall be in the form of an improved, permanently maintained roadway or open paved area, or any combination thereof, designed, constructed, and at all times maintained, to be clear and unobstructed. Widths, height clearances, ingress and egress shall be adequate for District firefighting equipment. The Fire District, may further prohibit vehicular parking along private accessways in order to keep them clear and unobstructed, and cause notice to that effect to be posted.

D. Hydrants

Hydrants located along private, accessways shall either have curbs painted yellow or otherwise marked prohibiting parking for a distance of at least fifteen (15) feet in either direction, or where curbs do not exist, markings shall be painted on the pavement, or signs erected, or both, given notice that parking is prohibited for at least fifteen (15) feet in either direction.

ANALYSIS: Fire protection and emergency services are provided by Tualatin Valley Fire and Rescue (TVFR). The applicant has obtained a Service Provider Letter from TVF&R included as Exhibit A5.

FINDING: This standard is met as conditioned below.

CONDITION OF APPROVAL F4: Prior to receiving occupancy, obtain final approval from Tualatin Valley Fire & Rescue for occupancy of the site and building.

Chapter 16.118 - PUBLIC AND PRIVATE UTILITIES

16.118.010 Purpose

Public telecommunication conduits as well as conduits for franchise utilities including, but not limited to, electric power, telephone, natural gas, lighting, and cable television shall be installed to serve all newly created lots and developments in Sherwood.

16.118.020 Standard

- A. Installation of utilities shall be provided in public utility easements and shall be sized, constructed, located and installed consistent with this Code, Chapter 7 of the Community Development Code, and applicable utility company and City standards.**
- B. Public utility easements shall be a minimum of eight (8) feet in width unless a reduced width is specifically exempted by the City Engineer. An eight-foot wide public utility easement (PUE) shall be provided on private property along all public street frontages. This standard does not apply to developments within the Old Town Overlay.**
- C. Where necessary, in the judgment of the City Manager or his designee, to provide for orderly development of adjacent properties, public and franchise utilities shall be extended through the site to the edge of adjacent property(ies).**
- D. Franchise utility conduits shall be installed per the utility design and specification standards of the utility agency.**
- E. Public Telecommunication conduits and appurtenances shall be installed per the City of Sherwood telecommunication design standards.**
- F. Exceptions: Installation shall not be required if the development does not require any other street improvements. In those instances, the developer shall pay a fee in lieu that will finance installation when street or utility improvements in that location occur.**

16.118.030 - Underground Facilities

Except as otherwise provided, all utility facilities, including but not limited to, electric power, telephone, natural gas, lighting, cable television, and telecommunication cable, shall be placed underground, unless specifically authorized for above ground installation, because the points of connection to existing utilities make underground installation impractical, or for other reasons deemed acceptable by the City.

16.118.040 - Exceptions

Surface-mounted transformers, surface-mounted connection boxes and meter cabinets, temporary utility service facilities during construction, high capacity electric and communication feeder lines, and utility transmission lines operating at fifty thousand (50,000) volts or more may be located above ground. The City reserves the right to approve location of all surface-mounted transformers.

ANALYSIS: An 8-foot wide PUE exists along the subject property frontage of SW Olds Place and SW Arrow Street. Sherwood Broadband exists along the subject property frontage of SW Old Place and SW Arrow Street. Therefore, no Sherwood Broadband frontage improvements are required.

FINDING: These standards are met.

Chapter 16.142 Parks, Trees and Open Space

16.142.040 - Visual Corridors

A. Corridors Required

New developments located outside of the Old Town Overlay with frontage on Highway 99W, or arterial or collector streets designated on Figure 8-1 of the Transportation System Plan shall be required to establish a landscaped visual corridor according to the following standards:

	Category	Width
1.	Highway 99W	25 feet
2.	Arterial	15 feet
3.	Collector	10 feet

In residential developments where fences are typically desired adjoining the above described major street the corridor may be placed in the road right-of-way between the property line and the

sidewalk. In all other developments, the visual corridor shall be on private property adjacent to the right-of-way.

B. Landscape Materials

The required visual corridor areas shall be planted as specified by the review authority to provide a continuous visual and/or acoustical buffer between major streets and developed uses. Except as provided for above, fences and walls shall not be substituted for landscaping within the visual corridor. Uniformly planted, drought resistant street trees and ground cover, as specified in Section 16.142.060, shall be planted in the corridor by the developer. The improvements shall be included in the compliance agreement. In no case shall trees be removed from the required visual corridor.

C. Establishment and Maintenance

Designated visual corridors shall be established as a portion of landscaping requirements pursuant to Chapter 16.92. To assure continuous maintenance of the visual corridors, the review authority may require that the development rights to the corridor areas be dedicated to the City or that restrictive covenants be recorded prior to the issuance of a building permit.

D. Required Yard

Visual corridors may be established in required yards, except that where the required visual corridor width exceeds the required yard width, the visual corridor requirement shall take precedence. In no case shall buildings be sited within the required visual corridor, with the exception of front porches on townhomes, as permitted in Section 16.44.010(E)(4)(c).

ANALYSIS: The site is located along SW Arrow St., a collector status roadway under City jurisdiction. The applicant is proposing a 10 ft. wide visual corridor along the Arrow St. frontage (on private property), as required by the code.

FINDING: This standard is met.

16.142.060: STREET TREES

A. Installation of Street Trees on New or Redeveloped Property.

Trees are required to be planted to the following specifications along public streets abutting or within any new development or re-development. Planting of such trees shall be a condition of development approval. The City shall be subject to the same standards for any developments involving City-owned property, or when constructing or reconstructing City streets. After installing street trees, the property owner shall be responsible for maintaining

the street trees on the owner's property or within the right-of-way adjacent to the owner's property.

- 1. Location: Trees shall be planted within the planter strip along a newly created or improved streets. In the event that a planter strip is not required or available, the trees shall be planted on private property within the front yard setback area or within public street right-of-way between front property lines and street curb lines or as required by the City.**
- 2. Size: Trees shall have a minimum trunk diameter of two (2) caliper inches, which is measured six inches above the soil line, and a minimum height of six (6) feet when planted.**
- 3. Types: Developments shall include a variety of street trees. The trees planted shall be chosen from those listed in 16.142.080 of this Code.**
- 4. Required Street Trees and Spacing:**
 - a. The minimum spacing is based on the maximum canopy spread identified in the recommended street tree list in section 16.142.080 with the intent of providing a continuous canopy without openings between the trees. For example, if a tree has a canopy of forty (40) feet, the spacing between trees is forty (40) feet. If the tree is not on the list, the mature canopy width must be provided to the planning department by a certified arborist.**
 - b. All new developments shall provide adequate tree planting along all public streets. The number and spacing of trees shall be determined based on the type of tree and the spacing standards described in a. above and considering driveways, street light locations and utility connections. Unless exempt per c. below, trees shall not be spaced more than forty (40) feet apart in any development.**
 - c. A new development may exceed the forty-foot spacing requirement under section b. above, under the following circumstances:**
 - (1) Installing the tree would interfere with existing utility lines and no substitute tree is appropriate for the site; or**
 - (2) There is not adequate space in which to plant a street tree due to driveway or street light locations, vision clearance or utility connections, provided the driveways, street light or utilities could not be reasonably located elsewhere so as**

- to accommodate adequate room for street trees;
and
- (3) The street trees are spaced as close as possible given the site limitations in (1) and (2) above.
 - (4) The location of street trees in an ODOT or Washington County right-of-way may require approval, respectively, by ODOT or Washington County and are subject to the relevant state or county standards.
 - (5) For arterial and collector streets, the City may require planted medians in lieu of paved twelve-foot wide center turning lanes, planted with trees to the specifications of this subsection.

ANALYSIS: The public street system surrounding the development site does not contain a sidewalk planter strip for new street tree installation. However, the applicant is proposing a continuous row of trees on private property along each right-of-way. The proposed trees include Paperbark maple, Colorado blue spruce, and Sargent cherry.

FINDING: This standard is met.

16.142.070 Trees on Property Subject to Certain Land Use Applications

A. Generally

The purpose of this Section is to establish processes and standards which will minimize cutting or destruction of trees and woodlands within the City. This Section is intended to help protect the scenic beauty of the City; to retain a livable environment through the beneficial effect of trees on air pollution, heat and glare, sound, water quality, and surface water and erosion control; to encourage the retention and planting of tree species native to the Willamette Valley and Western Oregon; to provide an attractive visual contrast to the urban environment, and to sustain a wide variety and distribution of viable trees and woodlands in the community over time.

B. Applicability

All applications including a Type II - IV land use review, shall be required to preserve trees or woodlands, as defined by this Section to the maximum extent feasible within the context of the proposed land use plan and relative to other codes, policies, and standards of the City Comprehensive Plan.

C. Inventory

1. To assist the City in making its determinations on the retention of trees and woodlands, land use applications including Type

II - IV development shall include a tree and woodland inventory and report. The report shall be prepared by a qualified professional and must contain the following information:

- a. Tree size (in DBH and canopy area)**
- b. Tree species**
- c. The condition of the tree with notes as applicable explaining the assessment**
- d. The location of the tree on the site**
- e. The location of the tree relative to the planned improvements**
- f. Assessment of whether the tree must be removed to accommodate the development**
- g. Recommendations on measures that must be taken to preserve trees during the construction that are not proposed to be removed.**

2. In addition to the general requirements of this Section, the tree and woodland inventory's mapping and report shall also include, but is not limited to, the specific information outlined in the appropriate land use application materials packet.

3. Definitions for the inventory purposes of this Section

- a. A tree is a living woody plant having a trunk diameter as specified below at Diameter at Breast Height (DBH). Trees planted for commercial agricultural purposes, and/or those subject to farm forest deferral, such as nut and fruit orchards and Christmas tree farms, are excluded from this definition and from regulation under this Section, as are any living woody plants under six (6) inches at DBH. All trees six (6) inches or greater shall be inventoried.**
- b. A woodland is a biological community dominated by trees covering a land area of 20,000 square feet or greater at a density of at least fifty (50) trees per every 20,000 square feet with at least fifty percent (50%) of those trees of any species having a six (6) inches or greater at DBH. Woodlands planted for commercial agricultural purposes and/or subject to farm forest deferral, such as nut and fruit orchards and Christmas tree farms, are excluded from this definition, and from regulation under this Section.**
- c. A large stature tree is over 20 feet tall and wide with a minimum trunk diameter of 30 inches at DBH.**

D. Retention requirements

1. Trees may be considered for removal to accommodate the development including buildings, parking, walkways, grading etc., provided the development satisfies of D.2 or D.3, below.

ANALYSIS: The subject property does not contain any trees.

FINDING: These standards do not apply.

3. **Required Tree Canopy - Non-Residential and Multi-family Developments**

Each net development site shall provide a variety of trees to achieve a minimum total tree canopy of 30 percent. The canopy percentage is based on the expected mature canopy of each tree by using the equation πr^2 to calculate the expected square footage of each tree. The expected mature canopy is counted for each tree even if there is an overlap of multiple tree canopies.

The canopy requirement can be achieved by retaining existing trees or planting new trees. Required landscaping trees can be used toward the total on site canopy required to meet this standard. The expected mature canopy spread of the new trees will be counted toward the required canopy cover. A certified arborist or other qualified professional shall provide an estimated tree canopy for all proposed trees to the planning department for review as a part of the land use review process.

	Residential (single family & two family developments)	Old Town & Infill developments	Commercial, Industrial, Institutional Public and Multi-family
Canopy Requirement	40%	N/A	30%
Counted Toward the Canopy Requirement			
Street trees included in canopy requirement	Yes	N/A	No
Landscaping requirements included in canopy requirement	N/A	N/A	Yes
Existing trees onsite	Yes x2	N/A	Yes x2
Planting new trees onsite	Yes	N/A	Yes
Mature Canopy in Square Feet Equation πr^2 or $(3.14159 * \text{radius}^2)$ (This is the calculation to measure the square footage of a circle.			

	Residential (single family & two family developments)	Old Town & Infill developments	Commercial, Industrial, Institutional Public and Multi-family
The Mature Canopy is given in diameter. In gardening and horticulture reference books, therefore to get the radius you must divide the diameter in half.			
Canopy Calculation Example: Pin Oak Mature canopy = 35' (3.14159* 17.52) = 962 square feet			

ANALYSIS: The total site area is 40,075 SF which requires a minimum of 12,022 SF of tree canopy cover. Calculations on tree canopy cover have not been provided.

FINDING: This standard can be met as conditioned below.

CONDITION OF APPROVAL B3: Prior to Final Site Plan Approval, provide the amount of tree canopy cover per SZCDC § 16.142.070(D)(3).

Chapter 16.146 - Noise

16.146.020 - Noise Sensitive Uses

When proposed commercial and industrial uses do not adjoin land exclusively in commercial or industrial zones, or when said uses adjoin special care, institutional, or parks and recreational facilities, or other uses that are, in the City's determination, sensitive to noise impacts, then:

- A. The applicant shall submit to the City a noise level study prepared by a professional acoustical engineer. Said study shall define noise levels at the boundaries of the site in all directions.
- B. The applicant shall show that the use will not exceed the noise standards contained in OAR 340-35-035, based on accepted noise modeling procedures and worst case assumptions when all noise sources on the site are operating simultaneously.
- C. If the use exceeds applicable noise standards as per subsection B of this Section, then the applicant shall submit a noise mitigation program prepared by a professional acoustical engineer that shows how and when the use will come into compliance with said standards.

ANALYSIS: The development site is surrounded in all directions by industrial and commercial zoning and a noise study is not required. The proposed use as lab, storage, and office are not expected to generate noise levels exceed state standards. Any future violations related to noise, vibrations, air quality, and odor can be addressed by the applicable State agency or City Code Compliance.

FINDING: This standard is met.

Chapter 16.148 - Vibrations

16.148.010 - Vibrations

All otherwise permitted commercial, industrial, and institutional uses shall not cause discernible vibrations that exceed a peak of 0.002 gravity at the property line of the originating use, except for vibrations that last five (5) minutes or less per day, based on a certification by a professional engineer.

ANALYSIS: The development site is surrounded in all directions by industrial and commercial zoning. The proposed use as lab, storage, and office are not expected to create vibrations in excess of 0.002 gravity at the property line. Any future violations related to noise, vibrations, air quality, and odor can be addressed by the applicable State agency or City Code Compliance.

FINDING: This standard is met.

Chapter 16.150 - Air Quality

16.150.010 – Air Quality

All otherwise permitted commercial, industrial, and institutional uses shall comply with applicable State air quality rules and statutes:

- A. All such uses shall comply with standards for dust emissions as per OAR 340-21-060.**
- B. Incinerators, if otherwise permitted by Section 16.140.020, shall comply with the standards set forth in OAR 340-25-850 through 340-25-905.**
- C. Uses for which a State Air Contaminant Discharge Permit is required as per OAR 340-20-140 through 340-20-160 shall comply with the standards of OAR 340-220 through 340-20-276.**

ANALYSIS: The development site is surrounded in all directions by industrial and commercial zoning. The proposed use as lab, storage, and office are not expected to produce dust and air quality emissions that negatively impact adjacent properties. Any future violations related to noise, vibrations, air quality, and odor can be addressed by the applicable State agency or City Code Compliance.

FINDING: This standard is met.

Chapter 16.152 - Odors

16.152.010 - Odors

All otherwise permitted commercial, industrial, and institutional uses shall incorporate the best practicable design and operating measures so that odors

produced by the use are not discernible at any point beyond the boundaries of the development site.

ANALYSIS: The development site is surrounded in all directions by industrial and commercial zoning. The proposed use as lab, storage, and office are not expected to produce odors that negatively impact adjacent properties. Any future violations related to noise, vibrations, air quality, and odor can be addressed by the applicable State agency or City Code Compliance.

FINDING: This standard is met.

Chapter 16.154 - Heat and Glare

16.154.010 – Heat and Glare

Except for exterior lighting, all otherwise permitted commercial, industrial, and institutional uses shall conduct any operations producing excessive heat or glare entirely within enclosed buildings. Exterior lighting shall be directed away from adjoining properties, and the use shall not cause such glare or lights to shine off site in excess of one-half (0.5) foot candle when adjoining properties are zoned for residential uses.

ANALYSIS: The development site is surrounded in all directions by industrial and commercial zoning. The proposed use as lab, storage, and office are not expected to produce excessive heat or glare. Any future violations related to heat and glare can be addressed by the applicable State agency or City Code Compliance.

FINDING: This standard is met.

Chapter 16.156 - Energy Conservation

16.156.020 Standards

- A. Building Orientation - The maximum number of buildings feasible shall receive sunlight sufficient for using solar energy systems for space, water or industrial process heating or cooling. Buildings and vegetation shall be sited with respect to each other and the topography of the site so that unobstructed sunlight reaches the south wall of the greatest possible number of buildings between the hours of 9:00 AM and 3:00 PM, Pacific Standard Time on December 21st.**
- B. Wind - The cooling effects of prevailing summer breezes and shading vegetation shall be accounted for in site design. The extent solar access to adjacent sites is not impaired vegetation shall be used to moderate prevailing winter wind on the site.**

ANALYSIS: The applicant for the development owns and operates a solar panel company. The building will include solar panels and has been designed to take advantage of the natural sunlight.

FINDING: This standard is met.

IV. CONDITIONS OF APPROVAL

Based upon review of the applicant's submittal information, review of the code, agency comments and consideration of the applicant's submittal, staff finds that the proposed site plan does not fully comply with the standards but can be conditioned to comply. **Therefore, the application LU 2021-018 Greenridge Solar is approved subject to the following conditions of approval:**

A. General Conditions

1. Compliance with the Conditions of Approval is the responsibility of the developer or its successor in interest.
2. The development shall substantially comply with the submitted preliminary plans and narrative except as indicated in the conditions of the Notice of Decision. Additional development or change of use may require a new development application and approval.
3. The developer/owner/applicant is responsible for all costs associated with private/public facility improvements.
4. This approval is valid for a period of two (2) years from the date of the decision notice. Extensions may be granted by the City as afforded by the Sherwood Zoning and Community Development Code.
5. The continual operation of the property shall comply with the applicable requirements of the Sherwood Zoning and Community Development Code and Municipal Code.
6. This approval does not negate the need to obtain permits, as appropriate from other local, state or federal agencies even if not specifically required by this decision.
7. The developer shall adhere to the conditions of the Clean Water Services Provider Letter (CWS File Number 21-002160) dated October 29, 2019 and memorandum dated December 16, 2021.
8. All new utilities to be installed for the development of the subject property shall be underground.
9. Retaining walls within public easements or the public right-of-way shall require engineering approval.

B. Prior to Final Site Plan Approval

1. Prior to Final Site Plan Approval, revise the Site Plan to provide Clear Vision Areas at each of the private driveway intersections with a public street.
2. Prior to Final Site Plan Approval, obtain written approval from Pride Disposal for the location and design of the on-site waste and recycling enclosure.
3. Prior to Final Site Plan Approval, provide the amount of tree canopy cover per SZCDC § 16.142.070(D)(3).

C. Prior to Engineering Approval of the Public Improvement Plans

1. Prior to Appr Prior to Approval of the Engineering Public Improvement Plans, the new driveway shall be designed to meet Sherwood Engineering Department standards.
2. Prior to Approval of the Engineering Public Improvement Plans, the developer shall pay a traffic mitigation cost in the amount of \$150.00.
3. Prior to Approval of the Engineering Public Improvement Plans, the proposed development shall design to use the existing sanitary lateral to supply service to the new building unless otherwise approved by the Sherwood Engineering Department.
4. Prior to Approval of the Engineering Public Improvement Plans, the proposed development shall design to use the existing water service(s) to supply domestic, irrigation and fire water to the development as needed unless otherwise approved by the Sherwood Engineering Department.
5. Prior to Approval of the Engineering Public Improvement Plans, water flows calculations (domestic, irrigation and fire) shall be provided by the developer.
6. Prior to Approval of the Engineering Public Improvement Plans, the proposed development shall design for the installation of a Reduced Pressure Backflow Assembly meeting Sherwood Engineering Department standards unless otherwise approved.
7. Prior to Approval of the Engineering Public Improvement Plans, if on-site fire protection is to be installed, the proposed development shall design for the installation of fire line backflow protection meeting Sherwood Engineering Department standards.
8. Prior to Approval of the Engineering Public Improvement Plans, the proposed development shall design to use the existing storm lateral to supply service to the development unless otherwise approved by the Sherwood Engineering Department.
9. Prior to Approval of the Engineering Public Improvement Plans, the proposed development shall design to provide hydro-modification in compliance with Clean Water Services' standards.
10. Prior to Approval of the Engineering Public Improvement Plans, a Storm Water Connection Permit Authorization shall be obtained from Clean Water Services.

D. Prior to Issuance of Building Permits

1. Prior to Issuance of Prior to issuance of building permits, all roof-mounted equipment shall be screened with materials complimentary to the building design materials.
2. Prior to Issuance of Building Permits, an Engineering Compliance Agreement shall be obtained from the City of Sherwood Engineering Department.
3. Prior to Issuance of a Plumbing Permit, the proposed development shall design the private sanitary sewer to be in compliance with the current Oregon Plumbing Specialty Code.
4. Prior to Issuance of a Plumbing Permit, the proposed development shall design for private water lines to be in compliance with the current Oregon Plumbing Specialty Code.
5. Prior to Issuance of a Plumbing Permit, the proposed development shall design for private storm water runoff within the subject property to be collected and conveyed in accordance with the current Oregon Plumbing Specialty Code.
6. Prior to Issuance of Building Permits, a DEQ NPDES 1200-C permit shall be obtained.

E. Prior to Acceptance of Public Improvements

1. Prior to Acceptance of Prior to Final Acceptance of the Constructed Public Improvements, any public water facilities to be located on private property shall have a recorded public water line easement encompassing the related public water improvements meeting Sherwood Engineering standards.
2. Prior to Acceptance of Public Improvements, private hydro-modification facilities shall have a recorded Private Stormwater Facility Access and Maintenance Covenant. An Operation and Maintenance Plan for all private hydro-modification facilities is also required to be submitted to the Sherwood Engineering Department.

F. Prior to Receiving Occupancy

1. Prior to Prior to Occupancy, Clear Vision Areas shall be established at each private driveway intersection with a public street.
2. Prior to issuance of occupancy, all roof-mounted equipment shall be screened with materials complimentary to the building design materials.
3. Prior to issuance of occupancy, all parking, loading, and maneuvering areas shall be clearly marked and painted.
4. Prior to receiving occupancy, obtain final approval from Tualatin Valley Fire & Rescue for occupancy of the site and building.

V. EXHIBITS

A. Applicant Submittal (complete application materials available in the project file at City Hall)

1. Application Form
2. Narrative
3. Plan Set
4. CWS SPL
5. TVF&R SPL
6. Trip Generation Letter
7. Storm Report
8. Title Report
9. Property Owner Mailing List

B. Agency Comments

1. City of Sherwood Engineering Comments
2. CWS Comments



Home of the Tualatin River National Wildlife Refuge

RECEIVED
JUL 29 2021

City of Sherwood
Planning Dept.

Exhibit A1

Case No. LU2021-018 SP
Fee 2511.58
Receipt # 745802
Date 7.29.21
TYPE SP

City of Sherwood
Application for Land Use Action

Type of Land Use Action Requested: (check all that apply)

- Annexation
- Plan Amendment (Proposed Zone _____)
- Planned Unit Development
- Site Plan (square footage of building and parking area)
- Variance (list standards to be varied in description)
- Conditional Use
- Partition (# of lots _____)
- Subdivision (# of lots _____)
- Other: _____

By submitting this form the Owner, or Owner's authorized agent/ representative, acknowledges and agrees that City of Sherwood employees, and appointed or elected City Officials, have authority to enter the project site at all reasonable times for the purpose of inspecting project site conditions and gathering information related specifically to the project site.

Note: See City of Sherwood current Fee Schedule, which includes the "Publication/Distribution of Notice" fee, at www.sherwoodoregon.gov. Click on Government/Finance/Fee Schedule.

Owner/Applicant Information:

Applicant: Melynda Retallack Phone: 503-701-5277
 Applicant Address: 2808 NE MLK JR BLVD> STE G Portland OR 97212 Email: mel@inkbuiltesign.com
 Owner: BRIAN BUTTERFIELD Phone: 503 395 1943
 Owner Address: 19950 MOHAVE CT. TUALATIN 97062 Email: BRIAN@GREENRIDGE SOLAR.COM
 Contact for Additional Information: Melynda Retallack

Property Information:

Street Location: 20737 SW Olds Place Sherwood OR 97140
 Tax Lot and Map No: 2S129A001900
 Existing Structures/Use: Vacant Land
 Existing Plan/Zone Designation: L1
 Size of Property(ies) 40,069 SF (0.92 ACRES)

Proposed Action:

Purpose and Description of Proposed Action:

This development proposal includes new site improvements - parking area, on site circulation, landscaping and a new building to house Greenridge Solar's new headquarters. The new building will include warehouse space and offices for Greenridge Solar and also offices for their tenant, Butterfield Testing Labs.

Proposed Use: Solar company headquarters

Proposed No. of Phases (one year each): 1

LAND USE APPLICATION FORM


Authorizing Signatures:

I am the owner/authorized agent of the owner empowered to submit this application and affirm that the information submitted with this application is correct to the best of my knowledge.

I further acknowledge that I have read the applicable standards for review of the land use action I am requesting and understand that I must demonstrate to the City review authorities compliance with these standards prior to approval of my request.


Applicant's Signature

7/29/2021
Date


Owner's Signature

7/21/2021
Date

The following materials must be submitted with your application or it will not be accepted at the counter. Once taken at the counter, the City has up to 30 days to review the materials submitted to determine if we have everything we need to complete the review. Applicant can verify submittal includes specific materials necessary for the application per checklist.

3 Copies of Application Form* completely filled out and signed by the property owner (or person with authority to make decisions on the property).

Copy of Deed to verify ownership, easements, etc.

At least 3 folded sets of plans*

At least 3 copies of narrative addressing application criteria*

Fee (along with calculations utilized to determine fee if applicable)

Neighborhood Meeting Verification including affidavit, sign-in sheet and meeting summary
(required for Type III, IV and V projects)

N/A


* **Note** that the required numbers of copies identified on the checklist are required for completeness; however, upon initial submittal applicants are encouraged to submit only 3 copies for completeness review. Prior to completeness, the required number of copies identified on the checklist and one full electronic copy will be required to be submitted.

LAND USE APPLICATION FORM

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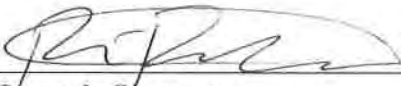
I further acknowledge that I have read the applicable standards for review of the land use action I am requesting and understand that I must demonstrate to the City review authorities compliance with these standards prior to approval of my request.



 Applicant's Signature

7/29/2021

Date



 Owner's Signature

7/21/2021

Date

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At least 3 copies of narrative addressing application criteria*

Fee (along with calculations utilized to determine fee if applicable)

N/A **Neighborhood Meeting Verification** including affidavit, sign-in sheet and meeting summary (required for Type III, IV and V projects)

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GREEN RIDGE SOLAR HQ // SHERWOOD, OR

SITE PLAN REVIEW TYPE II NARRATIVE LU 2021-018

DATE // 07.26.2021

REVISED FOR COMPLETENESS// 09.13/2021

PROJECT NAME //	GREEN RIDGE SOLAR HEADQUARTERS
PROJECT ADDRESS //	20737 SW OLDS PLACE, SHERWOOD, OR 97140
ASSESSOR MAP-TAX LOT //	2S129A001900
PARCEL # //	R2151074
OWNER //	GREEN RIDGE SOLAR
ARCHITECT //	INK BUILT ARCHITECTURE
STRUCTURAL ENGINEER //	TM RIPPEY STRUCTURAL ENGINEERS (FOUNDATION/OFFICES) & PRE-FAB BLDG. MFR. (EXTERIOR/MAIN BUILDING SHELL)
CIVIL ENGINEER //	SUMMIT ENGINEERING
ZONING //	LI - LIGHT INDUSTRIAL
ABUTTING ZONING //	ALL SIDES: LI - LIGHT INDUSTRIAL
CURRENT USE //	VACANT LAND
PROPERTY SIZE //	40,069 SF (0.92 ACRES)
PROPOSED DEVELOPMENT DETAILS //	
PROPOSED DEVELOPMENT AREA //	40,069 SF
STORIES	1 STORY WAREHOUSE WITH 2 STORY OFFICES
CONSTRUCTION TYPE	III B
BUILDING AREA //	17,365 SF
VEHICLE PARKING SPACES //	40
PRE-APPLICATION CONFERENCE //	#PAC 19-14

DESCRIPTION OF EXISTING SITE //

The existing site is within the Sherwood Commercial Center subdivision, created in 2006. The lots were developed along a cul de sac located off the Tualatin-Sherwood Road and include stub outs for all utilities on site. The lot is relatively flat and Arrow and Olds Place roads and sidewalks have been developed to the City of Sherwood requirements.

PROPOSED PROJECT DESCRIPTION //

This development proposal includes new site improvements - parking, on site circulation, landscaping and a new building to house Greenridge Solar's new headquarters. The new building will include warehouse space and offices for Greenridge Solar and also offices for their tenant, Butterfield Testing Labs.

APPROVAL CRITERIA // SITE PLAN TYPE II REVIEW

Division II Land Use and Development

Chapter 16.31 Industrial Land Use Districts

16.31.020 Uses (Industrial Land Use Districts):

Green Ridge Solar Headquarters - Solar panel sales and installation, with offices and warehouse space.

Use: Distribution, warehousing and storage associated with a permitted use operating on the same site

Use: Building, heating, plumbing or electrical contractors and suppliers, building maintenance services, and similar uses *

*These businesses are involved in the servicing and supplying of materials and equipment primarily intended for industrial, institutional, or commercial businesses. On-site sales are limited as most activity occurs electronically or off-site. Businesses may or may not be open to the general public, but sales to the general public are limited as a result of the way in which the firm operates. Products are generally delivered to the customer. Few customers, especially the general public, come to the site.

Butterfield Testing Labs - Provides drug and alcohol testing for businesses, with administrative offices and testing lab space.

Use: Laboratories (not medical or dental)

The proposed development will contain uses allowed per the land use district.

16.31.030 Minimum Development Standards:

	ZONING REQ.	PROPOSED
Lot Area	10,000 SF	40,069 SF
Lot Area-Commercial Uses	10,000 SF	40,069 SF
Lot Width at Front Prop. Line	100 feet	167' - 8" 239' - 1"
Lot Width at Bldg Line	100 feet	167' - 8" 238' - 10"
Front Yard Setback	20 feet	20' +
Side/Rear Yard Setback	None	5'
Corner Lot Yard Setback	20 feet	20'+
Height	50 feet	35' - 11"

The proposed development meets all the minimum development standards as listed above.

Chapter 16.58 - VISION CLEARANCE AND FENCE STANDARDS

16.58.010 - Clear Vision Areas

- A. A clear vision area shall be maintained on the corners of all property at the intersection of two (2) streets, intersection of a street with a railroad, or intersection of a street with an alley or private driveway.
- B. A clear vision area shall consist of a triangular area, two (2) sides of which are lot lines measured from the corner intersection of the street lot lines for a distance specified in this regulation; or, where the lot lines have rounded corners, the lot lines extended in a straight line to a point of intersection, and so measured, and the third side of which is a line across the corner of the lot joining the non-intersecting ends of the other two (2) sides.
- C. A clear vision area shall contain no planting, sight obscuring fence, wall, structure, or temporary or permanent obstruction exceeding two and one-half (2½) feet in height, measured from the top of the curb, or where no curb exists, from the established street center line grade, except that trees exceeding this height may be located in this area, provided all branches and foliage are removed to the height of seven (7) feet above the ground on the sidewalk side and ten (10) feet on the street side. The following requirements shall govern clear vision areas:
 1. In all zones, the minimum distance shall be twenty (20) feet.
 2. In all zones, the minimum distance from corner curb to any driveway shall be twenty-five (25) feet.
 3. Where no setbacks are required, buildings may be constructed within the clear vision area.

The proposed development includes a clear vision area at the corner of SW Arrow and SW Olds Place. There are no fences or walls and all plantings are less than 30" in height. See site plan.

16.58.020 - Fences, Walls and Hedges

- D. Location—Non-Residential Zone:
 1. Fences up to eight (8) feet high are allowed along front, rear and side property lines, subject to Section 16.58.010. (Clear Vision Areas) and building department requirements.
 2. A sound wall is permitted when required as a part of a development review or concurrent with a road improvement project. A sound wall may not be taller than twenty (20) feet.
 3. Hedges up to twelve (12) feet tall are allowed.

The proposed development does not include any fencing on the site.

Chapter 16.60 Yard Requirements

16.60.020 Corner Lots

On a corner lot, or a reversed corner lot of a block oblong in shape, the short street side may be used as the front of the lot provided:

- A. The front yard setback shall not be less than twenty-five (25) feet; except where otherwise allowed by the applicable zoning district and subject to vision clearance requirements.
- B. The side yard requirements on the long street side shall conform to the front yard requirement of the zone in which the building is located.

The proposed development includes 20' front yard setbacks on both street frontages.

16.60.030 Yards

- A. Except for landscaping, every part of a required yard (also referred to as minimum setback) shall be open and unobstructed from its lowest point to the sky, except that architectural features such as awnings, fire escapes, open stairways, chimneys, or accessory structures permitted in accordance with Chapter 16.50 (Accessory Structures) may be permitted when so placed as not to obstruct light and ventilation.
- B. Where a side or rear yard is not required, and a primary structure is not erected directly on the property line, a primary structure must be set back at least three (3) feet.

The proposed development setbacks are unobstructed with architectural features.

Division V Community Design
Chapter 16.90 - Site Planning

16.90.020 - Site Plan Review

D. Required Findings

No site plan approval will be granted unless each of the following is found:

1. The proposed development meets applicable zoning district standards and design standards in Division II, and all provisions of Divisions V, VI, VIII and IX.
2. The proposed development can be adequately served by services conforming to the Community Development Plan, including but not limited to water, sanitary facilities, storm water, solid waste, parks and open space, public safety, electric power, and communications.
3. Covenants, agreements, and other specific documents are adequate, in the City's determination, to assure an acceptable method of ownership, management, and maintenance of structures, landscaping, and other on-site features.
4. The proposed development preserves significant natural features to the maximum extent feasible, including but not limited to natural drainage ways, wetlands, trees, vegetation (including but not limited to environmentally sensitive lands), scenic views, and topographical features, and conforms to the applicable provisions of Division VIII of this Code and Chapter 5 of the Community Development Code.

The proposed development is located on an industrial subdivision and there are no significant natural features to preserve.

5. For developments that are likely to generate more than 400 average daily trips (ADTs), or at the discretion of the City Engineer, the applicant must provide adequate information, such as a traffic impact analysis (TIA) or traffic counts, to demonstrate the level of impact to the surrounding transportation system. The developer is required to mitigate for impacts attributable to the project, pursuant to TIA requirements in [Section 16.106.080](#) and rough proportionality requirements in [Section 16.106.090](#). The determination of impact or effect and the scope of the impact study must be coordinated with the provider of the affected transportation facility.

The proposed development will not generate more than 400 average daily trips, see attached traffic analysis and trip generation report.

7. Industrial developments provide employment opportunities for citizens of Sherwood and the region as a whole. The proposed industrial development is designed to enhance areas visible from arterial and collector streets by reducing the "bulk" appearance of large buildings. Industrial design standards include the following:

- a. Portions of the proposed industrial development within 200 feet of an arterial or collector street and visible to the arterial or collector (i.e. not behind another building) must meet any four of the following six design criteria:
 - (1) A minimum 15% window glazing for all frontages facing an arterial or collector.
 - (2) A minimum of two building materials used to break up vertical facade street facing frontages (no T-111 or aluminum siding).
 - (3) Maximum thirty-five (35) foot setback for all parts of the building from the property line separating the site from all arterial or collector streets (required visual corridor falls within this maximum setback area).
 - (4) Parking is located to the side or rear of the building when viewed from the arterial or collector.
 - (5) Loading areas are located to the side or rear of the building when viewed from the arterial or collector. If a loading area is visible from an arterial or collector, it must be screened with vegetation or a screen made of materials matching the building materials.
 - (6) All roof-mounted equipment is screened with materials complimentary to the building design materials.

The proposed development meets the following four criteria of the six:

- (1) The building has 20% glazing on SW Arrow (collector street) which exceeds the minimum of 15% on SW Arrow.***
- (2) The exterior materials are a combination of two different metal panel textures and shiplap vertical stained cedar, see the elevations attached.***
- (3) This criteria is not met.***
- (4) This criteria is not met.***
- (5) The loading space is located to the side/rear of the proposed building as viewed from SW Arrow (collector street).***
- (6) Equipment is not located on the roof. The proposed roof is a sloping gable/shed design and all equipment will be inside the building or shielded on the ground.***

- b. As an alternative to Section 16.90.020.D.7.a, an applicant may opt to have a design review hearing before the Planning Commission to demonstrate how the proposed development meets or exceeds the applicable industrial design objectives below (this design review hearing will be processed as a Type IV review):
 - i. Provide high-value industrial projects that result in benefits to the community, consumers and developers.

The proposed development is a high value industrial project for a solar design and installation company, Green Ridge Solar. This building will be their headquarters building and will house all their engineering,

design and office support staff as well as their construction and installation staff and equipment. It will include a tenant space as well for another allowed use - a testing lab. These companies will bring local job opportunities in a fast growing industry to the community of Sherwood.

- ii. Provide diversified and innovative working environments that take into consideration community needs and activity patterns.

Green Ridge Solar will bring the solar industry to the city and incorporates creative design and engineering and installation and equipment under the same roof to add diversity to the Sherwood community.

- iii. Support the City's goals of economic development.

Bringing Green Ridge Solar to this location improves economic development in Sherwood.

- iv. Complement and enhance projects previously developed under the industrial design standards identified in Section 16.90.020.D.7.

The development proposed will complement and enhance the industrial design standards for the Olds Place subdivision, with its modern design and creative use of materials that will fit in with the adjacent developments and incorporates durable and attractive materials that are timeless and will last for decades.

- v. Enhance the appearance of industrial developments visible from arterials and collectors, particularly those considered "entrances" to Sherwood, including but not limited to: Highway 99W, Tualatin-Sherwood Road and Oregon Street.

This development location is not located along 99W or Tualatin-Sherwood Road, so this criteria does not apply.

- vi. Reduce the "bulk" appearance of large industrial buildings as viewed from the public street by applying exterior features such as architectural articulation, windows and landscaping.

The proposed development is only two stories in height and incorporates many architectural features that reduce any sense of bulk from the street and create an inviting and attractive building for the pedestrian experience. The design incorporates a metal panel finish with natural wood accents and metal door and window systems. The entries for each tenant are accentuated with steel awnings and natural wood details. The metal facade at the main tenant entry breaks away to emphasize the entry path and is oriented to SW Olds Place.

- vii. Protect natural resources and encourage integration of natural resources into site design (including access to natural resources and open space amenities by the employees of the site and the community as a whole).

There are no natural resources on or adjacent to this site.

Per the response to 16.90.020(D)(7)(b) above, this proposed development is pursuing a Type II process.

- 8. Driveways that are more than twenty-four (24) feet in width shall align with existing streets or planned streets as shown in the Local Street Connectivity Map in the adopted Transportation

System Plan (Figure 17), except where prevented by topography, rail lines, freeways, pre-existing development, or leases, easements, or covenants.

The proposed driveways to the parking areas are 26' wide to meet zoning requirements and the loading space has a 40' driveway. There are no planned streets to align adjacent to this site.

Chapter 16.92 Landscaping

16.92.020 Landscaping Materials

A. Type of Landscaping

Required landscaped areas shall include an appropriate combination of native evergreen or deciduous trees and shrubs, evergreen ground cover, and perennial plantings. Trees to be planted in or adjacent to public rights-of-way shall meet the requirements of this Chapter. Plants may be selected from the City's "Suggested Plant Lists for Required Landscaping Manual" or suitable for the Pacific Northwest climate and verified by a landscape architect or certified landscape professional.

1. Ground Cover Plants

- a. All of the landscape that is not planted with trees and shrubs must be planted in ground cover plants, which may include grasses. Mulch is not a substitute for ground cover, but is allowed in addition to the ground cover plants.
- b. Ground cover plants other than grasses must be at least the four-inch pot size and spaced at distances appropriate for the plant species. Ground cover plants must be planted at a density that will cover the entire area within three (3) years from the time of planting.

2. Shrubs

- a. All shrubs must be of sufficient size and number to be at full growth within three (3) years of planting.
- b. Shrubs must be at least the one-gallon container size at the time of planting.

3. Trees

- a. Trees at the time of planting must be fully branched and must be a minimum of two (2) caliper inches and at least six (6) feet in height.
- b. Existing trees may be used to meet the standards of this chapter, as described in Section 16.92.020.C.2.

The landscape plan meets this criteria, see attached plans. All plants are selected from the City of Portland Tree and Landscaping Manual.

https://www.portland.gov/sites/default/files/2020/lu_landscp_manual_030917_0.pdf

B. Plant Material Selection and Preparation

1. Required landscaping materials shall be established and maintained in a healthy condition and of a size sufficient to meet the intent of the approved landscaping plan. Specifications shall be submitted showing that adequate preparation of the topsoil and subsoil will be undertaken.

2. Landscape materials should be selected and sited to produce a hardy and drought-resistant landscape area. Selection of the plants should include consideration of soil type, and depth, the amount of maintenance required, spacing, exposure to sun and wind, the slope and contours of the site, and compatibility with existing native vegetation preserved on the site.

All of the plants selected are native and/or drought tolerant species. We have included typical details for soil amendments and planting details for trees and shrubs, see attached plans.

C. Existing Vegetation

1. All developments subject to site plan review per Section 16.90.020 and required to submit landscaping plans per this section shall preserve existing trees, woodlands and vegetation on the site to the maximum extent possible, as determined by the Review Authority, in addition to complying with the provisions of Section 16.142.(Parks, Trees and Open Space) and Chapter 16.144 (Wetland, Habitat, and Natural Resources).
2. Existing vegetation, except those plants on the Nuisance Plants list as identified in the "Suggested Plant Lists for Required Landscaping Manual" may be used to meet the landscape standards, if protected and maintained during the construction phase of the development.
 - a. If existing trees are used, each tree six (6) inches or less in diameter counts as one (1) medium tree.
 - b. Each tree that is more than six (6) inches and up to nine (9) inches in diameter counts as two (2) medium trees.
 - c. Each additional three (3) inch diameter increment above nine (9) inches counts as an additional medium tree.

The existing lot has been overgrown with grasses and a couple of shrubs etc. that ended up being left or growing on site after the initial subdivision work. There are no existing trees. No existing vegetation will be retained.

D. Non-Vegetative Features

1. Landscaped areas as required by this Chapter may include architectural features interspersed with planted areas, such as sculptures, benches, masonry or stone walls, fences, rock groupings, bark dust, semi-pervious decorative paving, and graveled areas.
2. Impervious paving shall not be counted toward the minimum landscaping requirements unless adjacent to at least one (1) landscape strip and serves as a pedestrian pathway.
3. Artificial plants are prohibited in any required landscaped area.

This proposal does not include any architectural features or artificial plants. Paving has not been counted toward landscape area requirements.

16.92.030 - Site Area Landscaping and Perimeter Screening Standards

A. Perimeter Screening and Buffering

1. Perimeter Screening Separating Residential Zones:

A minimum six-foot high sight-obscuring wooden fence, decorative masonry wall, or evergreen screen, shall be required along property lines separating single and two-family uses from multi-family uses, and along property lines separating residential zones from commercial, institutional/public or industrial zones subject to the provisions of [Chapter 16.48.020](#) (Fences, Walls and Hedges).

This criteria does not apply to this site as it does not abut a residential zone.

2. Perimeter Landscaping Buffer.

- a. A minimum ten (10) foot wide landscaped strip comprised of trees, shrubs and ground cover shall be provided between off-street parking, loading, or vehicular use areas on separate, abutting, or adjacent properties.

The access drives to a rear lots in the residential zone (i.e. flag lot) shall be separated from abutting property(ies) by a minimum of forty-two-inch sight-obscuring fence or a forty-two-inch to an eight (8) feet high landscape hedge within a four-foot wide landscape buffer. Alternatively, where existing mature trees and vegetation are suitable, Review Authority may waive the fence/buffer in order to preserve the mature vegetation.

3. Perimeter Landscape Buffer Reduction

If the separate, abutting property to the proposed development contains an existing perimeter landscape buffer of at least five (5) feet in width, the applicant may reduce the proposed site's required perimeter landscaping up to five (5) feet maximum, if the development is not adjacent to a residential zone. For example, if the separate abutting perimeter landscaping is five (5) feet, then applicant may reduce the perimeter landscaping to five (5) feet in width on their site so there is at least five (5) feet of landscaping on each lot.

There is a 5' landscape buffer along the West and North property lines. See the site plan.

B. Parking Area Landscaping

1. Purpose

The standard is a landscape treatment that uses a combination of trees, shrubs, and ground cover to provide shade, storm water management, aesthetic benefits, and screening to soften the impacts of large expanses of pavement and vehicle movement. It is applied to landscaped areas within and around the parking lot and loading areas.

2. Definitions

- a. Parking Area Landscaping: Any landscaped area on the site that is not required as perimeter landscaping [§ 16.92.030](#) (Site Landscaping and Screening).

b. Canopy Factor

- (1) Landscape trees are assigned a canopy factor to determine the specific number of required trees to be planted. The canopy factor is calculated based on the following formula:

$$\text{Canopy Factor} = \text{Mature Height (in feet)} \times \text{Canopy Spread (in feet)} \times \text{Growth Rate Factor} \times .01$$

- (2) Growth Rate Factor: The growth rate factor is three (3) for fast-growing trees, two (2) for medium growing trees, and one (1) for slow growing trees. The growth rate of a tree is identified in the "Suggested Plant Lists for Required Landscaping Manual."
3. Required Landscaping
- There shall be at least forty-five (45) square feet parking area landscaping for each parking space located on the site. The amount of required plant materials are based on the number of spaces as identified below.

Parking landscaping has been provided as follows:

1,800 SF REQ'D (40 PARKING SPACES * 45 SF PER SPACE) = 2,816 SF PROVIDED.

4. Amount and Type of Required Parking Area Landscaping
- a. Number of Trees required based on Canopy Factor
- Small trees have a canopy factor of less than forty (40), medium trees have a canopy factor from forty (40) to ninety (90), and large trees have a canopy factor greater than ninety (90);
- (1) Any combination of the following is required:
- i. One (1) large tree is required per four (4) parking spaces;
 - ii. One (1) medium tree is required per three (3) parking spaces; or
 - iii. One (1) small tree is required per two (2) parking spaces.
 - iv. At least five (5) percent of the required trees must be evergreen.
- (2) Street trees may be included in the calculation for the number of required trees in the parking area.
- b. Shrubs:
- (1) Two (2) shrubs are required per each space.
 - (2) For spaces where the front two (2) feet of parking spaces have been landscaped instead of paved, the standard requires one (1) shrub per space. Shrubs may be evergreen or deciduous.
- c. Ground cover plants:
- (1) Any remainder in the parking area must be planted with ground cover plants.
 - (2) The plants selected must be spaced to cover the area within three (3) years. Mulch does not count as ground cover.

Tree combinations:

10 small trees @ 1 per 2 parking spaces = 20 parking spaces
4 medium trees @ 1 per 3 parking spaces = 12 parking spaces
2 large trees @ 1 per 4 parking spaces = 8 parking spaces
20 + 12 + 8 = 40 = 40 provided parking spaces

2 shrubs req'd per parking space = 80 shrubs req'd
82 shrubs provided

> 5% of required trees must be evergreen
1 of 15 trees provided are evergreen
Ground cover over all remaining landscape areas.

See Landscape plans for locations. All plants are selected from the City of Portland Tree and Landscaping Manual. https://www.portland.gov/sites/default/files/2020/lu_landscp_manual_030917_0.pdf

5. Individual Landscape Islands Requirements

- a. Individual landscaped areas (islands) shall be at least ninety (90) square feet in area and a minimum width of five (5) feet and shall be curbed to protect the landscaping.
- b. Each landscape island shall be planted with at least one (1) tree.
- c. Landscape islands shall be evenly spaced throughout the parking area.
- d. Landscape islands shall be distributed according to the following:
 - (1) Residential uses in a residential zone: one (1) island for every eight (8) contiguous parking spaces.
 - (2) Multi or mixed-uses, institutional and commercial uses: one (1) island for every ten (10) contiguous parking spaces.
 - (3) Industrial uses: one (1) island for every twelve (12) contiguous parking spaces.

Required landscape islands are a minimum of 90 SF and include at least one tree. See landscape plan.

- e. Storm water bio-swales may be used in lieu of the parking landscape areas and may be included in the calculation of the required landscaping amount.

f. Exception to Landscape Requirement

Linear raised or marked sidewalks and walkways within the parking areas connecting the parking spaces to the on-site buildings may be included in the calculation of required site landscaping provide that it:

- (1) Trees are spaced a maximum of thirty (30) feet on at least one (1) side of the sidewalk.
- (2) The minimum unobstructed sidewalk width is at least six (6) feet wide
- (3) The sidewalk is separated from the parking areas by curbs, bollards, or other means on both sides.

This proposal does not include storm water bioswales or walkways in the parking lot.

6. Landscaping at Points of Access

When a private access-way intersects a public right-of-way or when a property abuts the intersection of two (2) or more public rights-of-way, landscaping shall be planted and maintained so that minimum sight distances shall be preserved pursuant to [Section 16.58.010](#).

7. Exceptions

- a. For properties with an environmentally sensitive area and/or trees or woodlands that merit protection per Chapters [16.142](#) (Parks, Trees and Open Space) and [16.144](#) (Wetland, Habitat and Natural Areas) the landscaping standards may be reduced, modified or "shifted" on-site where necessary in order to retain existing vegetation that would otherwise be removed to meet the above referenced landscaping requirements.
- b. The maximum reduction in required landscaping buffer permitted through this exception process shall be no more than fifty (50) percent. The resulting landscaping buffer after reduction may not be less than five (5) feet in width unless otherwise permitted by the underlying zone. Exceptions to the required landscaping may only be

permitted when reviewed as part of a land use action application and do not require a separate variance permit.

This proposal complies with sight distance requirements, see plans.

C. Screening of Mechanical Equipment, Outdoor Storage, Service and Delivery Areas

All mechanical equipment, outdoor storage and manufacturing, and service and delivery areas, shall be screened from view from all public streets and any adjacent residential zones. If unfeasible to fully screen due to policies and standards, the applicant shall make efforts to minimize the visual impact of the mechanical equipment.

This proposal does not include any outdoor storage. Any outdoor condensing units for HVAC will be located behind the building and screened from view of the public streets.

D. Visual Corridors

Except as allowed by subsection 6. above, new developments shall be required to establish landscaped visual corridors along Highway 99W and other arterial and collector streets, consistent with the Natural Resources and Recreation Plan Map, Appendix C of the Community Development Plan, Part II, and the provisions of [Chapter 16.142](#) (Parks, Trees, and Open Space). Properties within the Old Town Overlay are exempt from this standard.

This criteria does not apply as this site is not located along Hwy 99.

16.92.040 - Installation and Maintenance Standards

A. Installation

All required landscaping must be in-ground, except when in raised planters that are used to meet minimum Clean Water Services storm water management requirements. Plant materials must be installed to current nursery industry standards. Plant materials must be properly supported to ensure survival. Support devices such as guy wires or stakes must not interfere with vehicular or pedestrian movement.

B. Maintenance and Mitigation of Landscaped Areas

1. Maintenance of existing non-invasive native vegetation is encouraged within a development and required for portions of the property not being developed.
2. All landscaping shall be maintained in a manner consistent with the intent of the approved landscaping plan.
3. Any required landscaping trees removed must be replanted consistent with the approved landscaping plan and comply with [§ 16.142](#), (Parks, Trees and Open Space).

C. Irrigation

The intent of this standard is to ensure that plants will survive the critical establishment period when they are most vulnerable due to lack of watering. All landscaped areas must provide an irrigation system, as stated in Option 1, 2, or 3.

1. Option 1: A permanent built-in irrigation system with an automatic controller installed.
2. Option 2: An irrigation system designed and certified by a licensed landscape architect or other qualified professional as part of the landscape plan, which provides sufficient water to

ensure that the plants become established. The system does not have to be permanent if the plants chosen can survive independently once established.

3. Option 3: Irrigation by hand. If the applicant chooses this option, an inspection will be required one (1) year after final inspection to ensure that the landscaping has become established.

D. Deferral of Improvements

Landscaping shall be installed prior to issuance of occupancy permits, unless security equal to one hundred twenty-five (125) percent of the cost of the landscaping is filed with the City. "Security" may consist of a performance bond payable to the City, cash, certified check, or other assurance of completion approved by the City. If the installation of the landscaping is not completed within one (1) year, the security may be used by the City to complete the installation.

This proposal includes requirement to adhere to the above installation and irrigation requirement, see plans.

Chapter 16.94 Off-Street Parking and Loading

16.94.010 - General Requirements

A. Off-Street Parking Required

No site shall be used for the parking of vehicles until plans are approved providing for off-street parking and loading space as required by this Code. Any change in uses or structures that reduces the current off-street parking and loading spaces provided on site, or that increases the need for off-street parking or loading requirements shall be unlawful and a violation of this Code, unless additional off-street parking or loading areas are provided in accordance with [Section 16.94.020](#), or unless a variance from the minimum or maximum parking standards is approved in accordance with [Chapter 16.84](#) Variances.

B. Deferral of Improvements

Off-street parking and loading spaces shall be completed prior to the issuance of occupancy permits, unless the City determines that weather conditions, lack of available surfacing materials, or other circumstances beyond the control of the applicant make completion impossible. In such circumstances, security equal to one hundred twenty five (125) percent of the cost of the parking and loading area is provided the City. "Security" may consist of a performance bond payable to the City, cash, certified check, or other assurance of completion approved by the City. If the installation of the parking or loading area is not completed within one (1) year, the security may be used by the City to complete the installation.

C. Options for Reducing the Required Parking Spaces

1. Two (2) or more uses or, structures on multiple parcels of land may utilize jointly the same parking and loading spaces when the peak hours of operation do not substantially overlap, provided that satisfactory evidence is presented to the City, in the form of deeds, leases, or contracts, clearly establishing the joint use.
 - a. Within commercial, institutional and public, or industrial zones, shared parking may be provided on lots that are within five hundred (500) feet of the property line of the use to be served.
 - b. Shared parking is allowed if the application can show that the combined peak use is available by a parking study that demonstrates:

- (1) There is a sufficient number of parking spaces to accommodate the requirements of the individual businesses; or
- (2) That the peak hours of operation of such establishments do not overlap, and
- (3) That an exclusive permanent easement over a delineated area has been granted for parking space use.

Off street parking is being provided for this development that meets the minimum requirements, see siteplan. No reduction in parking requirements is being requested.

2. Mixed use projects are developments where a variety of uses occupies a development project or complex. For example, an eating establishment, professional office building and movie theater are all components of a mixed use site. It does not include a secondary use within a primary use such as an administrative office associated with a retail establishment. In mixed-use projects, the required minimum vehicle parking shall be determined using the following formula:

This criteria does not apply to this site.

D. Prohibited Uses

Required parking, loading and maneuvering areas shall not be used for long-term storage or sale of vehicles or other materials, and shall not be rented, leased or assigned to any person or organization not using or occupying the building or use served.

Required parking and loading areas will be used for parking and loading.

E. Location

1. Residential off-street parking spaces:
 - a. Shall be located on the same lot or development as the residential use.
 - b. Shall not include garages or enclosed buildings with the exception of a parking structure in multifamily developments where three (3) or more spaces are not individually enclosed. (Example: Underground or multi-level parking structures).

This development is commercial use, this criteria does not apply.

2. For other uses, required off-street parking spaces may include adjacent on-street parking spaces, nearby public parking and shared parking located within five hundred (500) feet of the use. The distance from the parking, area to the use shall be measured from the nearest parking space to a building entrance, following a sidewalk or other pedestrian route. The right to use private off-site parking must be evidenced by a recorded deed, lease, easement, or similar written notarized letter or instrument.

Required parking is provided within the property lines.

3. Vehicle parking is allowed only on improved parking shoulders that meet City standards for public streets, within garages, carports and other structures, or on driveways or parking lots that have been developed in conformance with this code. Specific locations and types of

spaces (car pool, compact, etc.) for parking shall be indicated on submitted plans and located to the side or rear of buildings where feasible.

- a. All new development with forty (40) employees or more shall include preferential spaces for carpool/vanpool designation. Carpool and vanpool parking spaces shall be located closer to the main employee entrance than all other parking spaces with the exception of ADA parking spaces. Carpool/vanpool spaces shall be clearly marked as reserved for carpool/vanpool only.

Proposed building will have less than 40 employees. No carpool spaces are provided.

F. Marking

All parking, loading or maneuvering areas shall be clearly marked and painted. All interior drives and access aisles shall be clearly marked and signed to show the direction of flow and maintain vehicular and pedestrian safety.

Proposed parking area will be clearly marked and striped, see Civil plans.

G. Surface and Drainage

1. All parking and loading areas shall be improved with a permanent hard surface such as asphalt, concrete or a durable pervious surface. Use of pervious paving material is encouraged and preferred where appropriate considering soils, location, anticipated vehicle usage and other pertinent factors.
2. Parking and loading areas shall include storm water drainage facilities approved by the City Engineer or Building Official.

Proposed parking area will be asphalt and includes storm drainage, see Civil plans.

H. Parking and Loading Plan

An off-street parking and loading plan, drawn to scale, shall accompany requests for building permits or site plan approvals, except for single and two-family dwellings, and manufactured homes on residential lots. The plan shall show but not be limited to:

1. Delineation of individual parking and loading spaces and dimensions.
2. Circulation areas necessary to serve parking and loading spaces.
3. Location of accesses to streets, alleys and properties to be served, and any curb cuts.
4. Landscaping as required by [Chapter 16.92](#).
5. Grading and drainage facilities.
6. Signing and bumper guard specifications.
7. Bicycle parking facilities as specified in Section 16.94.020.C.
8. Parking lots more than one (1) acre in size shall provide street-like features including curbs, sidewalks, and street trees or planting strips.

Proposed parking and loading areas are defined on the attached plans.

16.94.020 - Off-Street Parking Standards

A. Generally

Use	Parking Req'd.	GSF	Provide Parking Spaces
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Industrial	1.6 / 1,000 sf gross	6,603 SF	11 spaces
Office	<u>2.7 / 1,000 sf gross</u>	10,761 SF	<u>29 spaces</u>
	40 Total Req'd.		40 Total Provided.

B. Dimensional and General Configuration Standards

1. Dimensions For the purpose of this Chapter, a "parking space" means a stall nine (9) feet in width and twenty (20) feet in length. Up to twenty five (25) percent of required parking spaces may have a minimum dimension of eight (8) feet in width and eighteen (18) feet in length so long as they are signed as compact car stalls.
2. Layout
Parking space configuration, stall and access aisle size shall be of sufficient width for all vehicle turning and maneuvering. Groups of more than four (4) parking spaces shall be served by a driveway so as to minimize backing movements or other maneuvering within a street, other than an alley. All parking areas shall meet the minimum standards shown in the following table and diagram.

Table 2:	Minimum Size	Provided
Minimum Parking Space Dimensions	9'x20'	9'x20'
25% can be compact	8'x18'	8'x18' (9 proposed)
Min. Drive Aisle	24' (26' if compact parking spaces)	26'

3. Wheel stops required - 4" H. X 3' long - 3' from end of parking stall
4. Service Drives - shall be clearly and permanently marked and defined through use of rails, fences, walls, or other barriers or markers, and shall have minimum vision clearance area formed by the intersection of the driveway center line, the street right-of-way line, and a straight line joining said lines through points fifteen (15) feet from their intersection.
5. Credit for On-Street Parking
 - a. On-Street Parking Credit. The amount of off-street parking required shall be reduced by one (1) off-street parking space for every on-street parking space adjacent to the development. On-street parking shall follow the established configuration of existing on-street parking, except that angled parking may be allowed for some streets, where permitted by City standards.
 - b. The following constitutes an on-street parking space:
 - (1) Parallel parking, each twenty-four (24) feet of uninterrupted curb;
 - (2) Forty-five (45)/sixty (60) degree diagonal, each with ten (10) feet of curb;
 - (3) Ninety (90) degree (perpendicular) parking, each with eight (8) feet of curb;
 - (4) Curb space must be connected to the lot which contains the use;
 - (5) Parking spaces that would not obstruct a required clear vision area, nor any other parking that violates any law or street standard; and;
 - (6) On-street parking spaces credited for a specific use may not be used exclusively by that use, but shall be available for general public use at all times. No signs or actions limiting general public use of on-street spaces is permitted.

Off street parking is being provided for this development that meets the minimum requirements, see site plan. Nine (22% of the 40 proposed parking spaces are compact. No reduction in parking requirements is



being requested. On street parking can accommodate 7 spaces on SW Arrow and 2 spaces on SW Olds in addition to the proposed off street parking.

6. Reduction in Required Parking Spaces

Developments utilizing Engineered storm water bio-swales or those adjacent to environmentally constrained or sensitive areas may reduce the amount of required parking spaces by ten (10) percent when twenty-five (25) through forty-nine (49) parking spaces are required, fifteen (15) percent when fifty (50) and seventy-four (74) parking spaces are required and twenty (20) percent when more than seventy-five (75) parking spaces are required, provided the area that would have been used for parking is maintained as a habitat area or is generally adjacent to an environmentally sensitive or constrained area.

7. Parking Location and Shared Parking

Owners of off-street parking facilities may post a sign indicating that all parking on the site is available only for residents, customers and/or employees, as applicable.

Off street parking is being provided for this development that meets the minimum requirements, see site plan. No reduction in parking requirements is being requested.

C. Bicycle Parking Facilities

1. General Provisions

- a. Applicability. Bicycle parking spaces shall be provided for new development, changes of use, and major renovations, defined as construction valued at twenty-five (25) percent or more of the assessed value of the existing structure.
- b. Types of Spaces. Bicycle parking facilities shall be provided in terms of short-term bicycle parking and long-term bicycle parking. Short-term bicycle parking is intended to encourage customers and other visitors to use bicycles by providing a convenient and readily accessible place to park bicycles. Long-term bicycle parking provides employees, students, residents, commuters, and others who generally stay at a site for at least several hours a weather-protected place to park bicycles.
- c. Minimum Number of Spaces. The required total minimum number of bicycle parking spaces for each use category is shown in Table 4, Minimum Required Bicycle Parking Spaces.
- d. Minimum Number of Long-term Spaces. If a development is required to provide eight (8) or more required bicycle parking spaces in Table 4, at least twenty-five (25) percent shall be provided as long-term bicycle with a minimum of one (1) long-term bicycle parking space.
- e. Multiple Uses. When there are two or more primary uses on a site, the required bicycle parking for the site is the sum of the required bicycle parking for the individual primary uses.

2. Location and Design.

a. General Provisions

- (1) Each space must be at least two (2) feet by six (6) feet in area, be accessible without moving another bicycle, and provide enough space between the rack and any obstructions to use the space properly.

- (2) There must be an aisle at least five (5) feet wide behind all required bicycle parking to allow room for bicycle maneuvering. Where the bicycle parking is adjacent to a sidewalk, the maneuvering area may extend into the right-of-way.
 - (3) Lighting. Bicycle parking shall be at least as well lit as vehicle parking for security.
 - (4) Reserved Areas. Areas set aside for bicycle parking shall be clearly marked and reserved for bicycle parking only.
 - (5) Bicycle parking in the Old Town Overlay District can be located on the sidewalk within the right-of-way. A standard inverted "U shaped" or staple design is appropriate. Alternative, creative designs are strongly encouraged.
 - (6) Hazards. Bicycle parking shall not impede or create a hazard to pedestrians. Parking areas shall be located so as to not conflict with vision clearance standards.
- b. Short-term Bicycle Parking
 - (1) Provide lockers or racks that meet the standards of this section.
 - (2) Locate inside or outside the building within thirty (30) feet of the main entrance to the building or at least as close as the nearest vehicle parking space, whichever is closer.
 - c. Long-term Bicycle Parking
 - (1) Provide racks, storage rooms, or lockers in areas that are secure or monitored (e.g., visible to employees or customers or monitored by security guards).
 - (2) Locate the outside bicycle parking spaces within one hundred (100) feet of the entrance that will be accessed by the intended users.
 - (3) All of the spaces shall be covered.
 - d. Covered Parking (Weather Protection)
 - (1) When required, covered bicycle parking shall be provided in one (1) of the following ways: inside buildings, under roof overhangs or awnings, in bicycle lockers, or within or under other structures.
 - (2) Where required covered bicycle parking is not within a building or locker, the cover must be permanent and designed to protect the bicycle from rainfall and provide seven-foot minimum overhead clearance.
 - (3) Where required bicycle parking is provided in lockers, the lockers shall be securely anchored.

Table 4: Minimum Required Bike Parking Spaces (Short Term)

Use	Bike Parking Req'd.	Auto Spaces	Req'd. Bike Parking
Industrial	1/40 auto spaces	11 spaces	1 space
Office	1/20 auto spaces	29 spaces	<u>2 spaces</u> 3 Required 4 Provided.

The proposed development includes bike parking for 4 bikes outside on bike staples, see plans.

16.94.030 - Off-Street Loading Standards



A. Minimum Standards

1. A driveway designed for continuous forward flow of passenger vehicles for the purpose of loading and unloading passengers shall be located on the site of any school, or other public meeting place, which is designed to accommodate more than twenty five (25) persons at one time.
2. The minimum loading area for non-residential uses shall not be less than ten (10) feet in width by twenty-five (25) feet in length and shall have an unobstructed height of fourteen (14) feet.
3. Multiple uses on the same parcel or adjacent parcels may utilize the same loading area if it is shown in the development application that the uses will not have substantially overlapping delivery times.
4. The following additional minimum loading space is required for buildings in excess of twenty thousand (20,000) square feet of gross floor area:
 - a. Twenty thousand (20,000) to fifty (50,000) sq. ft. - five hundred (500) sq. ft.
 - b. Fifty (50,000) sq. ft. or more - seven hundred fifty (750) sq. ft.

B. Separation of Areas

Any area to be used for the maneuvering of delivery vehicles and the unloading or loading of materials shall be separated from designated off-street parking areas and designed to prevent the encroachment of delivery vehicles onto off-street parking areas or public streets. Off-street parking areas used to fulfill the requirements of this Chapter shall not be used for loading and unloading operations.

The proposed development includes a 25' driveway access to the loading area located at the North side of the building. The loading area is 40'x74' with clear height above. The building area is less than 20,000 SF.

C. Exceptions and Adjustments.

The review authority, through Site Plan Review, may approve loading areas within a street right-of-way in the Old Town Overlay District when all of the following conditions are met:

1. Short in duration (i.e., less than one (1) hour);
2. Infrequent (less than three (3) operations occur daily between 5:00 a.m. and 12:00 a.m. or all operations occur between 12:00 a.m. and 5:00 a.m. at a location that is not adjacent to a residential zone);
3. Does not unreasonably obstruct traffic; [or] Does not obstruct traffic during peak traffic hours;
4. Does not obstruct a primary emergency response route; and
5. Is acceptable to the applicable roadway authority.

This criteria does not apply to this site.

Chapter 16.96 On-Site Circulation

16.96.010 - On-Site Pedestrian and Bicycle Circulation

A. Purpose

On-site facilities shall be provided that accommodate safe and convenient pedestrian access within new subdivisions, multi-family developments, planned unit developments, shopping centers and commercial districts, and connecting to adjacent residential areas and neighborhood activity centers within one-half mile of the development. Neighborhood activity centers include but are not limited to existing or planned schools, parks, shopping areas, transit stops or employment centers. All new

development, (except single-family detached housing), shall provide a continuous system of private pathways/sidewalks.

B. Maintenance

No building permit or other City permit shall be issued until plans for ingress, egress and circulation have been approved by the City. Any change increasing any ingress, egress or circulation requirements, shall be a violation of this Code unless additional facilities are provided in accordance with this Chapter.

The proposed development includes pedestrian connections via a paved 6' wide concrete walkway from all building entrances to the adjacent right of ways on Arrow and Olds Place.

C. Joint Access

Two (2) or more uses, structures, or parcels of land may utilize the same ingress and egress when the combined ingress and egress of all uses, structures, or parcels of land satisfied the other requirements of this Code, provided that satisfactory legal evidence is presented to the City in the form of deeds, easements, leases, or contracts to clearly establish the joint use.

This criteria does not apply to this site.

D. Connection to Streets

1. Except for joint access per this Section, all ingress and egress to a use or parcel shall connect directly to a public street, excepting alleyways with paved sidewalk.
2. Required private sidewalks shall extend from the ground floor entrances or the ground floor landing of stairs, ramps or elevators to the public sidewalk or curb of the public street which provides required ingress and egress.

The proposed development includes driveway access to the public streets and pedestrian connections via a paved concrete walkway from all building entrances to the adjacent right of ways on Arrow and Olds Place.

Chapter 16.98 On-Site Storage

16.98.010 - Recreational Vehicles and Equipment

Recreational vehicles and equipment may be stored only within designated and improved off-street parking areas. Such areas shall meet the screening and landscaping requirements of [Section 16.92.030](#).

This criteria does not apply to this site. There will be no on-site storage of recreational vehicles or equipment on site.

16.98.020 - Solid Waste and Recycling Storage

All uses shall provide solid waste and recycling storage receptacles which are adequately sized to accommodate all solid waste generated on site. All solid waste and recycling storage areas and receptacles shall be located out of public view. Solid waste and recycling receptacles for multi-family, commercial, industrial and institutional uses shall be screened by six (6) foot high sight-obscuring fence or masonry wall and shall be easily accessible to collection vehicles.

This proposal includes a 6' high CMU trash enclosure with metal gates that obscure the interior to hold recycling and trash receptacles for all tenants, see plans for details.

16.98.030 - Material Storage

- A. Generally. Except as otherwise provided herein, external material storage is prohibited, except in commercial and industrial zones where storage areas are approved by the Review Authority as part of a site plan or per [Section 16.98.040](#).
- B. Standards. Except as per [Section 16.98.040](#), all service, repair, storage, and merchandise display activities carried on in connection with any commercial or industrial activity, and not conducted within an enclosed building, shall be screened from the view of all adjacent properties and adjacent streets by a six (6) foot to eight (8) foot high, sight obscuring fence subject to [chapter 16.58.020](#). In addition, unless adjacent parcels to the side and rear of the storage area have existing solid evergreen screening or sight-obscuring fencing in place, new evergreen screening no less than three (3) feet in height shall be planted along side and rear property lines. Where other provisions of this Code require evergreen screening, fencing, or a landscaped berm along side and rear property lines, the additional screening stipulated by this Section shall not be required.
- C. Hazardous Materials. Storage of hazardous, corrosive, flammable, or explosive materials, if such storage is otherwise permitted by this Code, shall comply with all local fire codes, and Federal and State regulations.

The proposed development will not include outdoor storage of materials.

16.98.040 - Outdoor Sales and Merchandise Display

A. Sales Permitted

Outdoor sales and merchandise display activities, including sales and merchandise display that is located inside when the business is closed but otherwise located outside, shall be permitted when such activities are deemed by the Commission to be a customary and integral part of a permitted commercial or industrial use.

- 1. Permanent outdoor sales and merchandise display are in use year round or in excess of four (4) months per year and require the location to be reviewed through a site plan review. They will be reviewed as conditional uses in accordance with [Chapter 16.82](#). Permanent outdoor and merchandise display are subject to the standards outlined in subsection B, below.
- 2. Temporary outdoor sales and merchandise display are seasonal and are not displayed year round and must meet the requirements of [Chapter 16.86](#) (temporary uses). When the temporary use is not occurring the site shall return to its original state.
- 3. Food vendors including food carts, ice cream trucks, hotdog stands or similar uses are only permitted as a permanent outdoor sale use as described in A.1 above.

B. Standards

- 1. Outdoor sales and merchandise display areas shall be kept free of debris. Merchandise shall be stacked or arranged, or within a display structure. Display structures shall be secured and stable.
- 2. Outdoor sales and merchandise display shall not be located within required yard, building, or landscape setbacks, except where there is intervening right-of-way of a width equal to or greater than the required setback; and shall not interfere with on-site or off-site pedestrian or vehicular circulation.

3. Outdoor retail sales and merchandise display areas for vehicles, boats, manufactured homes, farm equipment, and other similar uses shall be improved with asphalt surfacing, crushed rock, or other dust-free materials.
4. Additional standards may apply to outdoor sales and merchandise display dependent on specific restrictions in the zone.

This criteria does not apply to this site. There will be no on site outdoor display or sales.

Division VI Transportation Facilities

Chapter 16.106 Transportation Facilities

16.106.010 - Generally

A. Creation

Public streets shall be created in accordance with provisions of this Chapter. Except as otherwise provided, all street improvements and rights-of-way shall conform to standards for the City's functional street classification, as shown on the Transportation System Plan (TSP) Map (Figure 17) and other applicable City standards. The following table depicts the guidelines for the street characteristics.

This site has existing public streets, this proposal is not changing the street configuration.

16.106.020 - Required Improvements

A. Generally

Except as otherwise provided, all developments containing or abutting an existing or proposed street, that is either unimproved or substandard in right-of-way width or improvement, shall dedicate the necessary right-of-way prior to the issuance of building permits and/or complete acceptable improvements prior to issuance of occupancy permits. Right-of-way requirements are based on functional classification of the street network as established in the Transportation System Plan, Figure 17.

This site has existing public streets, this proposal is not changing the street configuration and no additional dedications are required.

16.106.030 - Location

A. Generally

The location, width and grade of streets shall be considered in their relation to existing and planned streets, topographical conditions, and proposed land uses. The proposed street system shall provide adequate, convenient and safe traffic and pedestrian circulation, and intersection angles, grades, tangents, and curves shall be adequate for expected traffic volumes. Street alignments shall be consistent with solar access requirements as per Chapter 16.156, and topographical considerations.

This site has existing public streets, this proposal is not changing the street configuration.

B. Street Connectivity and Future Street Systems

This site has existing public streets and connectivity, this proposal is not changing the street configuration.

C. Underground Utilities

All public and private underground utilities, including sanitary sewers and storm water drains, shall be constructed prior to the surfacing of streets. Stubs for service connections shall be long enough to avoid disturbing the street improvements when service connections are made.

This site has existing public streets and utilities, and service connections have been brought to the site. This proposal will connect to the existing utilities.

D. Additional Setbacks

Generally additional setbacks apply when the width of a street right-of-way abutting a development is less than the standard width under the functional classifications in Section VI of the Community Development Plan. Additional setbacks are intended to provide unobstructed area for future street right-of-way dedication and improvements, in conformance with Section VI. Additional setbacks shall be measured at right angles from the centerline of the street.

Street Classifications:

Arrow St. = Collector

Olds Place = Local Road

This site has existing public streets with PUE's and this criteria does not apply.

16.106.040 - Design

16.106.060 - Sidewalks

16.106.070 - Bike Lanes

This site has existing public streets and this criteria does not apply.

16.106.080 - Traffic Impact Analysis (TIA)

Please see attached Traffic Impact Analysis.

Chapter 16.110 Sanitary Sewers

This proposal will tie into the existing, see Civil plans.

Chapter 16.112 Water Supply



This proposal will tie into the existing, see Civil plans.

Chapter 16.114 Stormwater

This proposal will tie into the existing, see Civil plans.

Chapter 16.116 Fire Protection

This proposal will include new fire sprinkler NFPA 13 system for the building, see Civil plans. SW Olds Place is a fire department aerial access road per 503.1. NFPA 13 sprinkler system is provided in lieu of the 150' max hose length from fire access road to all portions of the ground level exterior walls, per OFC 503.1 Exception 1.

Chapter 16.118 Public and Private Utilities

This proposal will tie into the existing, see Civil plans.

Division VIII Environmental Resources

Chapter 16.142 Parks, Trees and Open Space

16.142.040 - Visual Corridors

A. Corridors Required

New developments located outside of the Old Town Overlay with frontage on Highway 99W, or arterial or collector streets designated on Figure 8-1 of the Transportation System Plan shall be required to establish a landscaped visual corridor according to the following standards:

Arrow St. = Collector 10' wide visual corridor required.

This proposal includes a 10' visual corridor along Arrow Street, see the siteplan.

B. Landscape Materials

The required visual corridor areas shall be planted as specified by the review authority to provide a continuous visual and/or acoustical buffer between major streets and developed uses. Except as provided for above, fences and walls shall not be substituted for landscaping within the visual corridor. Uniformly planted, drought resistant street trees and ground cover, as specified in [Section 16.142.060](#), shall be planted in the corridor by the developer. The improvements shall be included in the compliance agreement. In no case shall trees be removed from the required visual corridor.

C. Establishment and Maintenance

Designated visual corridors shall be established as a portion of landscaping requirements pursuant to [Chapter 16.92](#). To assure continuous maintenance of the visual corridors, the review authority may require that the development rights to the corridor areas be dedicated to the City or that restrictive covenants be recorded prior to the issuance of a building permit.

D. Required Yard

Visual corridors may be established in required yards, except that where the required visual corridor width exceeds the required yard width, the visual corridor requirement shall take precedence. In no case shall buildings be sited within the required visual corridor, with the exception of front porches on townhomes, as permitted in [Section 16.44.010\(E\)\(4\)\(c\)](#).

16.142.060 - Street Trees

A. Installation of Street Trees on New or Redeveloped Property.

Trees are required to be planted to the following specifications along public streets abutting or within any new development or re-development. Planting of such trees shall be a condition of development approval. The City shall be subject to the same standards for any developments involving City-owned property, or when constructing or reconstructing City streets. After installing street trees, the property owner shall be responsible for maintaining the street trees on the owner's property or within the right-of-way adjacent to the owner's property.

1. Location: Trees shall be planted within the planter strip along a newly created or improved streets. In the event that a planter strip is not required or available, the trees shall be planted on private property within the front yard setback area or within public street right-of-way between front property lines and street curb lines or as required by the City.
2. Size: Trees shall have a minimum trunk diameter of two (2) caliper inches, which is measured six inches above the soil line, and a minimum height of six (6) feet when planted.
3. Types: Developments shall include a variety of street trees. The trees planted shall be chosen from those listed in [16.142.080](#) of this Code.
4. Required Street Trees and Spacing:
 - a. The minimum spacing is based on the maximum canopy spread identified in the recommended street tree list in [section 16.142.080](#) with the intent of providing a continuous canopy without openings between the trees. For example, if a tree has a canopy of forty (40) feet, the spacing between trees is forty (40) feet. If the tree is not on the list, the mature canopy width must be provided to the planning department by a certified arborist.
 - b. All new developments shall provide adequate tree planting along all public streets. The number and spacing of trees shall be determined based on the type of tree and the spacing standards described in a. above and considering driveways, street light locations and utility connections. Unless exempt per c. below, trees shall not be spaced more than forty (40) feet apart in any development.
 - c. A new development may exceed the forty-foot spacing requirement under section b. above, under the following circumstances:
 - (1) Installing the tree would interfere with existing utility lines and no substitute tree is appropriate for the site; or
 - (2) There is not adequate space in which to plant a street tree due to driveway or street light locations, vision clearance or utility connections, provided the driveways, street light or utilities could not be reasonably located elsewhere so as to accommodate adequate room for street trees; and
 - (3) The street trees are spaced as close as possible given the site limitations in (1) and (2) above.

- (4) The location of street trees in an ODOT or Washington County right-of-way may require approval, respectively, by ODOT or Washington County and are subject to the relevant state or county standards.
- (5) For arterial and collector streets, the City may require planted medians in lieu of paved twelve-foot wide center turning lanes, planted with trees to the specifications of this subsection.

16.142.070 - Trees on Property Subject to Certain Land Use Applications

16.142.080 - Trees on Private Property — not subject to a land use action

The existing property does not contain any existing trees, therefore these sections do not apply.

16.142.090 - Recommended Street Trees

The street trees selected for this project have been selected from the approved list, see landscape plan.

Chapter 16.146 Noise

16.146.010 - Generally

All otherwise permitted commercial, industrial, and institutional uses in the City shall comply with the noise standards contained in OAR 340-35-035. The City may require proof of compliance with OAR 340-35-035 in the form of copies of all applicable State permits or certification by a professional acoustical engineer that the proposed uses will not cause noise in excess of State standards.

The proposed use for this development is warehouse space for a solar installation company and office space for the solar company and a testing lab facility. The noise levels generated on site will not exceed the levels listed in Table 8 referenced by OAR 340-35-035.

Chapter 16.148 Vibrations

16.148.010 - Generally

All otherwise permitted commercial, industrial, and institutional uses shall not cause discernible vibrations that exceed a peak of 0.002 gravity at the property line of the originating use, except for vibrations that last five (5) minutes or less per day, based on a certification by a professional engineer.

16.148.020 - Exceptions

This Chapter does not apply to vibration caused by construction activities including vehicles accessing construction sites, or to vibrations caused by automobiles, trucks, trains, aircraft, and other similar vehicles when said vehicles are properly maintained and operated and are using properly designated rights-of-way, travelways, flight paths or other routes. Nothing in this Chapter shall preclude the City from abating any vibration problem as per applicable City nuisance and public safety ordinances.

The proposed use for this development is warehouse space for a solar installation company and office space for the solar company and a testing lab facility. There will be no discernable vibrations generated on site other than vehicles, which are listed in the exceptions.

Chapter 16.150 Air Quality

The proposed use for this development is warehouse space for a solar installation company and office space for the solar company and a testing lab facility. There will not be any major dust emissions or incinerators used on the property.

Chapter 16.152 Odors

The proposed use for this development is warehouse space for a solar installation company and office space for the solar company and a testing lab facility. There will not be any odors generated on the property that will exceed the boundaries of the site.

Chapter 16.154 Heat and Glare

16.154.010 - Generally

Except for exterior lighting, all otherwise permitted commercial, industrial, and institutional uses shall conduct any operations producing excessive heat or glare entirely within enclosed buildings. Exterior lighting shall be directed away from adjoining properties, and the use shall not cause such glare or lights to shine off site in excess of one-half (0.5) foot candle when adjoining properties are zoned for residential uses.

The proposed use for this development is warehouse space for a solar installation company and office space for the solar company and a testing lab facility. The proposed exterior lighting will remain on site and will not exceed .5 footcandles at the property lines.

Chapter 16.156 Energy Conservation

16.156.010 - Purpose

This Chapter and applicable portions of Chapter 5 of the Community Development Plan provide for natural heating and cooling opportunities in new development. The requirements of this Chapter shall not result in development exceeding allowable densities or lot coverage, or the destruction of existing trees.

16.156.020 - Standards

- A. Building Orientation - The maximum number of buildings feasible shall receive sunlight sufficient for using solar energy systems for space, water or industrial process heating or cooling. Buildings and vegetation shall be sited with respect to each other and the topography of the site so that unobstructed sunlight reaches the south wall of the greatest possible number of buildings between the hours of 9:00 AM and 3:00 PM, Pacific Standard Time on December 21st.
- B. Wind - The cooling effects of prevailing summer breezes and shading vegetation shall be accounted for in site design. The extent solar access to adjacent sites is not impaired vegetation shall be used to moderate prevailing winter wind on the site.

16.156.030 - Variance to Permit Solar Access

Variances from zoning district standards relating to height, setback and yard requirements approved as per [Chapter 16.84](#) may be granted by the Commission where necessary for the proper functioning of solar energy systems, or to otherwise preserve solar access on a site or to an adjacent site.

The proposed development is two stories in height and no variances are being proposed. The proposed development will only partially limit solar access to a rear, windowless wall of one of the two existing buildings on the adjacent lot.

ATTACHED //

1. (3) Copies Application Form - including one original wet-signed copy
2. Copy of Deed
3. Set of property addresses for property owners within 1000 feet.
4. CWS Service Provider Letter (TBD)
5. Traffic Analysis
6. (3) Sets of Plans
7. (3) copies of the Land Use Narrative
8. Fee
9. Signed Checklist
10. PDF electronic version of all submittal items

COMPLETENESS RESPONSE //

Planner Review Comments (dated August 25, 2021) Response:

1. SPL from TVFR is in process.
2. SPL from CWS is attached.
3. Narrative addressing SZCDC 16.90.020(D)(7)(b) had been added above.
4. Updated trip generation letter is attached.
5. See below for response to Engineering comments.

Engineering Review (dated August 25, 2021) Comments Response:

1. Grading and Erosion control plan has been added, see Civil plans.
2. Traffic generation analysis has been updated, see attached. The fire truck turning radius was mislabeled in the original submission. The arcs are 28' and 48' as required, the note has been updated, see attached revised LU0.50.
3. Storm Sewer - the civil plans have been updated and a stormwater report has been completed, see attached.
4. Water - A new FDC is being provided, see revised architectural and civil drawings.
5. Natural Resources - CWS service provider letter is attached.

BUILDING AREA SCHEDULE Exhibit A2

LEVEL	BUSINESS	NAME	AREA
1-GROUND	BUSINESS 1	COMMON AREA	314 SF
1-GROUND	BUSINESS 1	LAB	161 SF
1-GROUND	BUSINESS 1	OFFICE	2,176 SF
1-GROUND	BUSINESS 1	STORAGE	70 SF
1-GROUND	BUSINESS 1	STORAGE	56 SF
1-GROUND	BUSINESS 1	WAREHOUSE	6,612 SF
BUSINESS 1			9,389 SF
1-GROUND	BUSINESS 2	LAB	246 SF
1-GROUND	BUSINESS 2	LAB	706 SF
1-GROUND	BUSINESS 2	OFFICE	1,623 SF
BUSINESS 2			2,575 SF
1-GROUND			11,964 SF
2-SECOND	BUSINESS 1	OFFICE	2,598 SF
BUSINESS 1			2,598 SF
2-SECOND	BUSINESS 2	OFFICE	2,614 SF
BUSINESS 2			2,614 SF
2-SECOND			5,212 SF
GRAND TOTAL			17,177 SF



2808 NE MLK STE G
PORTLAND, OR 97212
503.454.6793
inkbuiltarchitecture.com

PRELIMINARY
NOT FOR
CONSTRUCTION

GREEN RIDGE SOLAR HEADQUARTERS
20737 SW OLDS PLACE | SHERWOOD | OR 97140

ABBREVIATIONS

---	NONE
±	APPROXIMATELY
Ø	DIAMETER
AF	ABOVE FINISH FLOOR
AHJ	AUTHORITY HAVING JURISDICTION
ARCH	ARCHITECTURAL DRAWINGS
BCH	BOTTOM OF
CJ	CONTROL JOINT
CL	CENTERLINE
CLG	CEILING
CLR	CLEAR
CONC	CONCRETE
CONT	CONTINUOUS
CODE	APPLICABLE REGULATIONS GOVERNING CONTRACT SCOPE OF WORK *SEE CODE SUMMARY SHEET
DFL	DOUGLAS FIR / LARCH
DL	DOWN SPOUT
DS	DETAIL
DW	DISH WASHER
(E)	EXISTING
ELEV	ELEVATION
EJ	EXPANSION JOINT
EQ	EQUAL
EXP	EXPOSED
EXT	EXTERIOR
FD	FLOOR DRAIN
FDC	FIRE DEPARTMENT CONNECTION
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FF	FINISHED FLOOR
FF EL	FINISHED FLOOR ELEVATION
FLR	FLOOR
FO	FACE OF
GA	GAUGE
GALV	GALVANIZED
GB	GYPSON BOARD
GFCI	GROUND FAULT CIRCUIT INTERRUPTER
HR	HOSE BIB
HR	HOUR
ID	INSIDE DIAMETER
IC	IMPACT INSULATION CLASS
INT	INTERIOR
MAX	MAXIMUM
MFR	MANUFACTURER
MIN	MINIMUM
MTL	MATERIAL
MW	MICROWAVE
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
OAE	OR APPROVED EQUAL
OC	ON CENTER
OD	OUTSIDE DIAMETER
OFD	OVERFLOW DRAIN
OF/CI	OWNER FURNISHED, CONTRACTOR INSTALLED
OF/OI	OWNER FURNISHED, OWNER INSTALLED
OPH	OPPOSITE HAND
OPP	OPPOSITE
PFN	PREFINISHED
PT	PRESSURE TREATED
P-T	POST-TENSION(ED)
RD	ROOF DRAIN
REF	REFRIGERATOR
RO	ROUGH OPENING
ROW	RIGHT OF WAY
SAN	SANITARY
SD	SMOKE DETECTOR
SF	SQUARE FOOT (FEET)
SIM	SIMILAR
SST	STAINLESS STEEL
STN	STAIN
STC	SOUND TRANSMISSION CLASS
STR	STRUCTURAL DRAWINGS
T	TEMPERED
TO	TOP OF
TYP	TYPICAL
UON	UNLESS OTHERWISE NOTED
VF	VERIFY IN FIELD
WH	WATER HEATER

PROJECT SUMMARY

NEW WAREHOUSE AND TWO STORY OFFICE BUILDING WITH ASSOCIATED SITEWORK. THE BUILDING WILL BE A PRE-FABRICATED STEEL STRUCTURE.

PROJECT DIRECTORY

OWNER BRIAN BUTTERFIELD GREEN RIDGE SOLAR 19450 SW MOHAVE CT, TUALATIN, OR 97062 +503-395-1943	PRINCIPAL ARCHITECT MELYNDA RETALLACK INK-BUILT ARCHITECTURE, LLC. 2808 NE MLK BLVD., SUITE G PORTLAND, OR 97212 +503-454-6793
GENERAL CONTRACTOR TBD	STRUCTURAL ENGINEER TIM RIPPEY TIM RIPPEY 7650 SW BEVELAND ST., SUITE 100 TIGARD, OR 97223 +503-443-3900
	CIVIL ENGINEER JASON HAVELKA SUMMIT ENGINEERING LLC 2850 SW CEDAR HILLS BLVD, BEAVERTON, OR 97005

DRAWING INDEX

SHEET #	SHEET NAME
LU0.00	SITE PLAN REVIEW COVER SHEET
C001	OWNERS EXISTING CONDITIONS PLAN
C2.1	CIVIL SITE PLAN
C2.2	GRADING PLAN
C2.3	UTILITY PLAN
LU0.50	SITE PLAN & CODE SUMMARY
LU0.51	LANDSCAPE PLAN
LU0.52	LANDSCAPE DETAILS
LU1.01	FLOOR PLANS
LU1.10	ROOF PLAN
LU2.00	EXTERIOR ELEVATIONS
LU2.01	EXTERIOR ELEVATIONS
LU4.00	SECTIONS



VICINITY MAP

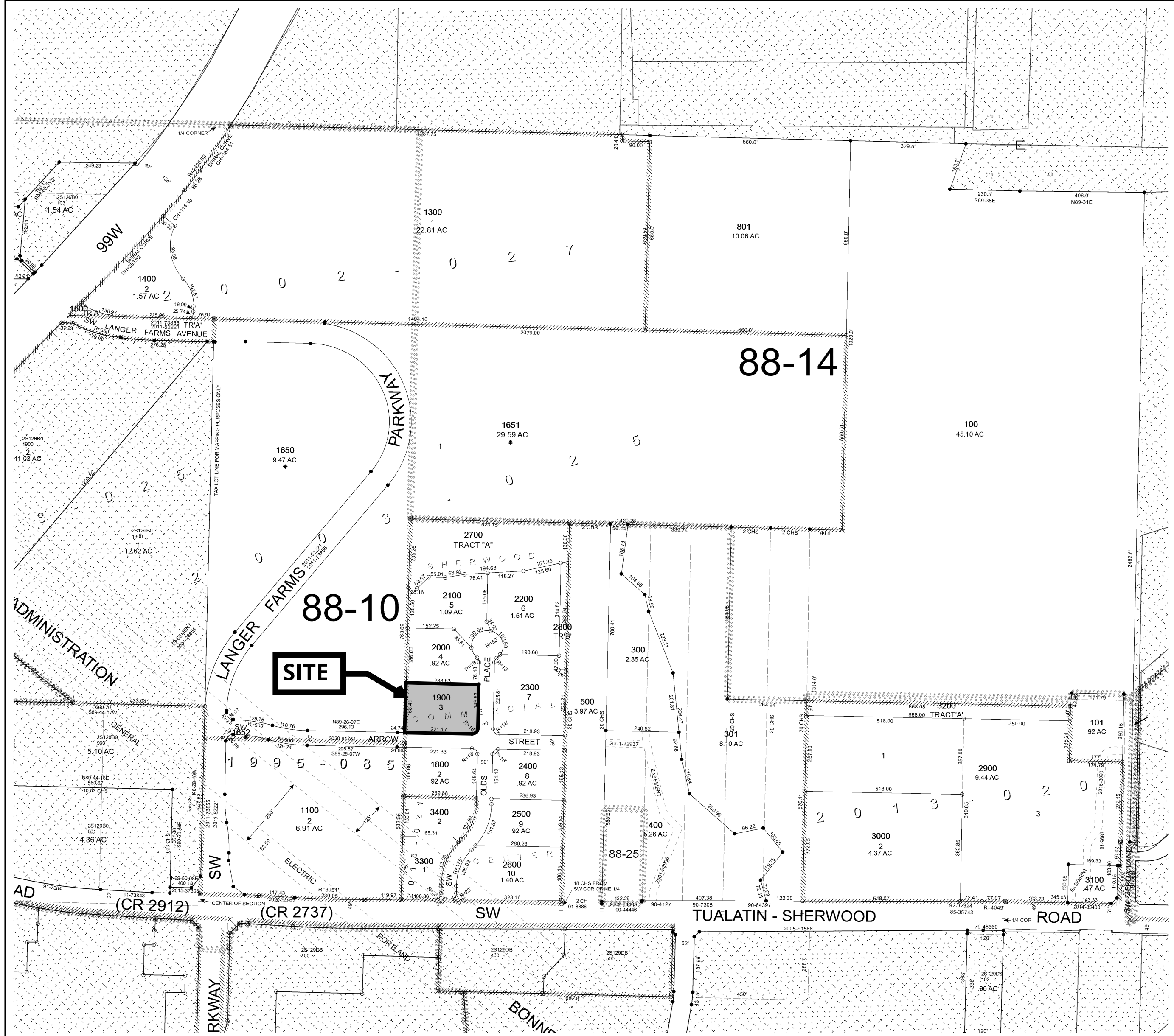


LOCATION MAP



PROJECT GENERAL NOTES

- DRAWINGS ARE DIAGRAMMATIC AND DO NOT NECESSARILY DEPICT ALL MATERIALS IN ALL INSTANCES.
- DO NOT SCALE DRAWINGS, WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
- DRAWINGS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE METHOD OF CONSTRUCTION. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR DETERMINING APPROPRIATE METHOD AND SEQUENCE OF CONSTRUCTION.
- CONTRACTOR SHALL ASSURE THE SAFETY OF WORKERS AND SITE THROUGHOUT THE DURATION OF CONSTRUCTION.
- VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND PURCHASE OF MATERIALS. ANY DISCREPANCIES BETWEEN FIELD MEASUREMENTS AND DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- ALL WORK SHALL CONFORM TO THE MINIMUM STANDARDS SET BY THE LATEST EDITION OF THE OREGON STRUCTURAL SPECIALTY CODE AND ALL OTHER APPLICABLE CODES.
- DETAILS NOTED AS "TYPICAL" OR "TYP" APPLY IN ALL CASES UNLESS SPECIFICALLY REFERENCED. DETAILS THAT ARE SPECIFICALLY REFERENCED SHALL TAKE PRECEDENCE OVER GENERAL NOTES. "TYPICAL" NOTES, GENERAL DETAILS, OR DETAILS NOTED AS "TYPICAL" OR "TYP".
- LOCATE EXISTING UTILITIES WHETHER INDICATED OR NOT AND PROTECT FROM DAMAGE. CONTRACTOR SHALL BEAR REPAIR OR REPLACEMENT EXPENSES OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE EXECUTION OF THE WORK.
- PROVIDE ACCESS PANELS AS REQUIRED. LOCATION, FINISH, AND TYPE SHALL BE APPROVED BY ARCHITECT PRIOR TO OBTAINING AND INSTALLING. PROVIDE ACCESS PANELS WITH THE SAME RATING AS THE ASSEMBLY IN WHICH THEY ARE INSTALLED. ACCESS PANELS IN SHAFT WALLS, RATED FLOOR/CEILING OR RATED ROOF/CEILING SHALL BE SMOKE SEALED.
- ALL RATED ASSEMBLIES SHALL BE CONSTRUCTED TO PREVENT THE MOVEMENT OF HOT FLAME OR GASES PER OESC SECTION 709.6. ALL PENETRATIONS THROUGH RATED ASSEMBLIES SHALL BE FIRESTOPPED.
- ALL SAFETY GLAZING SHALL BE PERMANENTLY LABELED WITH THE MANUFACTURER'S NAME AND TEST APPROVAL INFORMATION.
- PROVIDE ALL CODE REQUIRED SIGNAGE.



2S129A

WASHINGTON COUNTY OREGON
NE 1/4 SECTION 29 T2S R1W W.M.
SCALE 1" = 200'

36	31	22	33	24	35	36	31
1	6	5	4	3	2	7	6
12	8	9	10	11	12	7	
13	18	17	16	15	14	13	18
24	19	20	21	22	23	24	19
25	30	29	28	27	26	25	30
34	31	32	33	34	35	36	31
1	6	5	4	3	2	1	6

FOR ADDITIONAL MAPS VISIT OUR WEBSITE AT
www.co.washington.or.us

Cancelled Taxlots For: 2S129A
461,103,200,900,1000,800,1200,690,700,102,1600,1700.

Feet
0 100 200 400 600

Cartography
Taxation

PLOT DATE: 3/16/2021
FOR ASSESSMENT PURPOSES
ONLY - DO NOT RELY ON
FOR OTHER USE

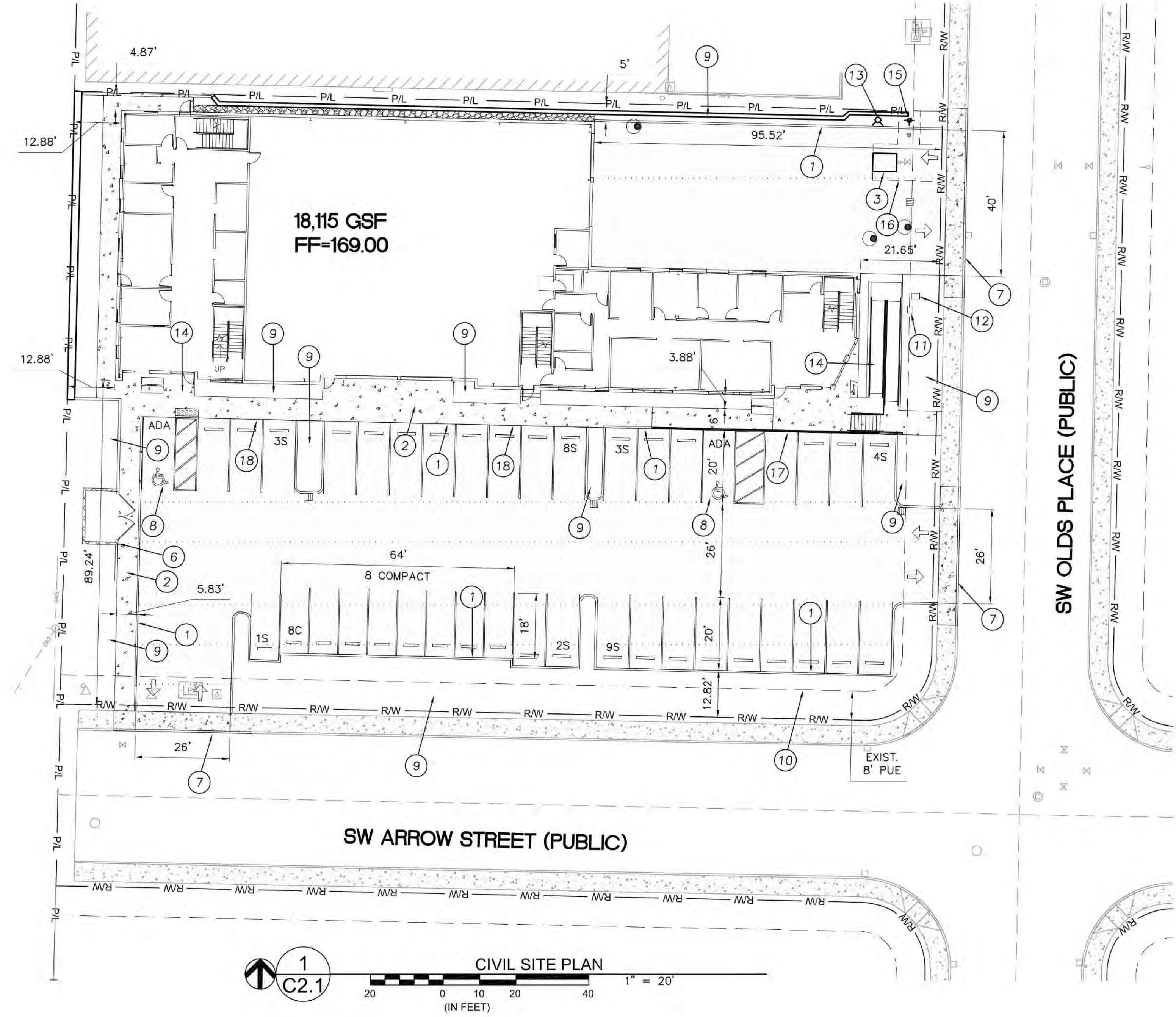
Map areas delineated by other gray shading or a cross-hatched pattern are for reference only and may not indicate the most current property boundaries.
Please consult the appropriate map for the most current information.

SHERWOOD
2S129A

REVISIONS

SITE PLAN REVIEW	
ISSUE DATE	07/26/2021

SITE PLAN REVIEW
COVER SHEET
LU0.00



LEGEND

PROPOSED:	
	ASPHALT PAVING
	DRIVEWAY, CONCRETE PADS AND SIDEWALK
	CATCH BASIN
	WATER METER
	WATER VAULT
	FDC
	6" VERTICAL CURB
	RETAINING WALL, SEE C2.2
EXISTING:	
	EXISTING EDGE OF PAVEMENT
	STORM SEWER MANHOLE
	STORM SEWER LINE
	CATCH BASIN
	WATER METER
	WATER LINE
	WATER VALVE
	SANITARY SEWER MANHOLE
	SANITARY SEWER LINE
	POWER VAULT
	POWER JUNCTION BOX
	COMMUNICATIONS JUNCTION BOX
	GAS LINE
	UNDERGROUND COMMUNICATIONS LINE
	RIGHT OF WAY
	PROPERTY LINE

SITE DATA

SITE AREA	40,070 SF
LANDSCAPE AREA/PERVIOUS	6,908 SF (17.1%)
ASPHALT PARKING	14,629 SF
ASPHALT AT TRUCK COURT	3,813 SF
BUILDING FOOT PRINT/ROOF	11,972 SF
SIDEWALK	2,748 SF
TOTAL IMPERVIOUS AREA	33,162 SF

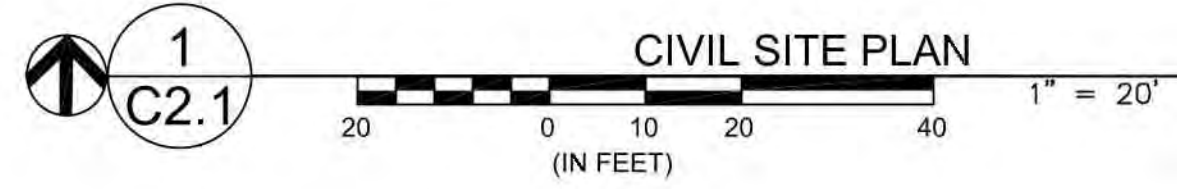
VEHICLE PARKING SPACES	
STANDARD	30 SPACES
ADA	2 SPACES
COMPACT	8 SPACES
TOTAL PROVIDED	40 SPACES
TOTAL REQUIRED	40 SPACES
BICYCLE SPACES PROVIDED	4 SPACES
BICYCLE SPACES REQUIRED	3 SPACES

GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF SHERWOOD, THE CURRENT EDITION OF THE OREGON SPECIALTY PLUMBING CODE, AND THE INTERNATIONAL BUILDING CODE. ALL WORK IN THE PUBLIC R.O.W. REQUIRES A PUBLIC WORKS PERMIT.
- EXCAVATION: EXCAVATE FOR SLABS, PAVING AND OTHER IMPROVEMENTS TO SIZES AND LEVELS SHOWN OR REQUIRED. ALLOW FOR FORM CLEARANCE AND FOR PROPER COMPACTION OF REQUIRED BACKFILLING MATERIAL. EXCAVATORS MUST COMPLY WITH ORS 757.541 THROUGH 757.571; EXCAVATORS SHALL NOTIFY ALL UTILITY COMPANIES FOR LINE LOCATIONS 72 HOURS (MINIMUM) PRIOR TO START OF WORK. DAMAGE TO UTILITIES SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- EFFECTIVE EROSION CONTROL IS REQUIRED. EROSION CONTROL DEVICES MUST BE INSTALLED AND MAINTAINED MEETING WES STANDARDS. THE GOVERNING JURISDICTION SHALL, AT ANY TIME, ORDER CORRECTIVE ACTION AND STOPPAGE OF WORK TO ACCOMPLISH EFFECTIVE EROSION CONTROL.
- EFFECTIVE DRAINAGE CONTROL IS REQUIRED. DRAINAGE SHALL BE CONTROLLED WITHIN THE WORK SITE AND SHALL BE SO ROUTED THAT ADJACENT PRIVATE PROPERTY, PUBLIC PROPERTY, AND THE RECEIVING SYSTEM ARE NOT ADVERSELY IMPACTED. THE GOVERNING JURISDICTION MAY, AT ANY TIME, ORDER CORRECTIVE ACTION AND STOPPAGE OF WORK TO ACCOMPLISH EFFECTIVE DRAINAGE CONTROL. REFER TO WES STANDARDS AND EROSION CONTROL PLAN.
- CONTRACTOR SHALL ADJUST ALL STRUCTURES IMPACTED BY CONSTRUCTION IMPROVEMENTS TO NEW FINISHED GRADES, AND COORDINATE CONSTRUCTION AROUND EXISTING UTILITIES WITH UTILITY PROVIDERS.
- CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES NOT SHOWN FOR REMOVAL. DAMAGE TO EXISTING STRUCTURES SHALL BE REPAIRED BY THE CONTRACTOR WITH CONTRACTOR'S OWN RESOURCES.
- THE BUILDING OUTLINE SHOWN ON THIS PLAN IS SHOWN FOR REFERENCE ONLY AND SHOULD NOT BE USED FOR CONSTRUCTION, WHETHER MEASURING, STAKING OR OTHERWISE. REFER TO ARCHITECTURAL DRAWINGS FOR ALL MEASUREMENTS, DIMENSIONS, OUTLINE AND FEATURES.
- PAVING, FOUNDATIONS, SITE PREPARATION, CLEARING, GRADING, GRUBBING, SUBGRADE PREPARATION, ETC. BY OTHERS.
- THE SURVEY INFORMATION SHOWN AS A BACKGROUND SCREEN ON THIS SHEET IS BASED ON A SURVEY DONE BY AKS ENGINEERING AND FORESTRY DATED 06/18/2021, AND IS SHOWN FOR REFERENCE ONLY. SUMMIT ENGINEERING HAS NOT VERIFIED ANY INFORMATION SHOWN ON THE PLANS AND MAKES NO GUARANTEES AS TO THE ACCURACY OF THE INFORMATION SHOWN. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS WITH THEIR OWN RESOURCES PRIOR TO THE START OF ANY CONSTRUCTION OR ORDERING MATERIALS. NOTIFY ENGINEER OF ANY DISCREPANCIES WITH THE SITE WITH RESPECT TO ANY ELEMENT SHOWN ON THESE PLANS.

CONSTRUCTION NOTES

- 6" VERTICAL CURB.
- CONCRETE SIDEWALK.
- BACKFLOW PREVENTION IN VAULT PER UTILITY PLAN.
- FIRE TRUCK/ENGINE TURN RADII.
- BIKE PARKING PER ARCH.
- TRASH ENCLOSURE PER ARCH.
- REMOVE EXISTING CURB AND SIDEWALK. INSTALL CITY STANDARD CONCRETE DRIVEWAY PER RD-42.
- ADA PARKING SPACE.
- LANDSCAPE AREA, SEE LANDSCAPING PLANS.
- EXISTING PUBLIC UTILITY EASEMENT.
- IRRIGATION POINT OF CONNECTION, SEE UTILITY PLAN.
- WATER METER, SEE UTILITY PLAN.
- FDC, SEE UTILITY PLAN.
- ADA RAMP.
- FIRE HYDRANT, SEE UTILITY PLAN.
- NEW UTILITY EASEMENT FOR BACKFLOW PREVENTION VAULT AND HYDRANT.
- RETAINING WALL AT PARKING.
- FLUSH CONCRETE SIDEWALK AT PARKING.



Client
Inkbuilt Architecture

Project
Green Ridge Solar
20737 SW Olds Place
Sherwood, OR

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REPRODUCED IN ANY MANNER,
WITHOUT PRIOR WRITTEN
AUTHORIZATION.

REVISION SCHEDULE:
REVISION DELTA ISSUE DATE

SHEET TITLE:
**CML
SITE PLAN**

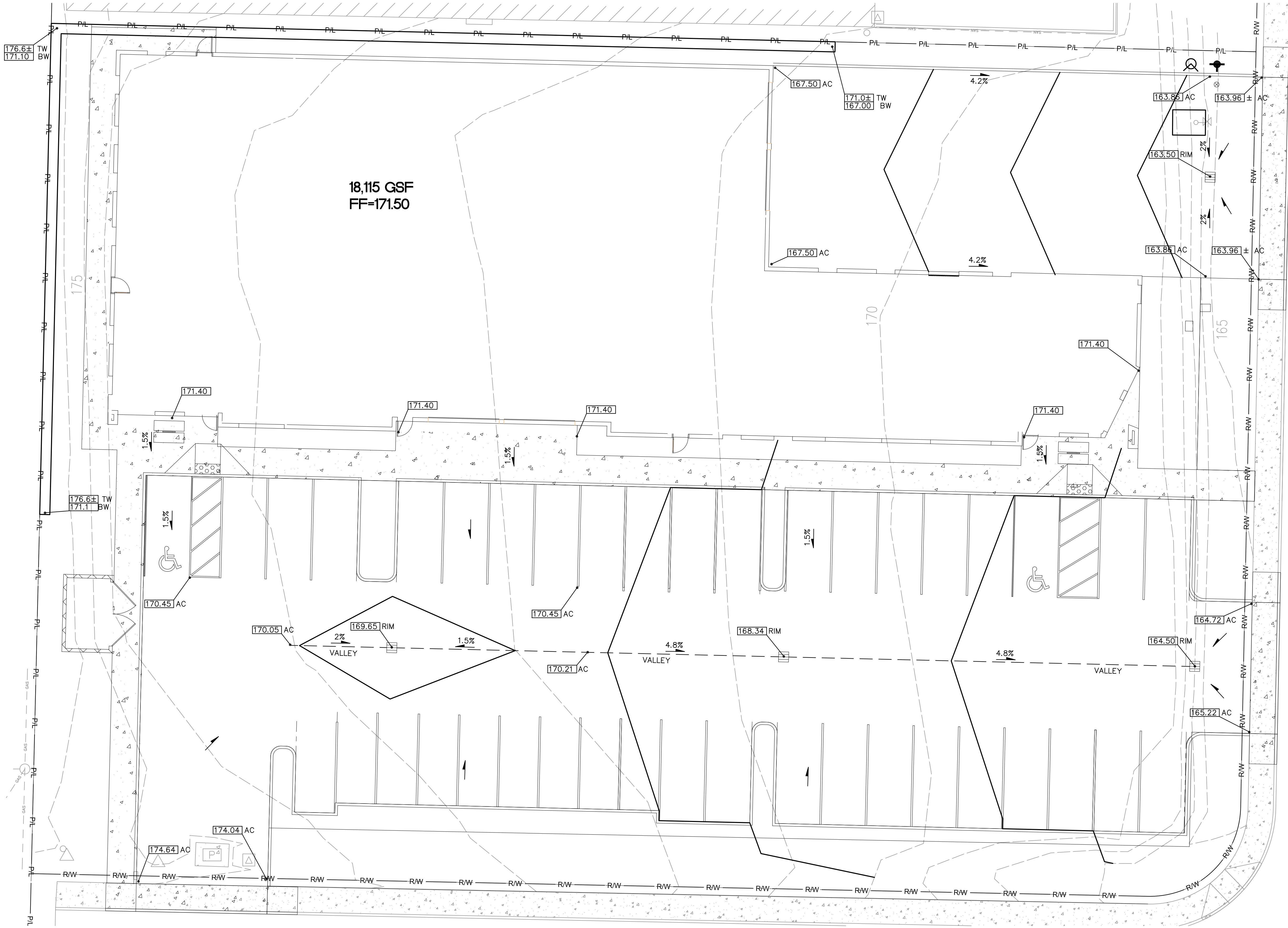
DRAWN BY: JMH
APPROVED BY: JMH

SHEET:

C2.1

JOB NO.:
20-026

THE BACKGROUND SURVEY INFORMATION SHOWN ON THESE PLANS WAS COMPLETED BY AKS ENGINEERING AND FORESTRY LLC, DATED JUNE 18, 2021. ALL INFORMATION SHOWN SHOULD BE VERIFIED BY THE CONTRACTOR WITH THEIR RESOURCES PRIOR TO EXCAVATING OR ORDERING MATERIALS.



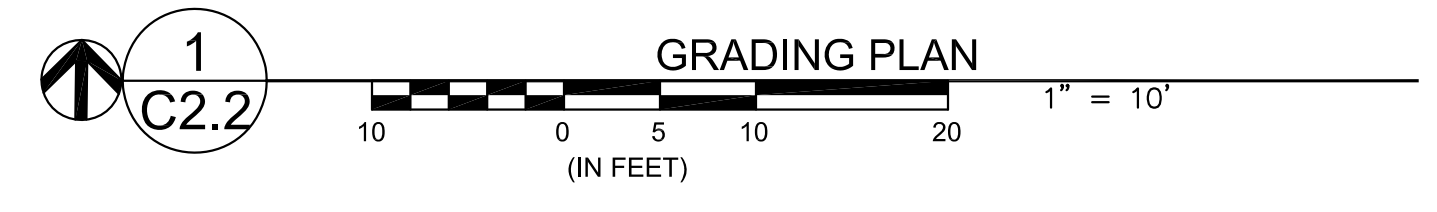
GRADING NOTES

- 1. ROUGH GRADING: BRING ALL FINISHED GRADES TO APPROXIMATE LEVELS INDICATED...
2. EXCAVATION: EXCAVATE FOR SLABS, PAVING AND OTHER IMPROVEMENTS TO SIZES AND LEVELS SHOWN...
3. EFFECTIVE EROSION CONTROL IS REQUIRED...
4. EFFECTIVE DRAINAGE CONTROL IS REQUIRED...
5. SITE TOPSOIL SHALL BE STOCKPILED DURING CONSTRUCTION...
6. THE SURVEY INFORMATION SHOWN AS A BACKGROUND SCREEN ON THIS SHEET IS BASED ON A SURVEY DONE BY AKS ENGINEERING AND FORESTRY DATED 06/18/2021...
7. CONTRACTOR SHALL COORDINATE GRADES AT ALL BUILDING ENTRANCES WITH ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION...
8. CONTRACTOR TO ENSURE 1.5% MAX SLOPE AT ALL ADA-ACCESSIBLE PARKING SPACES...
9. CONTRACTOR TO ENSURE 5% MAX SLOPE (EXCLUDING RAMPS) AND 1.5% MAX CROSS-SLOPE AT PEDESTRIAN SIDEWALK CONNECTIONS BETWEEN PUBLIC R.O.W. AND BUILDING ENTRANCES...
10. CONTRACTOR TO ENSURE ALL STRUCTURES IMPACTED BY CONSTRUCTION IMPROVEMENTS ARE ADJUSTED TO NEW FINISHED GRADES...
11. CONTRACTOR TO ENSURE THE FIRST FIVE (5) FEET OF FINISHED GROUND SHALL SLOPE AWAY FROM EACH FACE OF EACH BUILDING AT A MINIMUM OF 2%. NOTIFY ENGINEER OF ANY DISCREPANCIES SHOWN ON PLAN DURING CONSTRUCTION...
12. REFER TO GENERAL NOTES ON C2.1.

LEGEND

Table with 2 columns: Symbol and Description. Includes entries for TC (TOP OF CURB), AC (ASPHALT ELEVATION), TW (TOP OF WALL ELEVATION), BW (BOTTOM GRADE AT FACE OF RETAINING WALL), RIM (CATCH BASIN RIM ELEVATION), EG (EXISTING GRADE), and contour lines (229, 230).

18,115 GSF
FF=171.50



Client
Inkbuilt Architecture

Project
Green Ridge Solar
20737 SW Olds Place
Sherwood, OR

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REVISION SCHEDULE:
REVISION DELTA ISSUE DATE

SHEET TITLE:
GRADING
PLAN

DRAWN BY: JMH
APPROVED BY: JMH

SHEET:

C2.2

JOB NO.:

DR SUBMITTAL - JULY 2021

20-026

THE BACKGROUND SURVEY INFORMATION SHOWN ON THESE PLANS WAS COMPLETED BY AKS ENGINEERING AND FORESTRY LLC, DATED JUNE 18, 2021. ALL INFORMATION SHOWN SHOULD BE VERIFIED BY THE CONTRACTOR WITH THEIR RESOURCES PRIOR TO EXCAVATING OR ORDERING MATERIALS.



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REVISION SCHEDULE:
REVISION DELTA ISSUE DATE

SHEET TITLE:
**UTILITY
PLAN**

DRAWN BY: JMH
APPROVED BY: JMH

SHEET:

C2.3

JOB NO.:
20-026

UTILITY NOTES

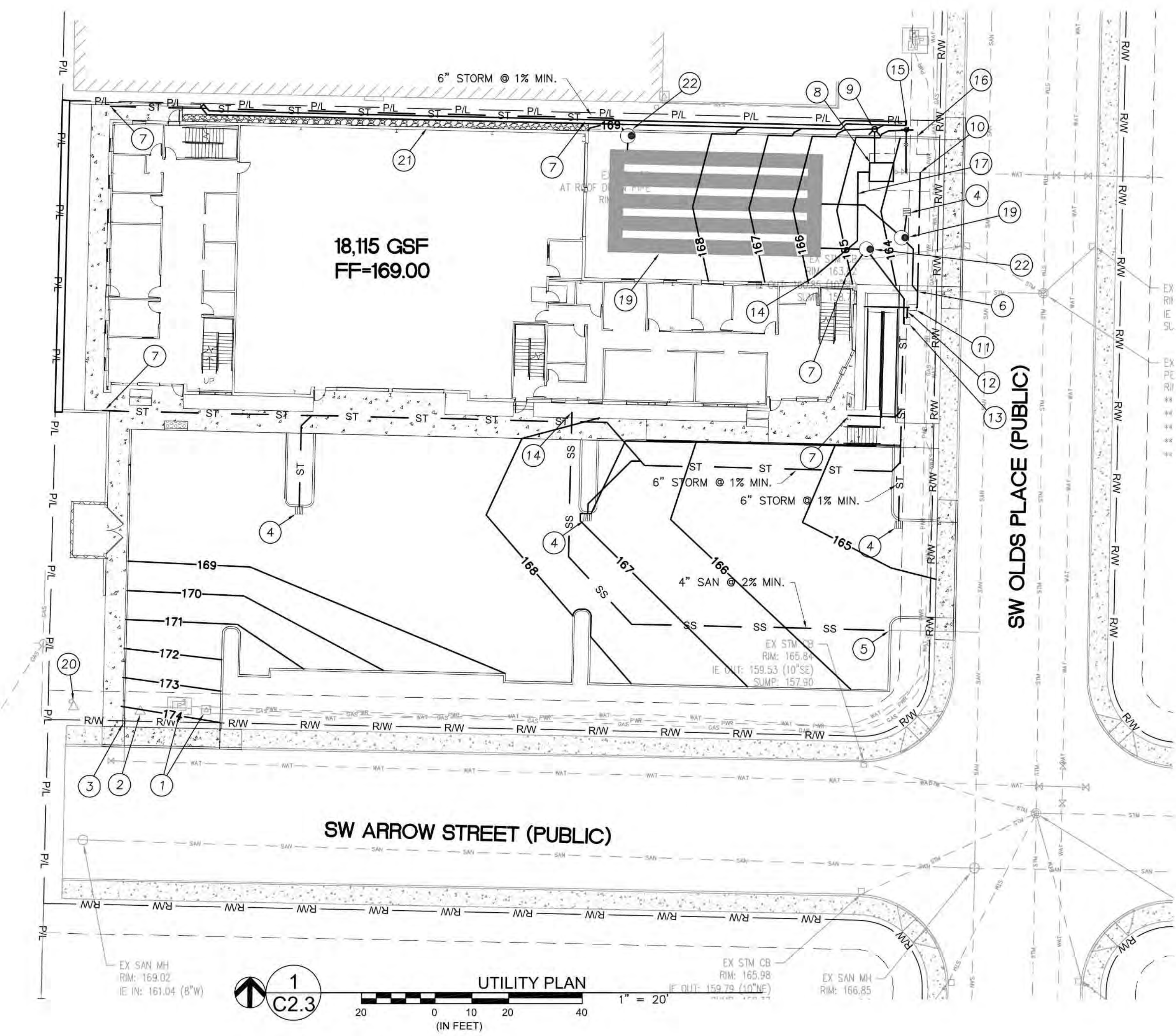
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF SHERWOOD, THE CURRENT EDITION OF THE UNIFORM PLUMBING CODE, AND THE INTERNATIONAL BUILDING CODE. ALL WORK IN THE PUBLIC R.O.W. REQUIRES A PUBLIC WORKS PERMIT.
- THE WORKING DRAWINGS ARE GENERALLY DIAGRAMMATIC. THEY DO NOT SHOW EVERY OFFSET, BEND, OR ELBOW REQUIRED FOR INSTALLATION IN THE SPACE PROVIDED. THEY DO NOT SHOW EVERY DIMENSION, COMPONENT, PIECE, SECTION, JOINT OR FITTING REQUIRED TO COMPLETE THE PROJECT. ALL LOCATIONS FOR WORK SHALL BE CHECKED AND COORDINATED WITH EXISTING CONDITIONS IN THE FIELD BEFORE BEGINNING CONSTRUCTION. EXISTING UNDERGROUND UTILITIES LAYING WITHIN THE LIMITS OF EXCAVATION SHALL BE VERIFIED AS TO CONDITION, SIZE AND LOCATION BY UNCOVERING, PROVIDING SUCH IS PERMITTED BY LOCAL PUBLIC AUTHORITIES WITH JURISDICTION, BEFORE BEGINNING CONSTRUCTION. CONTRACTOR TO VERIFY EXISTING CONDITIONS WITH HIS/HER OWN RESOURCES PRIOR TO ORDERING MATERIALS, AND SHALL NOTIFY ENGINEER IF THERE ARE ANY DISCREPANCIES.
- PROVIDE CLEANOUTS AS REQUIRED IN THE CURRENT UNIFORM PLUMBING CODE CHAPTER 7, SECTION 707 AND 719, AND CHAPTER 11, SECTION 1103.04. NOTE: NOT ALL REQUIRED CLEANOUTS ARE SHOWN ON THE PLANS.
- ALL STORM PIPING IS SIZED FOR A MANNING'S N VALUE = 0.013. ALL STORM PIPING IS DESIGNED USING CONCENTRIC PIPE TO PIPE AND WYE FITTINGS, UNLESS OTHERWISE NOTED.
- PER SECTION 313.2 OF THE OREGON SPECIALTY PLUMBING CODE, UTILITIES SHOWN UNDER OR WITHIN 5' OF ANY BUILDING OR STRUCTURE (INCLUDING ANY FOUNDATION DRAINAGE PIPING), OR LESS THAN 1' BELOW THE GROUND SURFACE, ARE TO BE CONSTRUCTED OF MATERIALS OTHER THAN THOSE APPROVED TO BE USED UNDER OR WITHIN A BUILDING. TABLE 7-1 AND SECTION 1101.3 LISTS APPROVED PIPE MATERIAL FOR SANITARY AND STORM DRAINAGE, RESPECTIVELY.
- VERIFY LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES BY POTHOLES PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- CONTRACTOR TO MAINTAIN A MINIMUM OF 3" OF COVER OVER ALL WATER LINES.
- CONTRACTOR TO MAINTAIN A MINIMUM OF 18" OF COVER OVER ALL STORM LINES IN LANDSCAPED AREAS AND 24" OF COVER IN PAVED AREAS. STORM LINES MAY HAVE LESS THAN 24" OF COVER BUT NOT LESS THAN 12" OF COVER IN PAVED AREAS WHEN DUCTILE IRON PIPE IS USED. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- CONTRACTOR IS RESPONSIBLE FOR COMPATIBILITY BETWEEN PIPE MATERIALS, FITTINGS AND APPURTENANCES.
- FOOTING DRAINS ARE REQUIRED AT ALL FOUNDATIONS AND BACK OF RETAINING WALLS PER PLUMBING CODE.
- WHERE CONNECTING TO AN EXISTING PIPE, AND PRIOR TO ORDERING MATERIALS, THE CONTRACTOR SHALL EXPOSE THE END OF THE EXISTING PIPE AND VERIFY THE LOCATION, SIZE, AND ELEVATION WITH HIS/HER OWN RESOURCES, AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL HYDRANTS, FIRE SUPPRESSION AND FIRE SPRINKLER SYSTEMS SHALL ALSO COMPLY WITH THE LOCAL FIRE DISTRICT REQUIREMENTS.
- CONTRACTOR IS RESPONSIBLE TO OBTAINING THE DESIGN, PERMITTING, AND FURNISHING OF ALL REQUIRED ELEMENTS, FOR COMPLETE INSTALLATION OF ELECTRICAL SERVICE TO VAULTS FOR SUMP PUMPS, INCLUDING SUMP PUMP AND PIPING.
- ALL 4" WATER LINE AND ABOVE SHALL BE C900 OR APPROVED EQUAL. ALL WATER LINE LESS THAN 4" SHALL FOLLOW THE CURRENT EDITION OF THE OREGON SPECIALTY PLUMBING CODE AND CARRY A MINIMUM 200 PSI TEST PRESSURE OR AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
- LOCATION AND SIZE OF UTILITY VAULTS SHOWN IS APPROXIMATE ONLY. CONTRACTOR SHALL COORDINATE LOCATION, SIZE AND PLACEMENT OF ALL VAULTS WITH AUTHORITY HAVING JURISDICTION PRIOR TO ORDERING MATERIALS. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- SET VAULT LIDS 3 INCHES HIGHER THAN SURROUNDING GROUND IN LANDSCAPED AREAS OR FLUSH WITH PAVED AREAS, OR PER LOCAL JURISDICTION STANDARDS. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO INSTALLATION.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING UTILITY LINES OUT OF THE ZONE OF INFLUENCE OF ALL BUILDING AND OTHER FOOTINGS PER 8/CB.1.

CONSTRUCTION NOTES

- RELOCATE POWER VAULT AND PEDESTAL. CONTRACTOR TO COORDINATE RELOCATION WITH UTILITY.
- RELOCATE COMMUNICATION PEDESTAL OUT OF DRIVEWAY. CONTRACTOR TO COORDINATE RELOCATION WITH UTILITY.
- RELOCATE WATER METER OUT OF DRIVEWAY. CONTRACTOR TO COORDINATE RELOCATION WITH UTILITY.
- INSTALL CATCH BASIN W/ 6" STORM LINE OUTLET.
- CONNECT SANITARY SEWER TO EXISTING SANITARY STUB. IE=156.76 VERIFY.
- REMOVE EXISTING STORM STUB TO POINT OF CONNECTION AND CONNECT STORM SEWER TO EXISTING STORM STUB. IE=158.73 VERIFY. REGIONAL WATER QUALITY IS PROVIDED. ONLY HYDROMODIFICATION FLOW CONTROL IS PROPOSED ON SITE.
- CONTRACTOR TO VERIFY LOCATION OF DOWNSPOUTS AND INSTALL WYE AS NECESSARY FOR CONNECTION TO STORM LINE. VERIFY WITH ARCH PLANS FOR LOCATIONS.
- VAULT FOR BACKFLOW PREVENTION FOR FIRE WATER LINE. CONNECT WATER LINE FOR BACKFLOW PREVENTION TO EXISTING WATER LINE STUB.
- FDC WITH DUCTILE IRON WATER LINE TO VAULT. RESTRAIN ALL JOINTS. INSTALL SIGNAGE PER FIRE DEPT. STANDARDS.
- INSTALL TEE AND 2" WATER LINE TO DOMESTIC WATER METER.
- INSTALL WATER METER IN VALVE BOX.
- INSTALL TEE AND 1" WATER LINE FOR IRRIGATION.
- INSTALL BACKFLOW PREVENTION IN VALVE BOX FOR IRRIGATION LINE.
- CONNECT PIPE INSIDE BUILDING PER PLUMBING PLAN.
- INSTALL FIRE HYDRANT, GATE VALVE WITH VALVE BOX, AND TEE. RESTRAIN ALL JOINTS.
- NEW EASEMENT FOR BACKFLOW PREVENTION VAULT AND HYDRANT.
- DUCTILE IRON FIRE WATER LINE FROM VAULT TO BUILDING. RESTRAIN ALL JOINTS.
- 306 LF 48" DETENTION PIPE.
- FLOW CONTROL MANHOLE, SEE DETAIL.
- POTENTIAL UTILITY RELOCATION. CONTRACTOR TO VERIFY WITH UTILITY PROVIDER.
- FRENCH DRAIN PER DETAIL. CONNECT TO SITE STORM LINE.
- PRE-TREATMENT MANHOLE PER DETAIL.

LEGEND

PROPOSED:	
	ASPHALT PAVING
	DRIVEWAY, CONCRETE PADS AND SIDEWALK
	CATCH BASIN
	WATER METER
	WATER VAULT
	FDC
	6" VERTICAL CURB
	STORM SEWER
	SANITARY SEWER
	WATER LINE
EXISTING:	
	EXISTING EDGE OF PAVEMENT
	STORM SEWER MANHOLE
	STORM SEWER LINE
	CATCH BASIN
	WATER METER
	WATER LINE
	WATER VALVE
	SANITARY SEWER MANHOLE
	SANITARY SEWER LINE
	UNDERGROUND POWER
	POWER VAULT
	POWER JUNCTION BOX
	COMMUNICATIONS JUNCTION BOX
	GAS LINE
	UNDERGROUND COMMUNICATIONS LINE
	RIGHT OF WAY
	PROPERTY LINE



THE BACKGROUND SURVEY INFORMATION SHOWN ON THESE PLANS WAS COMPLETED BY AHS ENGINEERING AND FORESTRY LLC, DATED JUNE 18, 2021. ALL INFORMATION SHOWN SHOULD BE VERIFIED BY THE CONTRACTOR WITH THEIR RESOURCES PRIOR TO EXCAVATING OR ORDERING MATERIALS.

- SITE PLAN NOTES**
- A. SEE PLANTING PLANS FOR PLANTING INFORMATION.
 - B. SEE CIVIL FOR ON-SITE GRADING AND UTILITY INFORMATION.
 - C. INSTALL REQUIRED SIGNAGE INCLUDING BUT NOT LIMITED TO BUILDING ADDRESS, FIRE DEPARTMENT CONNECTION, FIRE RISER ACCESS, ETC. SEE SHEET A5.01.
 - D. SLOPE FINISHED GRADE AT 2% MINIMUM AWAY FROM STRUCTURE FOR A DISTANCE OF 10'.
 - E. SLOPE IMPERVIOUS PEDESTRIAN WALKWAYS AND STAIRS TO DRAIN OR PERVIOUS PLANTER AT 1.5%.
 - F. PROVIDE CONTINUOUS FOOTING DRAINS, ROUTE TO FACILITY PER CIVIL.
 - G. ROUTE ALL DRAINS/DOWNSPOUTS TO FACILITIES, SEE CIVIL.
 - H. PROVIDE WHEEL STOPS AT ALL PARKING SPACES. 4" HIGH BY 3" LONG, LOCATED 3' FROM THE END OF THE PARKING SPACE.
 - I. ALL EXTERIOR LIGHTING IS BUILDING MOUNTED, SEE ELEVATIONS FOR LOCATIONS.

PRELIMINARY
NOT FOR CONSTRUCTION

BUILDING AREA SCHEDULE

LEVEL	NAME	AREA
1-GROUND	OFFICE 1	2,786 SF
1-GROUND	OFFICE 2	2,575 SF
1-GROUND	WAREHOUSE	6,603 SF
GRAND TOTAL		11,964 SF
2-SECOND	OFFICE 1	2,786 SF
2-SECOND	OFFICE 2	2,614 SF
		5,401 SF
GRAND TOTAL		17,365 SF

ZONING REQUIREMENTS
PARKING REQUIREMENTS, SMC 16.94.020A
 6,603 GSF INDUSTRIAL * 1.6/1,000 = 11 CAR SPACES = 1 BIKE SPACE
 10,762 GSF OFFICE * 2.7/1,000 = 29 CAR SPACES = 2 BIKE SPACES
 40 PARKING SPACES REQ'D
 40 PARKING SPACES PROVIDED, 9 ARE COMPACT (25% COMPACT MAX)
 BIKE PARKING
 3 BIKE PARKING SPACES REQ'D
 4 BIKE PARKING SPACES PROVIDED

SEE A0.51 PLANTING PLAN FOR LANDSCAPING INFO.

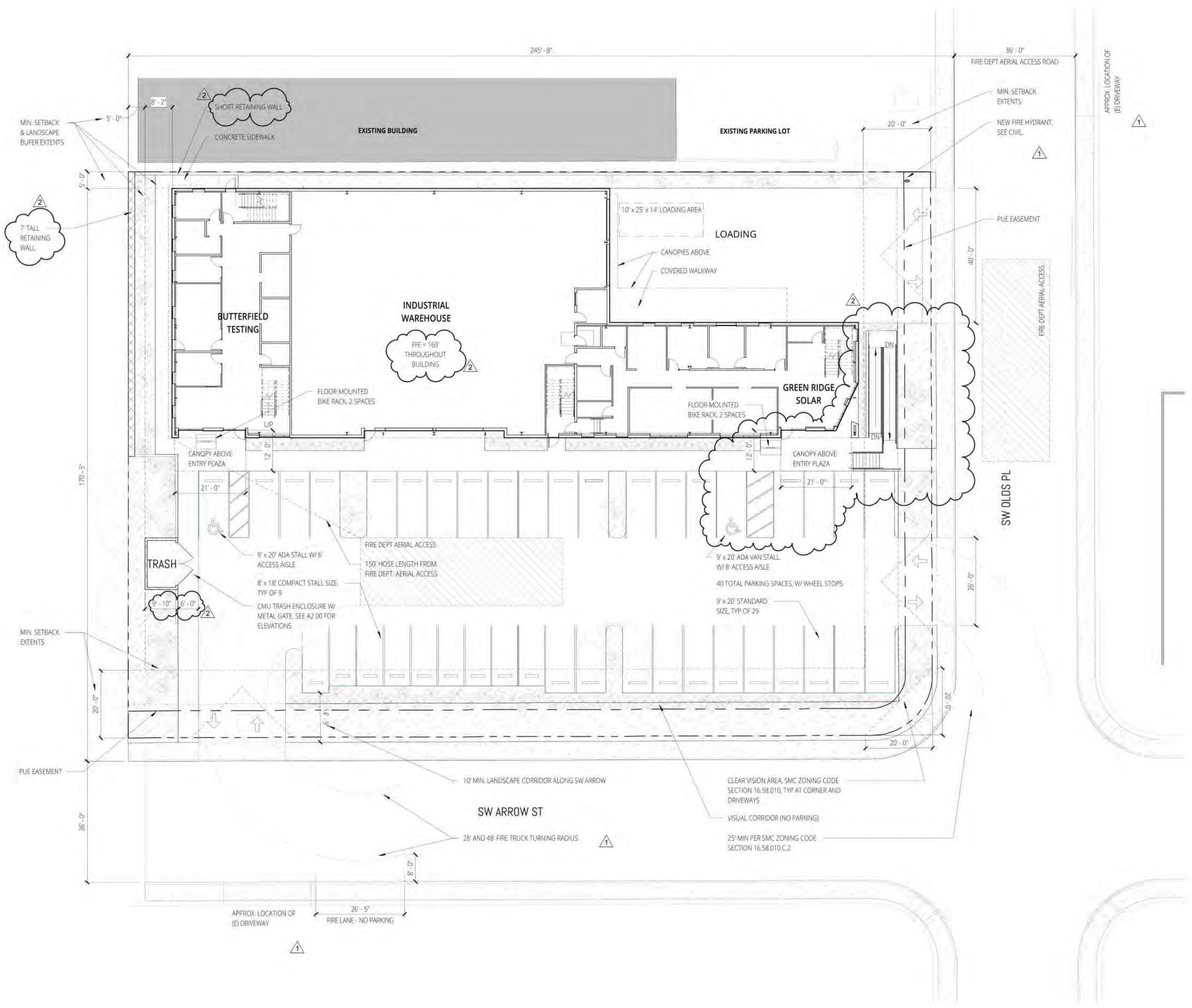
GREEN RIDGE SOLAR HEADQUARTERS
20737 SW OLDS PLACE | SHERWOOD | OR 97140

REVISIONS

1	LU REV1	09/13/2021
2	LU REV2	11/09/2021

SITE PLAN REVIEW
ISSUE DATE: 07/26/2021

SITE PLAN & CODE SUMMARY
LU0.50



1 SITE PLAN
1/16" = 1'-0"

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PLANTING PLAN NOTES

- A. SEE ARCHITECTURAL SITE PLAN FOR ADDITIONAL SITE INFORMATION.
- B. SEE CIVIL FOR ON-SITE GRADING AND UTILITY INFORMATION.
- C. PROVIDE PERMANENT DRIP IRRIGATION SYSTEM WITH AUTOMATIC CONTROLLER.
- D. PREPARE AND AMEND THE TOPSOIL AND SUBSOIL AS RECOMMENDED FOR EACH TYPE OF PLANT SELECTED.
- E. PLANT MATERIALS MUST BE INSTALLED TO CURRENT NURSERY INDUSTRY STANDARDS. PLANT MATERIALS MUST BE PROPERLY SUPPORTED TO ENSURE SURVIVAL. SUPPORT DEVICES SUCH AS GUY WIRES OR STAKES MUST NOT INTERFERE WITH VEHICULAR OR PEDESTRIAN MOVEMENT.

ZONING REQUIREMENTS

PERIMETER LANDSCAPE BUFFER ZONE, SMC 16.92.030.A
10' AT STREETS, REDUCED TO 5' AT INTERIOR LOT LINES. SHOWN WITH DASHED LINES ON PLANTING PLAN.

PARKING AREA LANDSCAPING, SMC 16.92.030.B

REQUIRED LANDSCAPING QUANTITIES:
1,800 SF REQ'D (40 PARKING SPACES * 45 SF PER SPACE)
2,816 SF PROVIDED.

TREE CANOPY FACTOR:
SMALL < 40
MEDIUM 40 < 90
LARGE > 90

TREE COMBINATIONS:

10 SMALL TREES @ 1 PER 2 PARKING SPACES = 20 PARKING SPACES
4 MEDIUM TREES @ 1 PER 3 PARKING SPACES = 12 PARKING SPACES
2 LARGE TREES @ 1 PER 4 PARKING SPACES = 8 PARKING SPACES
20 + 12 + 8 = 40 PROVIDED PARKING SPACES

> 5% OF REQUIRED TREES MUST BE EVERGREEN
1 OF 16 TREES PROVIDED ARE EVERGREEN

2 SHRUBS REQ'D PER PARKING SPACE = 80 SHRUBS REQ'D
82 SHRUBS PROVIDED

PLANT SELECTIONS

1. TREES

- A. SMALL DECIDUOUS TREE = Alternate PAPERBARK MAPLE (Acer Griseum) and JAPANESE MAPLE (Acer Palmatum - not 'dissectum')
- B. SMALL EVERGREEN TREE = COLORADO BLUE SPRUCE (Picea pungens)
- C. MEDIUM DECIDUOUS TREE = SARGENT CHERRY (Prunus sargentii)
- D. LARGE DECIDUOUS TREE = OREGON WHITE OAK (Quercus garryana)

NOTE: ALL TREES TO BE 6' MINIMUM HEIGHT, 2" MINIMUM CALIPER SIZE, AND FULLY BRANCHED AT THE TIME OF PLANTING.

2. SHRUBS

- PARKING AREA LANDSCAPE:
- A. SPANISH LAVENDER (Lavendula Stoechas)
 - B. SNOWBERRY (Symphoricarpos albus)
- PERIMETER LANDSCAPE:
- C. CAUCASIAN DAPHNE (Daphne caucasica)
 - D. WESTERN SPIRAEA HARDHACK (Spiraea douglasii)

NOTE: ALL SHRUBS TO BE ONE GALLON CONTAINER SIZE OR LARGER AT THE TIME OF PLANTING, AND SHALL BE OF SUFFICIENT SIZE TO BE AT FULL GROWTH WITHIN THREE YEARS OF PLANTING.

3. GROUND COVER PLANTS

- PARKING AREA LANDSCAPE:
- A. SPREADING COYOTE BUSH (Baccharis magillanicus)
 - B. BLUE FESCUE (Festuca Glauca)
- PERIMETER LANDSCAPE:
- C. SEDGE (Carex morrowii)
 - D. CREEPING OREGON GRAPE (Mahonia repens)

NOTE: ALL LANDSCAPE AREA THAT IS NOT PLANTED WITH TREES AND SHRUBS SHALL BE PLANTED IN GROUND COVER PLANTS. GROUND COVER PLANTS OTHER THAN GRASSES MUST BE AT LEAST THE FOUR-INCH POT SIZE AND SPACED AT DISTANCES APPROPRIATE FOR THE PLANT SPECIES. GROUND COVER PLANTS SHALL BE OF SUFFICIENT SIZE, QUANTITY, AND SPACING TO BE AT FULL GROWTH WITHIN THREE YEARS OF PLANTING.

PRELIMINARY
NOT FOR CONSTRUCTION

GREEN RIDGE SOLAR HEADQUARTERS
20737 SW OLDS PLACE | SHERWOOD | OR 97140

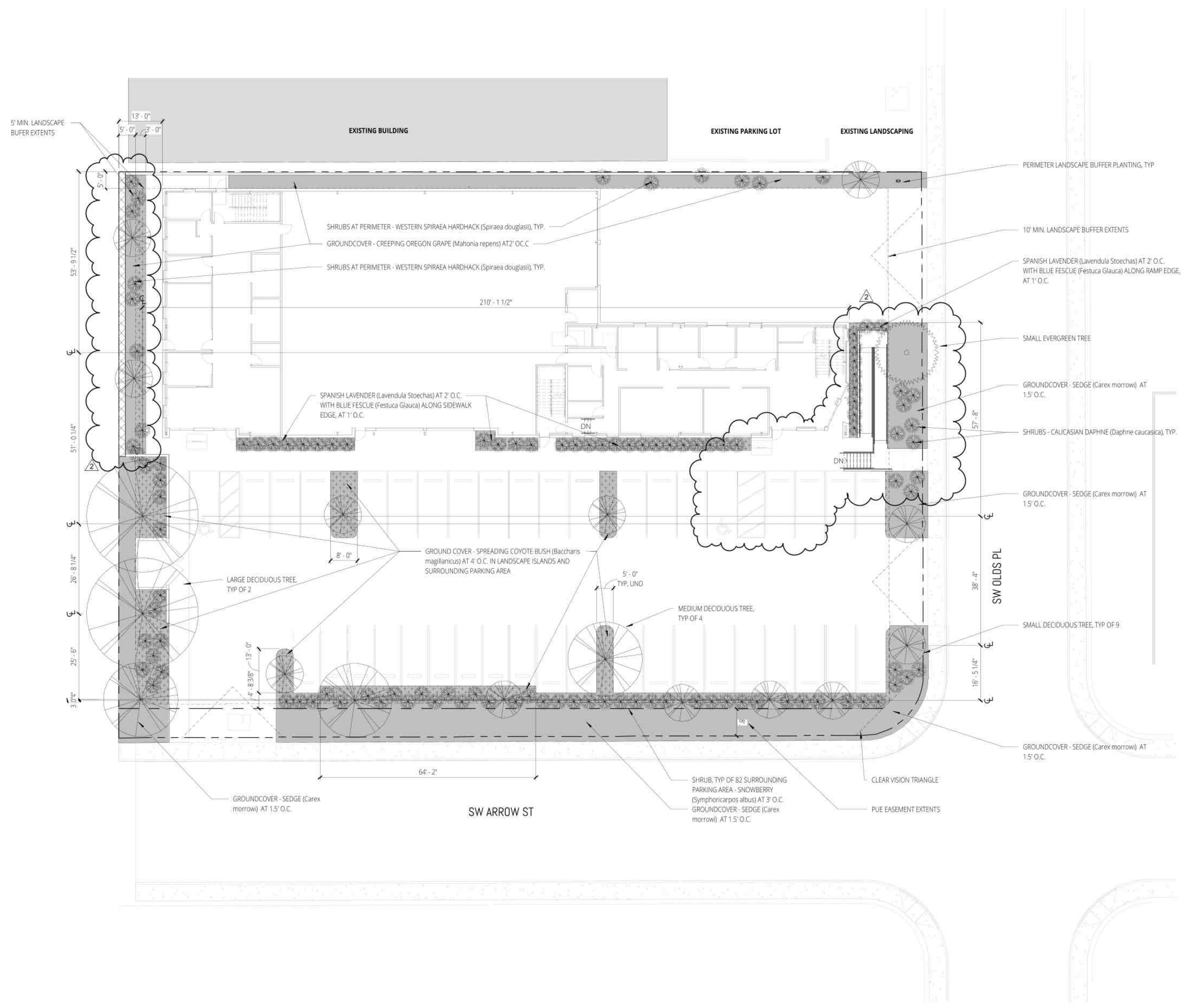
REVISIONS

2	LU REV2	11/09/2021
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SITE PLAN REVIEW

ISSUE DATE	07/26/2021
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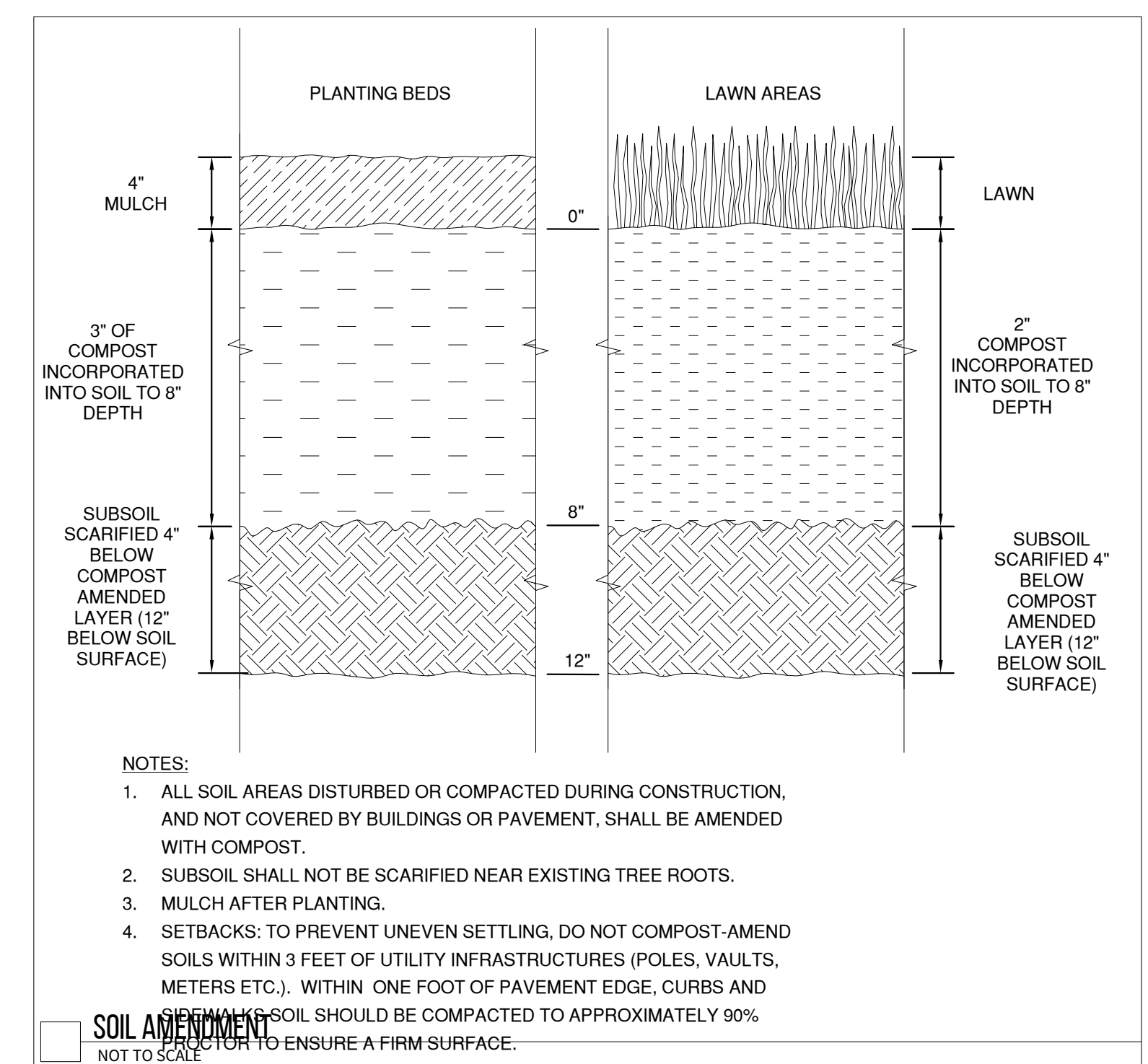
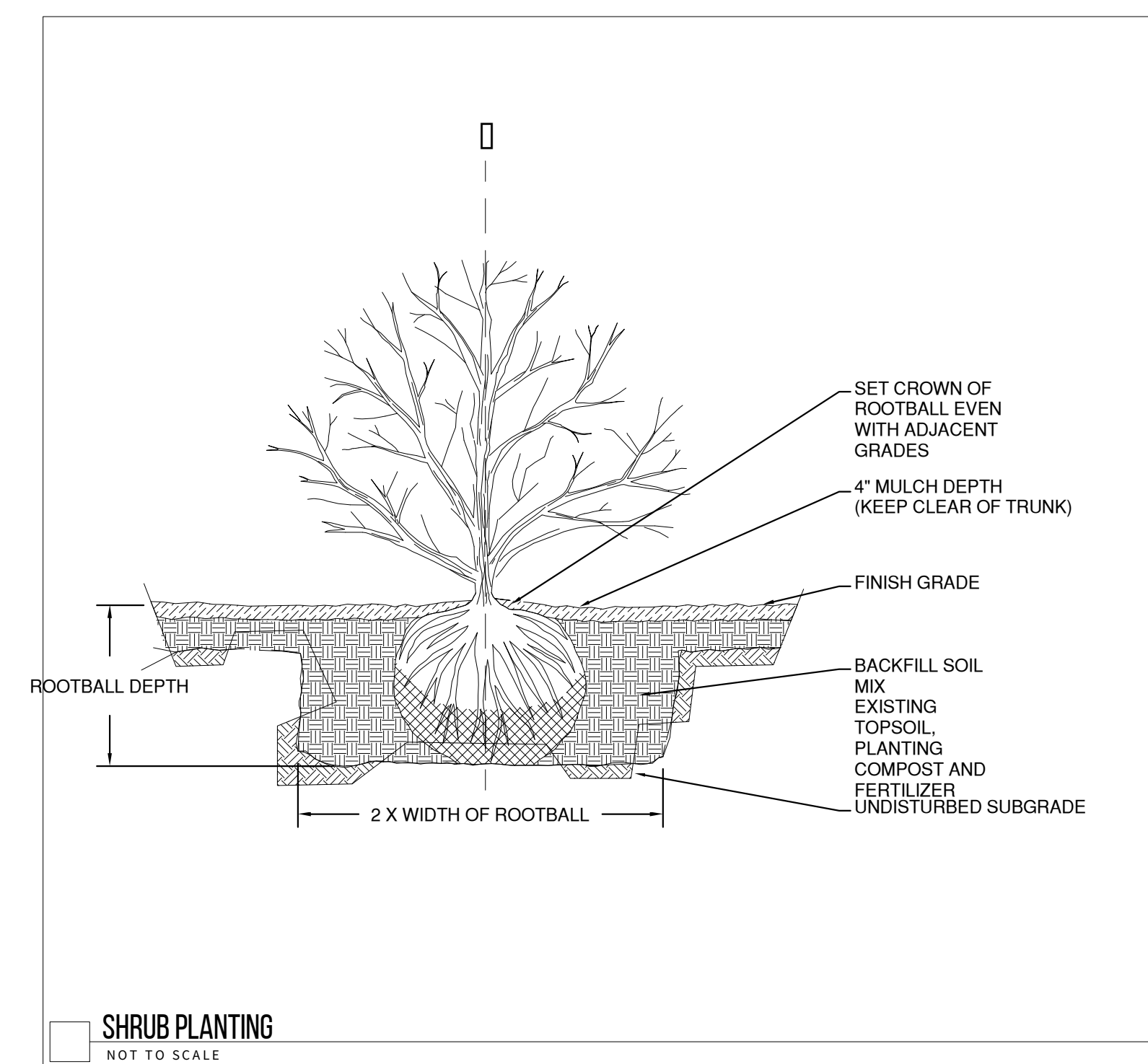
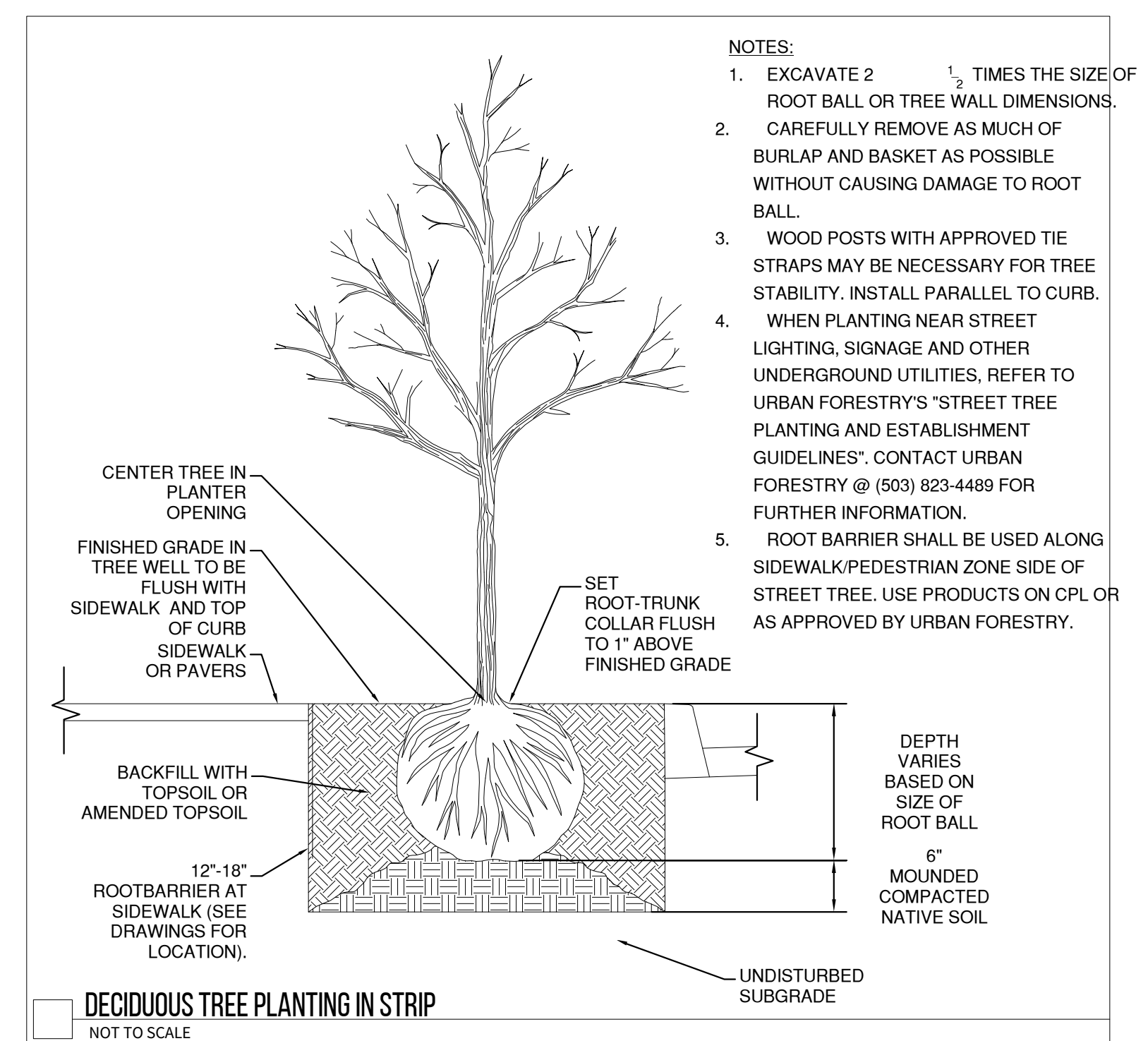
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SITE PLAN REVIEW
ISSUE DATE 07/26/2021

LANDSCAPE
DETAILS
LU0.52

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FLOOR PLAN NOTES

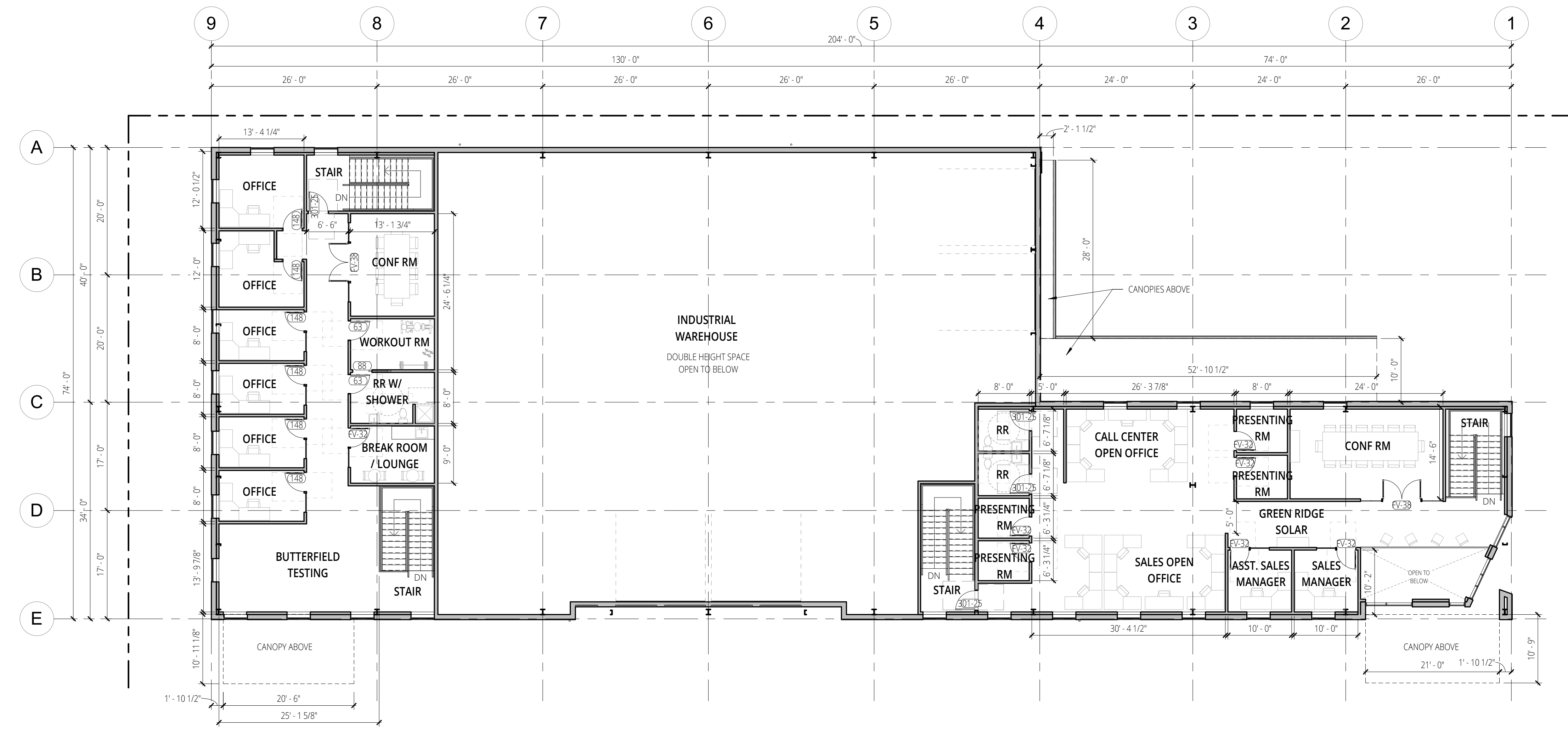
- A. SEE ASSEMBLIES SHEET A0.70 OR 0.71 FOR WALL DIMENSION POINT LOCATIONS.
- B. DOOR HINGE JAMBS TO BE LOCATED 2 1/2" FROM FACE OF FINISH OF THE NEAREST PERPENDICULAR ADJACENT WALL, UNLESS NOTED OTHERWISE.
- C. PROVIDE BLOCKING PER MFR RECOMMENDATIONS, AS SHOWN ON A5.01 FOR ALL WALL MOUNTED ACCESSORIES AND EQUIPMENT, AND AS OTHERWISE INDICATED.
- D. SEE A3.XX INTERIOR COMPOSITE SHEETS FOR ENLARGED PLANS/RPCS, INTERIOR ELEVATIONS, AND ADDITIONAL INFORMATION.
- E. INTERIOR WALLS TO BE INSULATED WHERE PLUMBING OCCURS AND AT ALL OTHER LOCATIONS REQUIRED PER ASSEMBLY OR NOTE.
- F. PROVIDE IDENTIFICATION SIGNS AT 1-HR FIRE PARTITIONS (MATE WALLS) AND STAIR ENCLOSURE WALLS ABOVE ACCESSIBLE CORRIDOR CEILING WITH 3" LETTERING PER OSSC 703.7.

FLOOR PLAN LEGEND

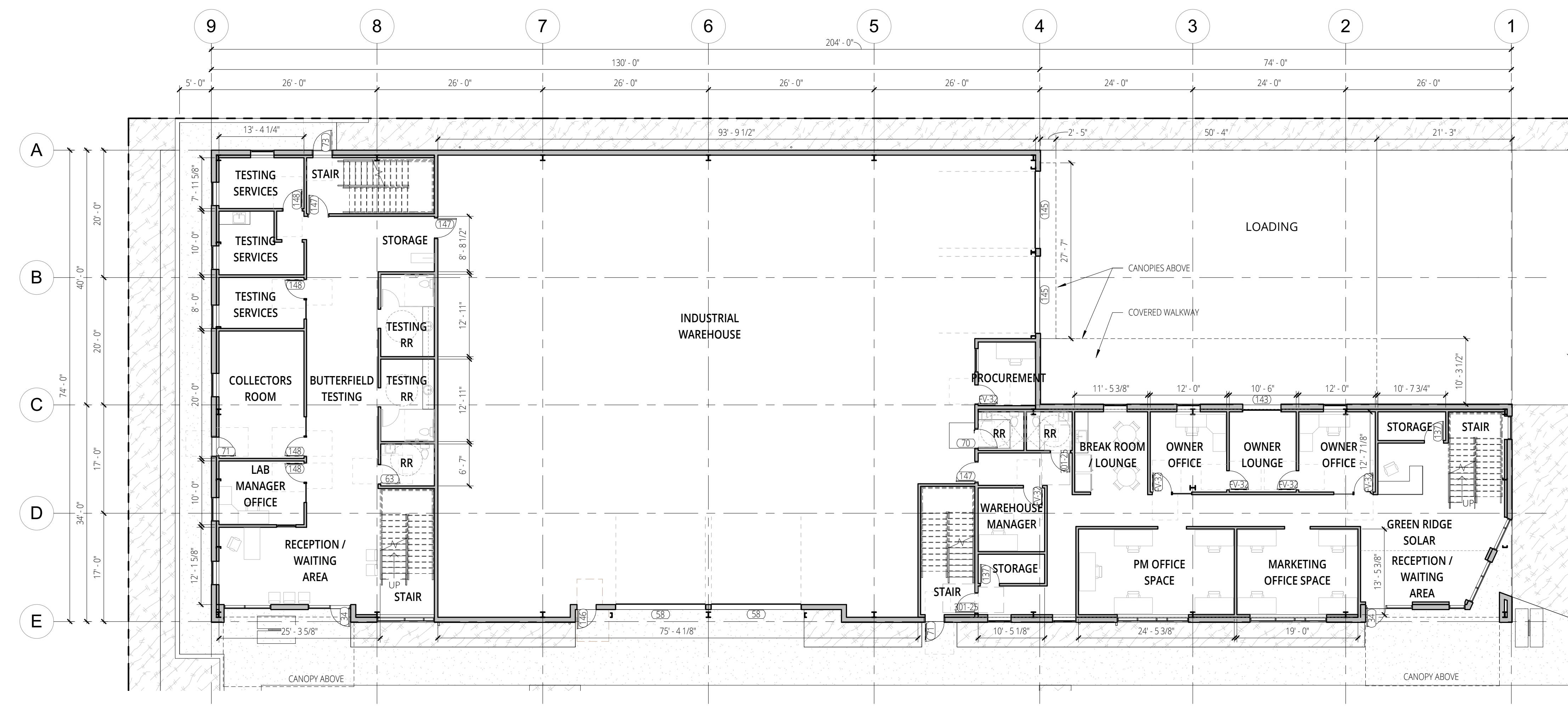
- TYPICAL WALLS**
INTERIOR | NON-BEARING
TYPE A | TYPICAL | FURRING
- EXTERIOR WALLS**
EXTERIOR FRAME | BEARING
TYPE E
- STRUCTURAL WALLS**
INTERIOR FRAME | BEARING
TYPE B
- CONCRETE WALLS**
EXTERIOR | CONCRETE | BEARING
TYPE G

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2 SECOND FLOOR PLAN
3/32" = 1'-0"



1 GROUND FLOOR PLAN
3/32" = 1'-0"

GREEN RIDGE SOLAR HEADQUARTERS
20737 SW OLDS PLACE | SHERWOOD | OR 97140

REVISIONS

SITE PLAN REVIEW
ISSUE DATE 07/26/2021

FLOOR PLANS
LU1.01

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ROOF PLAN NOTES

- A. SLOPE ALL TAPERED INSULATION TO DRAIN AT 1/4" PER FOOT MINIMUM. MAINTAIN 3" MINIMUM THICKNESS AT LOW POINTS / DRAINS.
- B. CONSOLIDATE PLUMBING VENT PENETRATIONS, COORDINATE LOCATIONS RELATIVE TO OTHER ELEMENTS, AND TERMINATE PER ROOFING MANUFACTURER DETAILS.
- C. TRANSITION, TERMINATE, AND SEAL ALL JOINTS, OPENINGS, AND PENETRATIONS IN ROOFING MATERIALS PER MANUFACTURER'S INSTRUCTIONS TO MAINTAIN FULL WARRANTY COVERAGE.
- D. ALL ROOF DRAIN PIPING / DOWNSPOUTS TO ROUTE TO STORMWATER FACILITIES. SEE PLUMBING.
- E. SOLAR PANEL SYSTEM IS DELEGATED DESIGN UNDER SEPARATE PERMIT. COORDINATE ATTACHMENT PENETRATIONS AND TERMINATE ROOFING PER MANUFACTURER DETAILS.
- F. ROOF MAINTENANCE ANCHOR/DAVIT LOCATIONS SHOWN REFLECT GENERAL GUIDANCE FOR PROJECT SCOPE. CONTRACTOR TO COORDINATE FINAL LOCATIONS PER MANUFACTURER AND APPLICABLE CODES FOR SAFE ROOF MAINTENANCE ACCESS.

ROOF PLAN LEGEND



SOLAR PANEL
SEPARATE PERMIT,
COORDINATE ATTACHMENTS

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CONSTRUCTION

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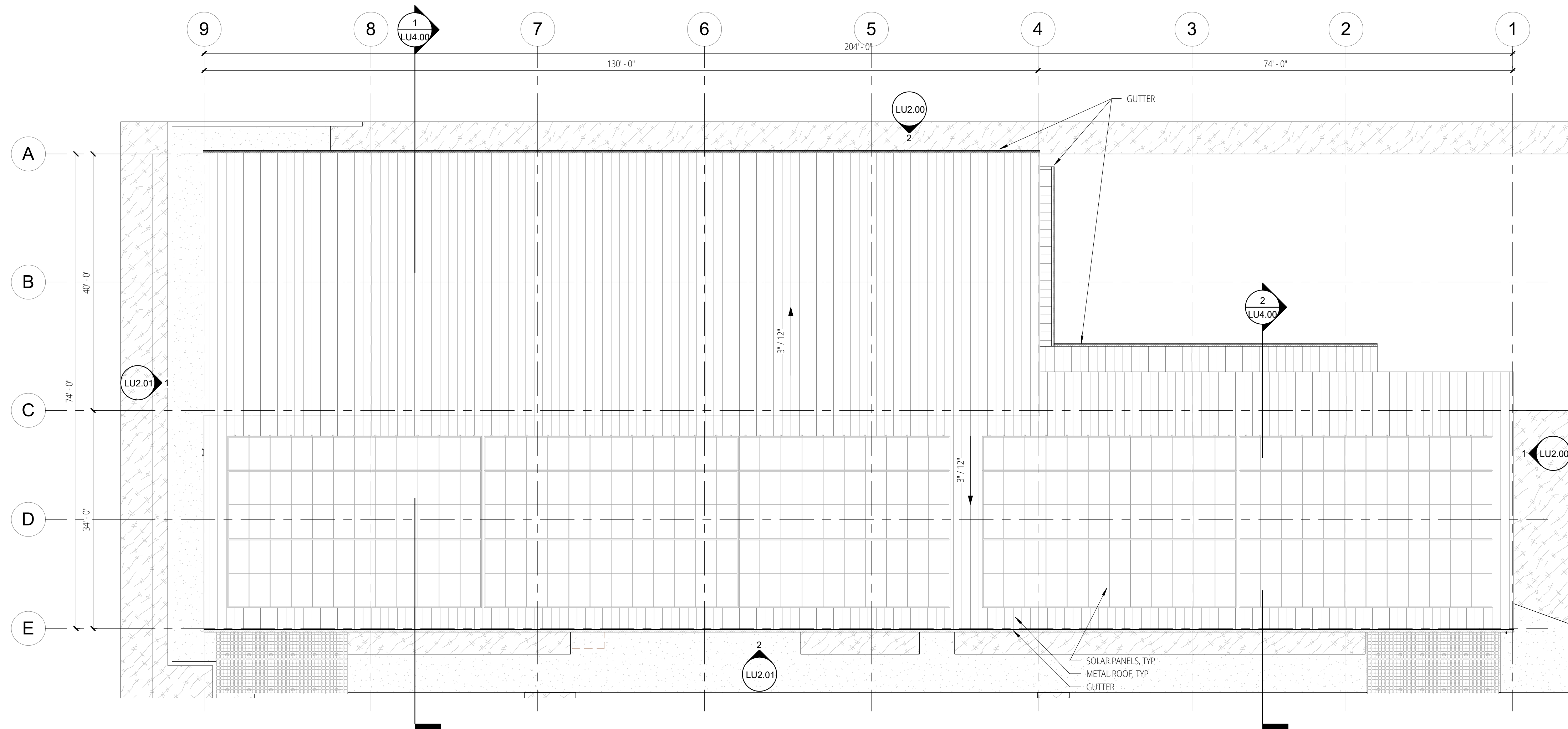
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ROOF PLAN

LU1.10

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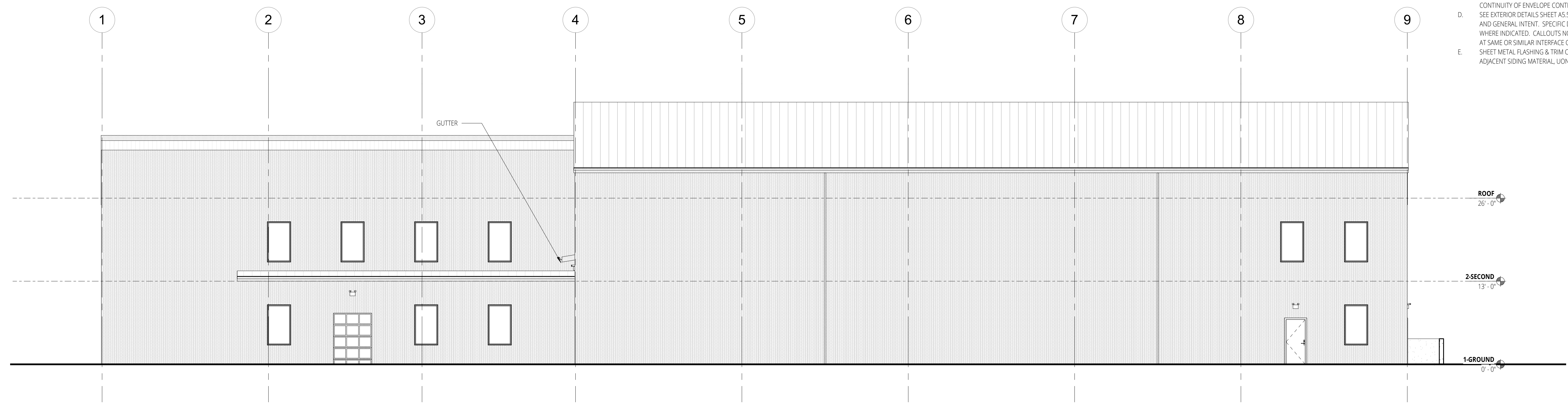
1 ROOF PLAN
3/32" = 1'-0"

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ELEVATION & COMPOSITE NOTES

- A. SEE ASSEMBLIES SHEET A0.70 FOR EXTERIOR WALL AND ROOF COMPONENTS.
- B. SEE DOOR & WINDOW SCHEDULES SHEET A6.00 FOR INFORMATION OPENING COMPONENTS.
- C. SEE BUILDING SECTION SHEET A4.01 FOR INFORMATION ON CONTINUITY OF ENVELOPE CONTROL LAYERS.
- D. SEE EXTERIOR DETAILS SHEET A5.50 FOR TYPICAL CONDITIONS AND GENERAL INTENT. SPECIFIC DETAILS TAKE PRECEDENCE WHERE INDICATED. CALLOUTS NOTED AS **TYP** OR **SIM** APPLY AT SAME OR SIMILAR INTERFACE CONDITIONS.
- E. SHEET METAL FLASHING & TRIM COLORS TO MATCH ADJACENT SIDING MATERIAL, UON. SUBMIT TO ARCHITECT.

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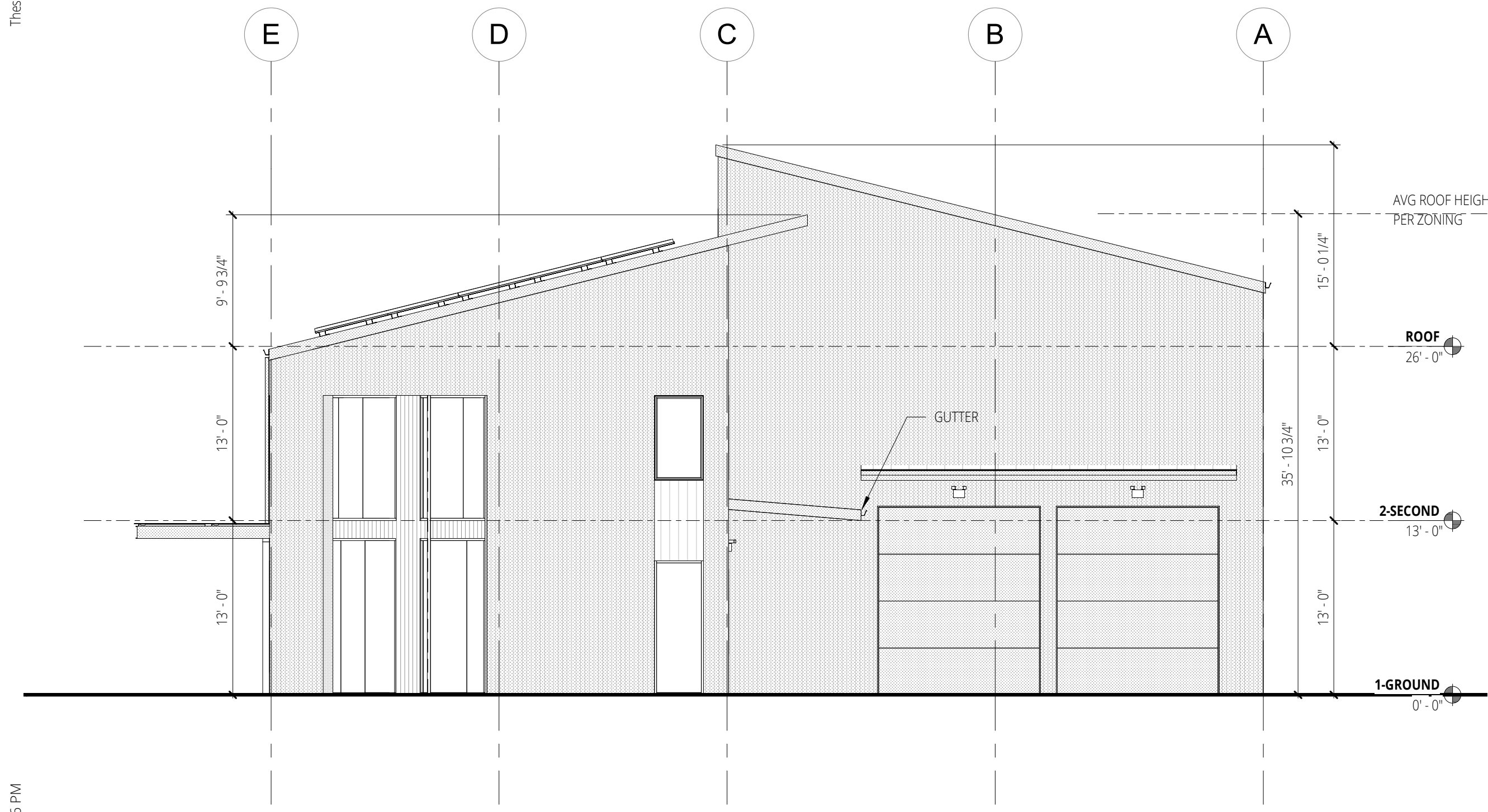
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2 NORTH ELEVATION
1/8" = 1'-0"

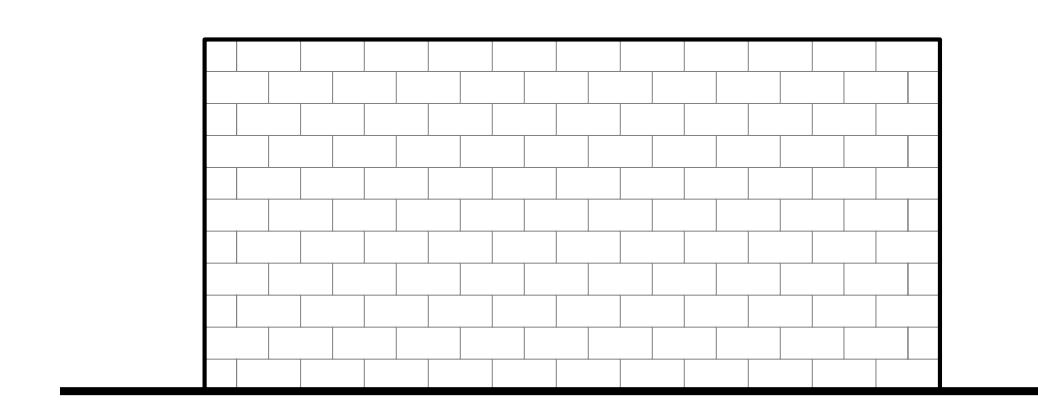
EXTERIOR ELEVATION LEGEND

- METAL PANEL - RIB**
VERTICAL, BLACK
- METAL PANEL**
VERTICAL, GRAY
- 4x SHIPLAP CEDAR**
VERTICAL, STAIN COLOR TBD
- CMU BLOCK**
8x8x16, PAINT COLOR TBD
- ALUMINUM STOREFRONT WINDOW**
FIXED PICTURE WINDOW UNIT
WINDOW TYPE TAG, SEE SCHEDULE
- EXTERIOR EMERGENCY LIGHT**
WALL MOUNTED

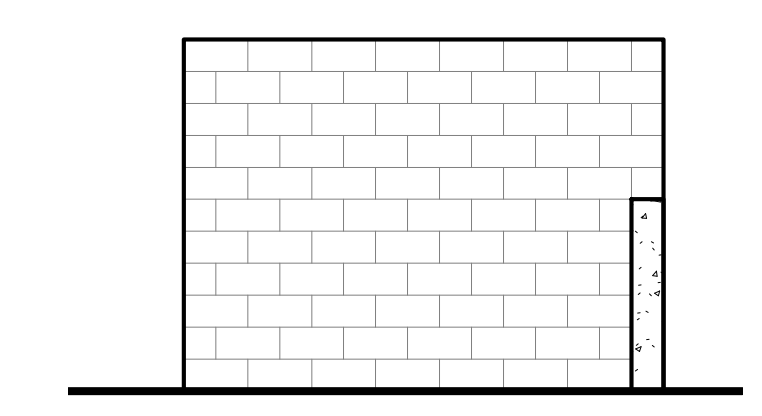
ZONING REQUIREMENTS
GLAZING AREA, EAST ELEVATION
GLAZING AREA = 227 SF TOTAL
FAÇADE AREA = 2,462 SF TOTAL
GLAZING % = 227 / 2,462 = 9.22%



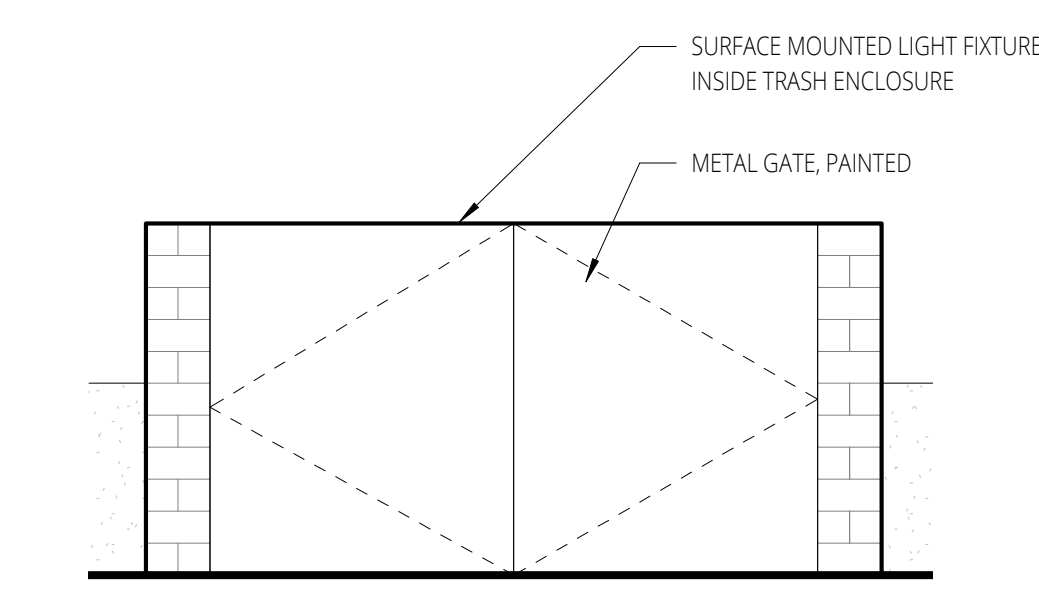
1 EAST ELEVATION
1/8" = 1'-0"



5 TRASH ENCLOSURE - WEST ELEVATION
1/4" = 1'-0"



4 TRASH ENCLOSURE - NORTH & SOUTH ELEVATION
1/4" = 1'-0"



3 TRASH ENCLOSURE - EAST ELEVATION
1/4" = 1'-0"

GREEN RIDGE SOLAR HEADQUARTERS
20737 SW OLDS PLACE | SHERWOOD | OR 97140

REVISIONS

SITE PLAN REVIEW
ISSUE DATE 07/26/2021

EXTERIOR ELEVATIONS
LU2.00

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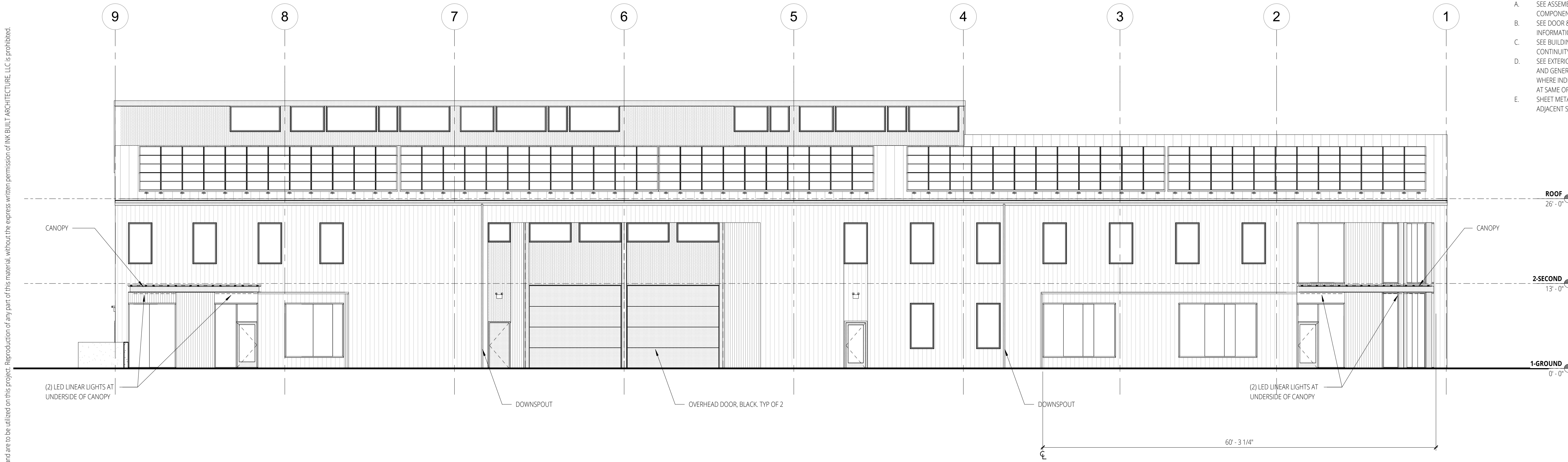
ELEVATION & COMPOSITE NOTES

- A. SEE ASSEMBLIES SHEET A0.70 FOR EXTERIOR WALL AND ROOF COMPONENTS.
- B. SEE DOOR & WINDOW SCHEDULES SHEET A6.00 FOR INFORMATION OPENING COMPONENTS.
- C. SEE BUILDING SECTION SHEET A4.01 FOR INFORMATION ON CONTINUITY OF ENVELOPE CONTROL LAYERS.
- D. SEE EXTERIOR DETAILS SHEET A5.50 FOR TYPICAL CONDITIONS AND GENERAL INTENT. SPECIFIC DETAILS TAKE PRECEDENCE WHERE INDICATED. CALLOUTS NOTED AS **TYP** OR **SIM** APPLY AT SAME OR SIMILAR INTERFACE CONDITIONS.
- E. SHEET METAL FLASHING & TRIM COLORS TO MATCH ADJACENT SIDING MATERIAL, UON. SUBMIT TO ARCHITECT.

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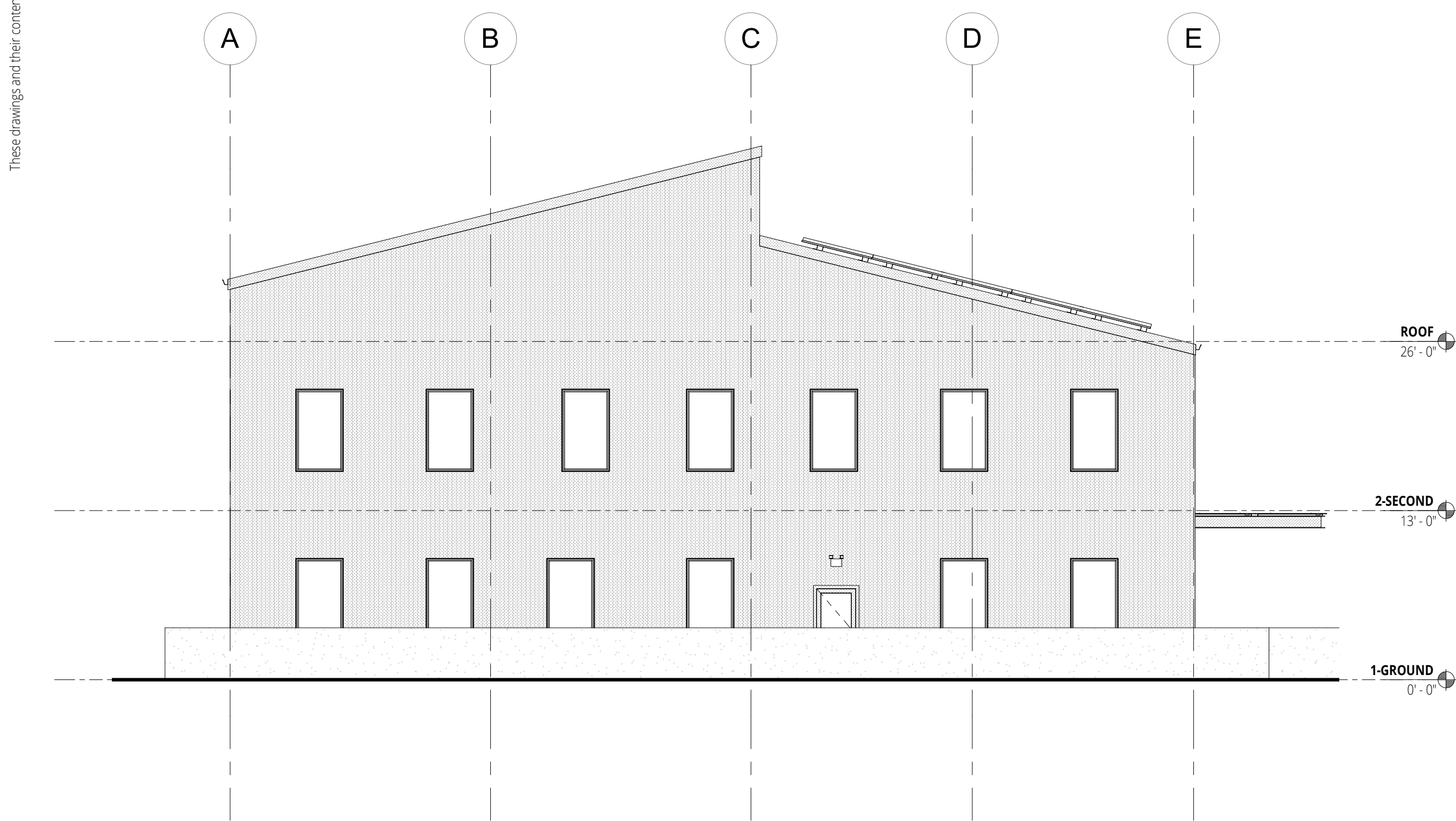
2 SOUTH ELEVATION
1/8" = 1'-0"

EXTERIOR ELEVATION LEGEND

- METAL PANEL - RIB**
VERTICAL, BLACK
- METAL PANEL**
VERTICAL, GRAY
- 4x SHIPLAP CEDAR**
VERTICAL, STAIN COLOR TBD
- CMU BLOCK**
8X8X16, PAINT COLOR TBD
- ALUMINUM STOREFRONT WINDOW**
FIXED PICTURE WINDOW UNIT
WINDOW TYPE TAG, SEE SCHEDULE
- EXTERIOR EMERGENCY LIGHT**
WALL MOUNTED

ZONING REQUIREMENTS
GLAZING AREA - SOUTH ELEVATION
GLAZING AREA = 930 SF + 287 SF AT CLERESTORY = 1,217 SF TOTAL
FACADE AREA = 6,032 SF TOTAL
GLAZING % = 1,217 / 6,032 = 20.17%

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1 WEST ELEVATION
1/8" = 1'-0"

GREEN RIDGE SOLAR HEADQUARTERS
20737 SW OLDS PLACE | SHERWOOD | OR 97140

REVISIONS

SITE PLAN REVIEW
ISSUE DATE 07/26/2021

EXTERIOR ELEVATIONS
LU2.01

PRELIMINARY
NOT FOR
CONSTRUCTION

GREEN RIDGE SOLAR HEADQUARTERS
20737 SW OLDS PLACE | SHERWOOD | OR 97140

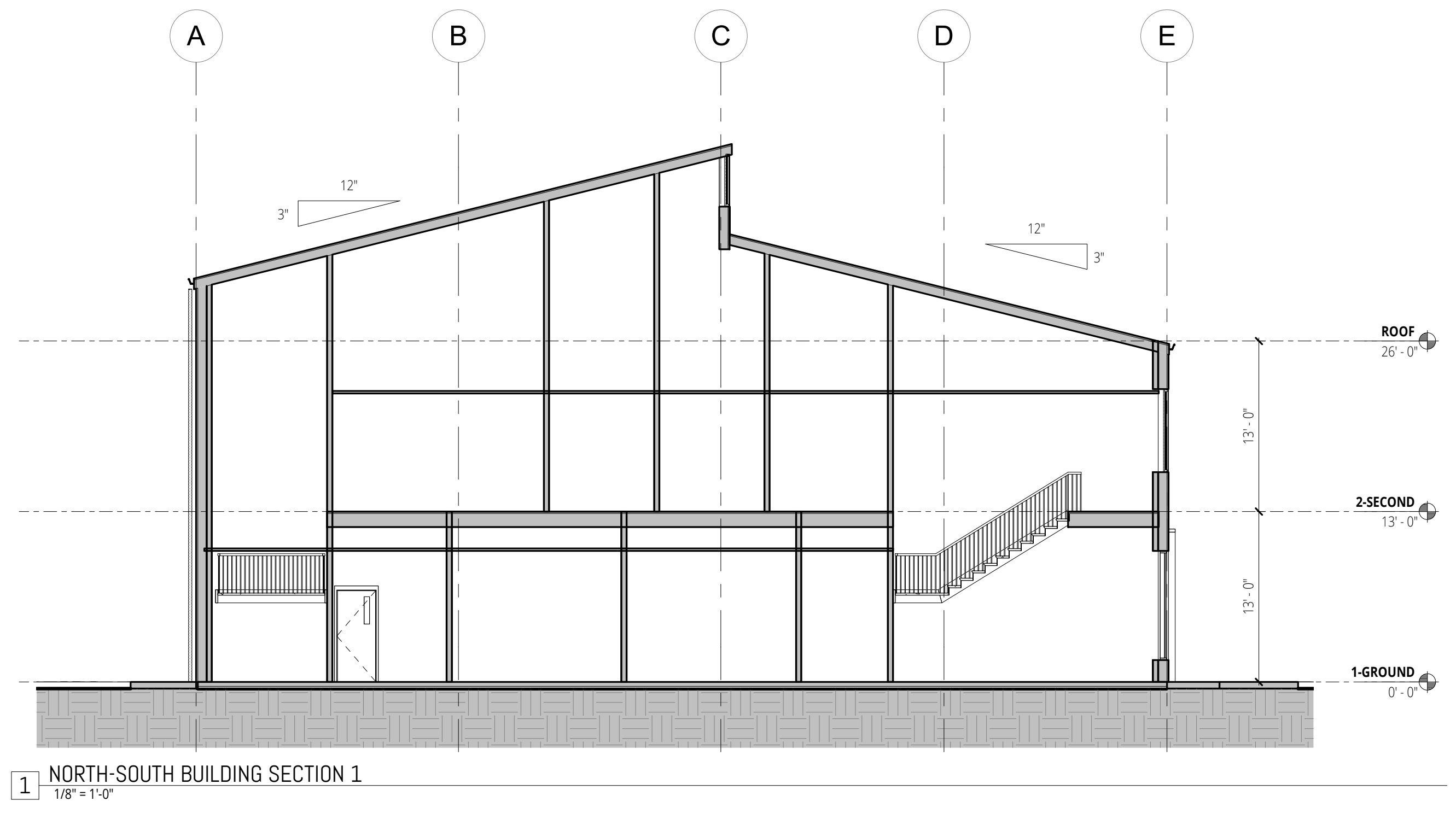
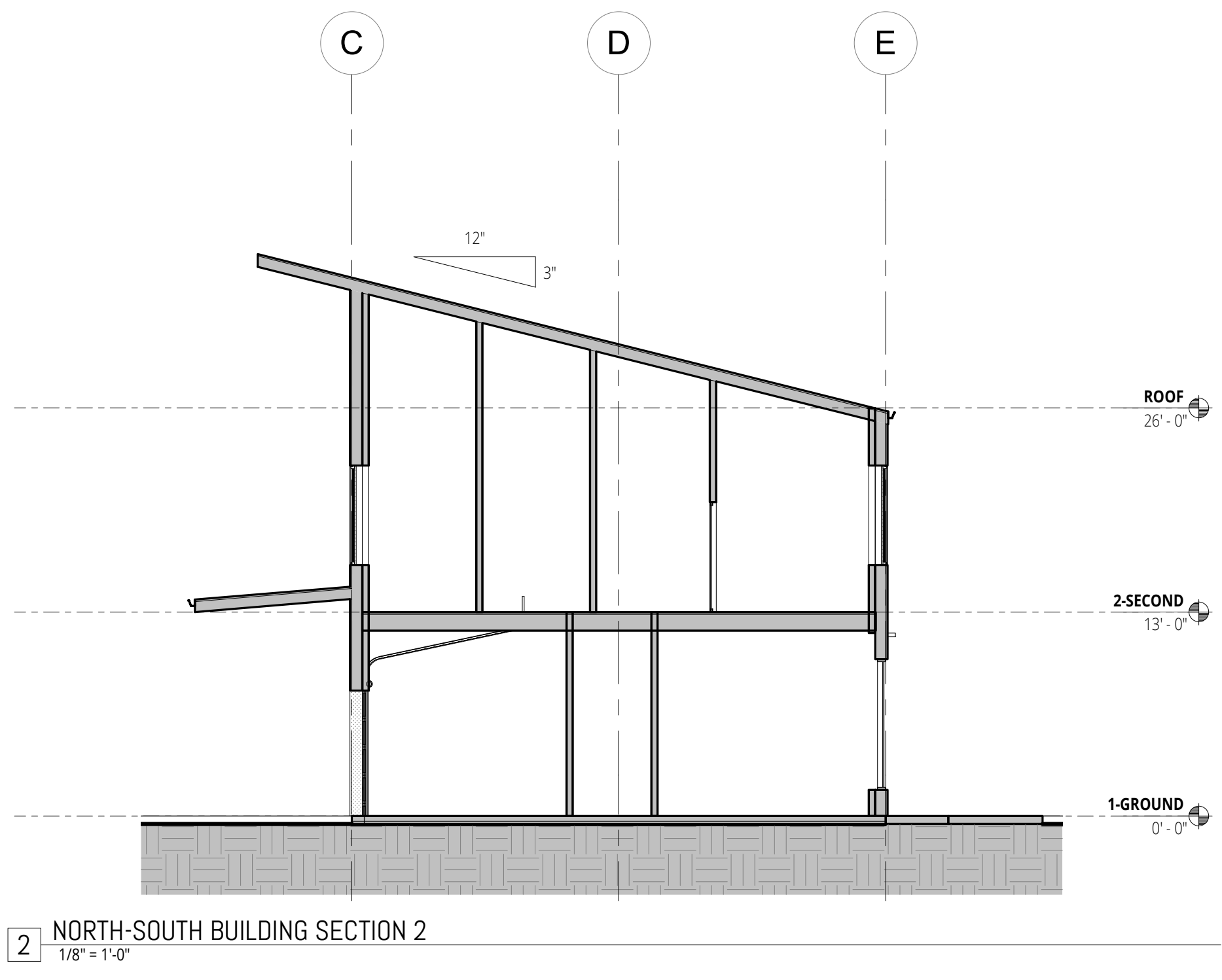
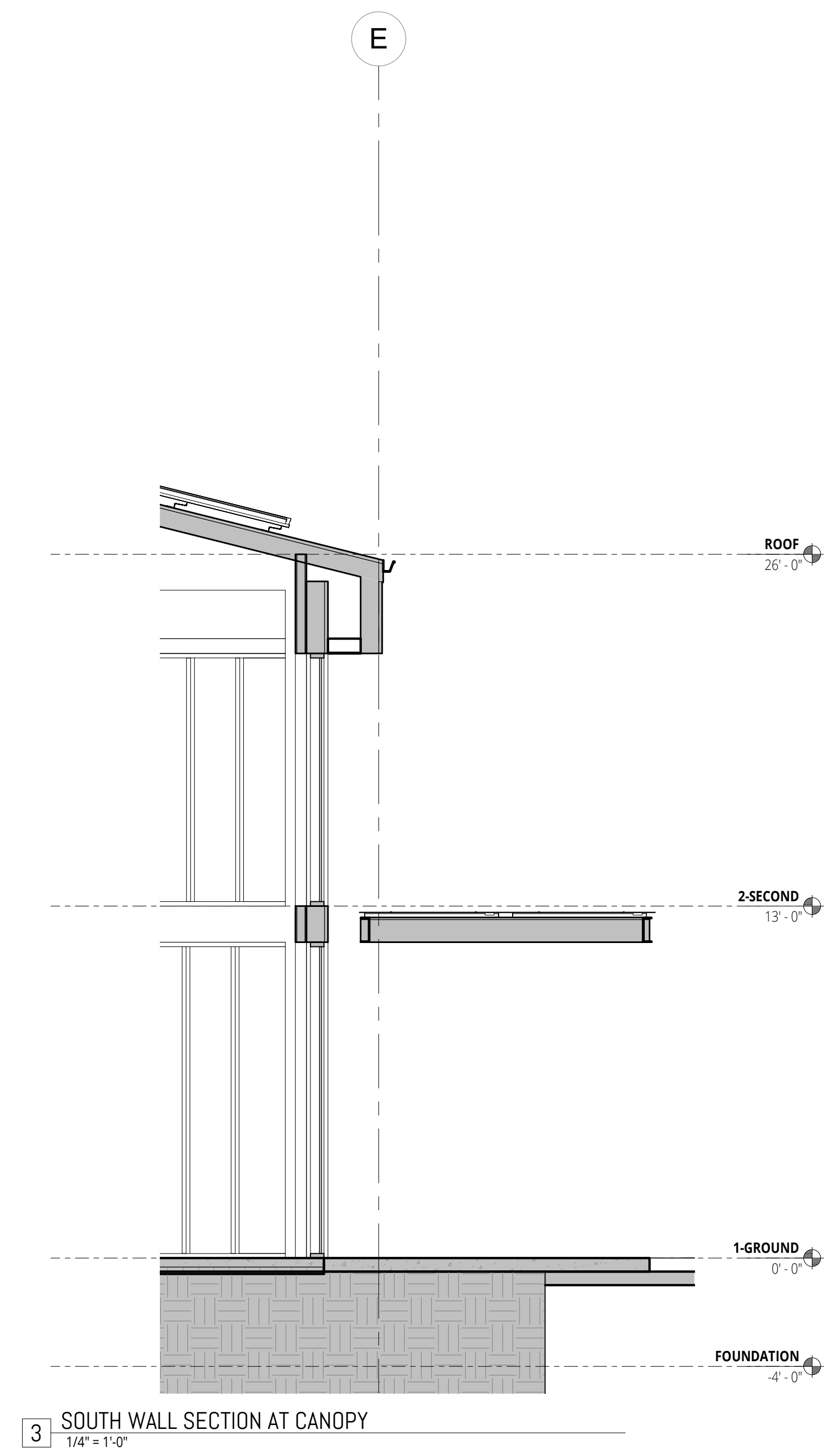
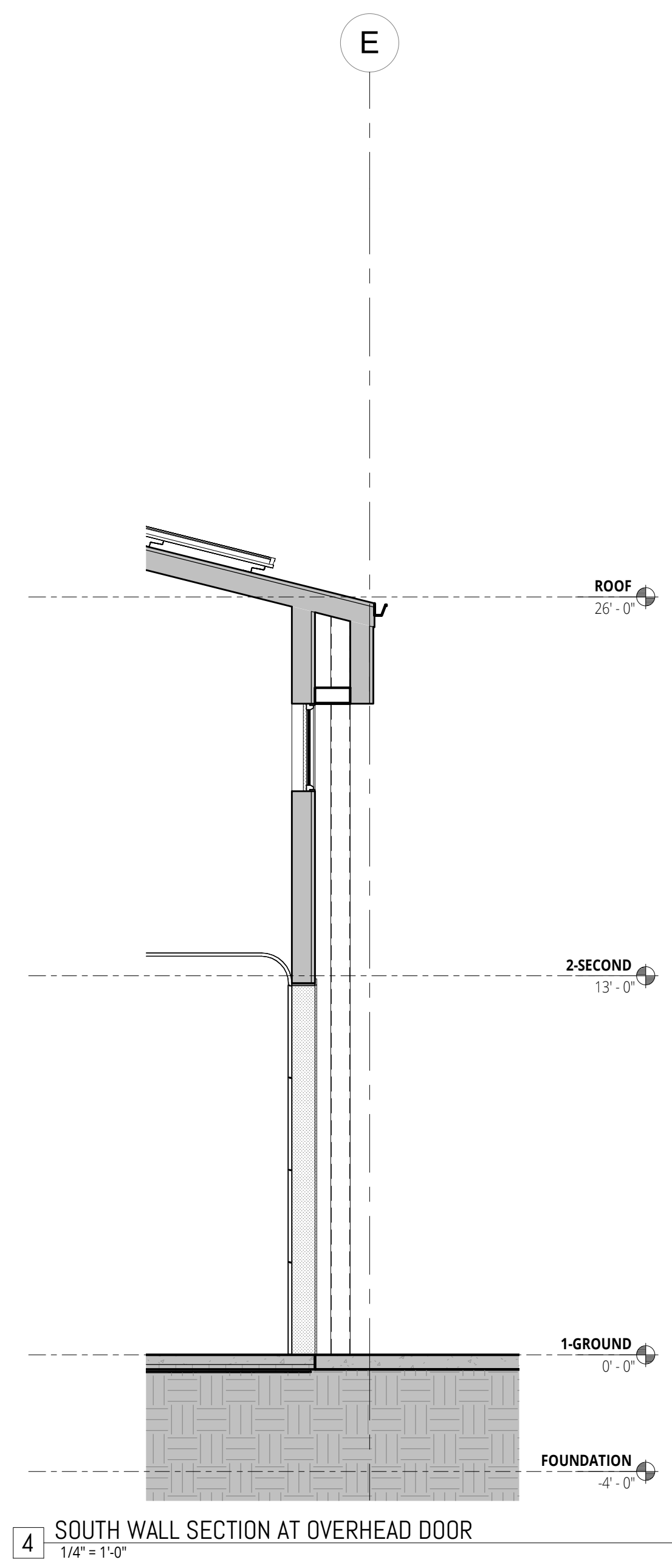
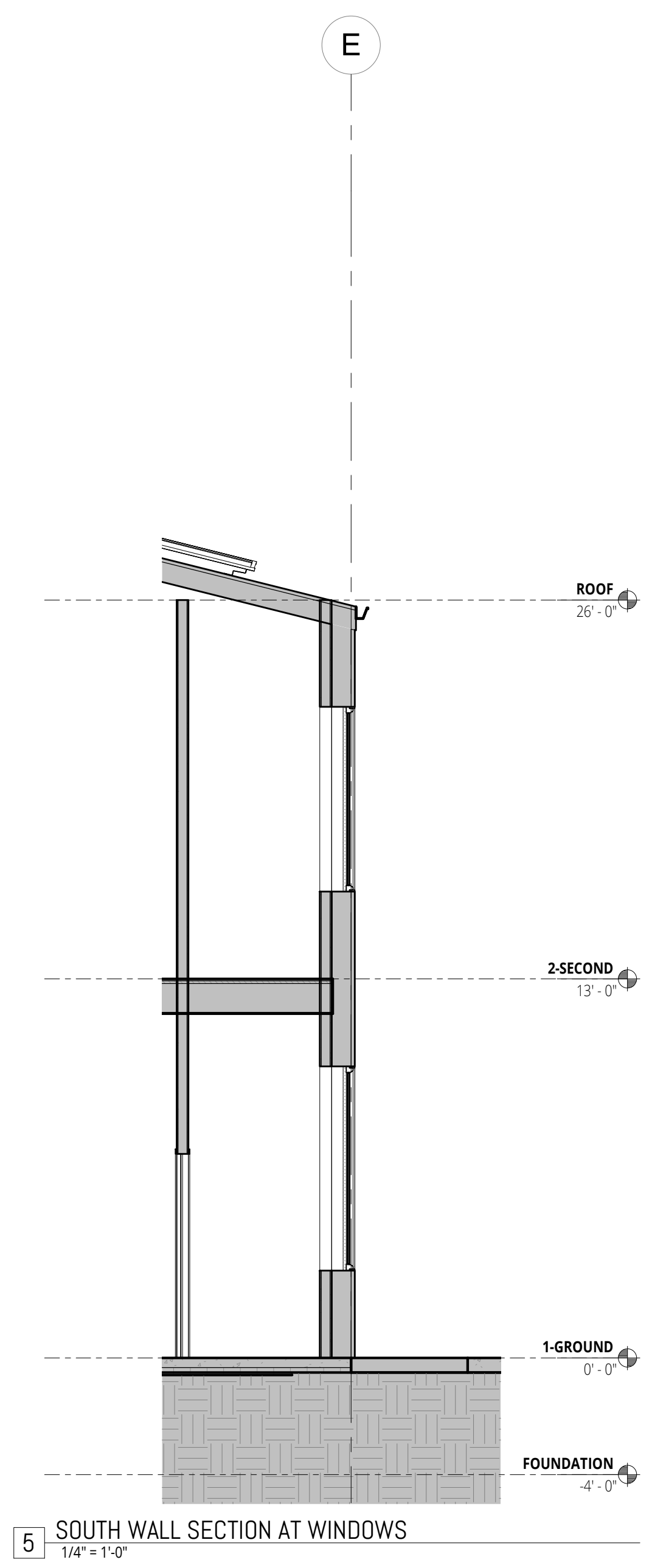
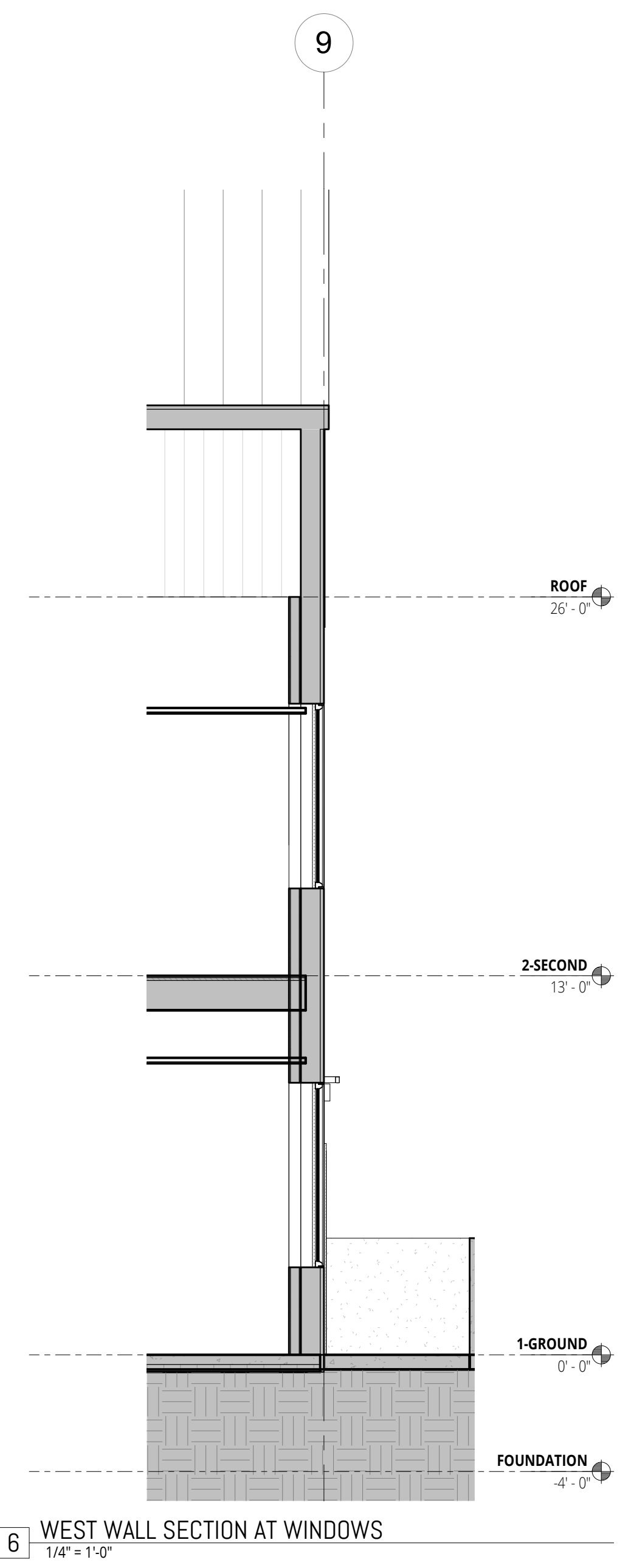
REVISIONS

SITE PLAN REVIEW
ISSUE DATE 07/26/2021

SECTIONS
LU4.00

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SENSITIVE AREA PRE-SCREENING SITE ASSESSMENT

Clean Water Services File Number 21-002160

1. Jurisdiction: Sherwood

2. Property Information (example: 1S234AB01400)
 Tax lot ID(s): _____
2S129A001900

OR Site Address: 20737 SW Olds Place
 City, State, Zip: Sherwood, OR, 97140
 Nearest cross street: Olds Place

3. Owner Information
 Name: Brian Butterfield
 Company: Green Ridge Solar
 Address: _____
 City, State, Zip: Portland, OR, 97213
 Phone/fax: 5033951943
 Email: brian@greenridgesolar.com

4. Development Activity (check **all** that apply)
 Addition to single family residence (rooms, deck, garage)
 Lot line adjustment Minor land partition
 Residential condominium Commercial condominium
 Residential subdivision Commercial subdivision
 Single lot commercial Multi lot commercial
 Other _____

4. Applicant Information
 Name: Jason Havelka
 Company: Summit Engineering LLC
 Address: 30 E 33rd St, #50322
 City, State, Zip: Eugene, OR, 97405
 Phone/fax: 5039972808
 Email: jason@summitengineeringllc.com

6. Will the project involve any off-site work? Yes No Unknown
 Location and description of off-site work: _____

7. Additional comments or information that may be needed to understand your project: _____
Only work not on property is installation of new driveways in right of way.

This application does NOT replace Grading and Erosion Control Permits, Connection Permits, Building Permits, Site Development Permits, DEQ 1200-C Permit or other permits as issued by the Department of Environmental Quality, Department of State Lands and/or Department of the Army COE. All required permits and approvals must be obtained and completed under applicable local, state, and federal law.

By signing this form, the Owner or Owner's authorized agent or representative, acknowledges and agrees that employees of Clean Water Services have authority to enter the project site at all reasonable times for the purpose of inspecting project site conditions and gathering information related to the project site. I certify that I am familiar with the information contained in this document, and to the best of my knowledge and belief, this information is true, complete, and accurate.

Print/type name Jason Havelka Print/type title _____
 Signature ONLINE SUBMITTAL Date 7/16/2021

FOR DISTRICT USE ONLY

Sensitive areas potentially exist on site or within 200' of the site. **THE APPLICANT MUST PERFORM A SITE ASSESSMENT PRIOR TO ISSUANCE OF A SERVICE PROVIDER LETTER.** If Sensitive Areas exist on the site or within 200 feet on adjacent properties, a Natural Resources Assessment Report may also be required.

Based on review of the submitted materials and best available information sensitive areas do not appear to exist on site or within 200' of the site. This Sensitive Area Pre-Screening Site Assessment does NOT eliminate the need to evaluate and protect water quality sensitive areas if they are subsequently discovered. This document will serve as your Service Provider Letter as required by Resolution and Order 19-5, Section 3.02.1, as amended by Resolution and Order 19-22. All required permits and approvals must be obtained and completed under applicable local, State and federal law.

Based on review of the submitted materials and best available information the above referenced project will not significantly impact the existing or potentially sensitive area(s) found near the site. This Sensitive Area Pre-Screening Site Assessment does NOT eliminate the need to evaluate and protect additional water quality sensitive areas if they are subsequently discovered. This document will serve as your Service Provider Letter as required by Resolution and Order 19-5, Section 3.02.1, as amended by Resolution and Order 19-22. All required permits and approvals must be obtained and completed under applicable local, state and federal law.

THIS SERVICE PROVIDER LETTER IS NOT VALID UNLESS _____ CWS APPROVED SITE PLAN(S) ARE ATTACHED.

The proposed activity does not meet the definition of development or the lot was platted after 9/9/95 ORS 92.040(2). **NO SITE ASSESSMENT OR SERVICE PROVIDER LETTER IS REQUIRED.**

Reviewed by Danella Peterson Date 08/23/2021
 Once complete, email to: **SPLReview@cleanwaterservices.org** • Fax: **(503) 681-4439**
OR mail to: SPL Review, Clean Water Services, 2550 SW Hillsboro Highway, Hillsboro, Oregon 97123



Client
Inkbuilt Architecture

Project
Green Ridge Solar
20737 SW Olds Place
Sherwood, OR

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LLC AND ARE NOT TO BE USED OR
REPRODUCED IN ANY MANNER,
WITHOUT PRIOR WRITTEN
AUTHORIZATION.

REVISION SCHEDULE:
REVISION DELTA ISSUE DATE

SHEET TITLE:
**CIVIL
SITE PLAN**

DRAWN BY: JMH
APPROVED BY: JMH

SHEET:

C2.1

JOB NO.:
20-026

GENERAL NOTES

1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF SHERWOOD, THE CURRENT EDITION OF THE OREGON SPECIALTY PLUMBING CODE, AND THE INTERNATIONAL BUILDING CODE. ALL WORK IN THE PUBLIC R.O.W. REQUIRES A PUBLIC WORKS PERMIT.
2. EXCAVATION: EXCAVATE FOR SLABS, PAVING AND OTHER IMPROVEMENTS TO SIZES AND LEVELS SHOWN OR REQUIRED. ALLOW FOR FORM CLEARANCE AND FOR PROPER COMPACTION OF REQUIRED BACKFILLING MATERIAL. EXCAVATORS MUST COMPLY WITH ORS 757.541 THROUGH 757.571; EXCAVATORS SHALL NOTIFY ALL UTILITY COMPANIES FOR LINE LOCATIONS 72 HOURS (MINIMUM) PRIOR TO START OF WORK. DAMAGE TO UTILITIES SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
3. EFFECTIVE EROSION CONTROL IS REQUIRED. EROSION CONTROL DEVICES MUST BE INSTALLED AND MAINTAINED MEETING WES STANDARDS. THE GOVERNING JURISDICTION SHALL, AT ANY TIME, ORDER CORRECTIVE ACTION AND STOPPAGE OF WORK TO ACCOMPLISH EFFECTIVE EROSION CONTROL.
4. EFFECTIVE DRAINAGE CONTROL IS REQUIRED. DRAINAGE SHALL BE CONTROLLED WITHIN THE WORK SITE AND SHALL BE SO ROUTED THAT ADJACENT PRIVATE PROPERTY, PUBLIC PROPERTY, AND THE RECEIVING SYSTEM ARE NOT ADVERSELY IMPACTED. THE GOVERNING JURISDICTION MAY, AT ANY TIME, ORDER CORRECTIVE ACTION AND STOPPAGE OF WORK TO ACCOMPLISH EFFECTIVE DRAINAGE CONTROL. REFER TO WES STANDARDS AND EROSION CONTROL PLAN.
5. CONTRACTOR SHALL ADJUST ALL STRUCTURES IMPACTED BY CONSTRUCTION IMPROVEMENTS TO NEW FINISHED GRADES, AND COORDINATE CONSTRUCTION AROUND EXISTING UTILITIES WITH UTILITY PROVIDERS.
6. CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES NOT SHOWN FOR REMOVAL. DAMAGE TO EXISTING STRUCTURES SHALL BE REPAIRED BY THE CONTRACTOR WITH CONTRACTOR'S OWN RESOURCES.
7. THE BUILDING OUTLINE SHOWN ON THIS PLAN IS SHOWN FOR REFERENCE ONLY AND SHOULD NOT BE USED FOR CONSTRUCTION, WHETHER MEASURING, STAKING OR OTHERWISE. REFER TO ARCHITECTURAL DRAWINGS FOR ALL MEASUREMENTS, DIMENSIONS, OUTLINE AND FEATURES.
8. PAVING, FOUNDATIONS, SITE PREPARATION, CLEARING, GRADING, GRUBBING, SUBGRADE PREPARATION, ETC. BY OTHERS.
6. THE SURVEY INFORMATION SHOWN AS A BACKGROUND SCREEN ON THIS SHEET IS BASED ON A SURVEY DONE BY AKS ENGINEERING AND FORESTRY DATED 06/18/2021, AND IS SHOWN FOR REFERENCE ONLY. SUMMIT ENGINEERING HAS NOT VERIFIED ANY INFORMATION SHOWN ON THE PLANS AND MAKES NO GUARANTEES AS TO THE ACCURACY OF THE INFORMATION SHOWN. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS WITH THEIR OWN RESOURCES PRIOR TO THE START OF ANY CONSTRUCTION OR ORDERING MATERIALS. NOTIFY ENGINEER OF ANY DISCREPANCIES WITH THE SITE WITH RESPECT TO ANY ELEMENT SHOWN ON THESE PLANS.

CONSTRUCTION NOTES

1. 6" VERTICAL CURB.
2. CONCRETE SIDEWALK.
3. BACKFLOW PREVENTION IN VAULT PER UTILITY PLAN.
4. FIRE TRUCK/ENGINE TURN RADII.
5. BIKE PARKING PER ARCH.
6. TRASH ENCLOSURE PER ARCH.
7. REMOVE EXISTING CURB AND SIDEWALK. INSTALL CITY STANDARD CONCRETE DRIVEWAY PER RD-42.
8. ADA PARKING SPACE.
9. LANDSCAPE AREA, SEE LANDSCAPING PLANS.
10. EXISTING PUBLIC UTILITY EASEMENT.
11. IRRIGATION POINT OF CONNECTION, SEE UTILITY PLAN.
12. WATER METER, SEE UTILITY PLAN.
13. FDC AND PIV, SEE UTILITY PLAN.
14. ADA CURB RAMP.
15. FIRE HYDRANT, SEE UTILITY PLAN.
16. NEW UTILITY EASEMENT FOR BACKFLOW PREVENTION VAULT AND HYDRANT.

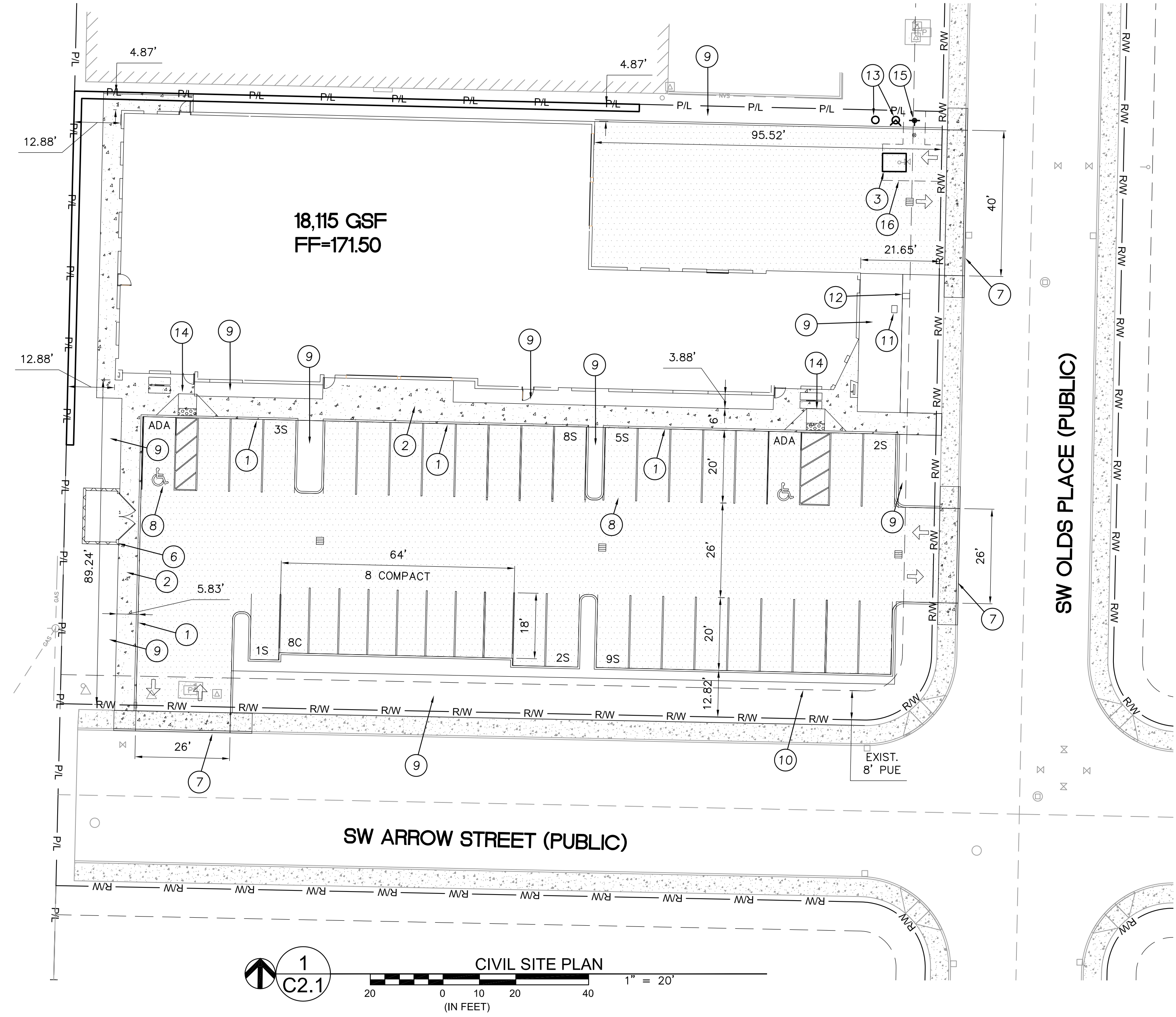
LEGEND

PROPOSED:	
	ASPHALT PAVING
	DRIVEWAY, CONCRETE PADS AND SIDEWALK
	CATCH BASIN
	WATER METER
	WATER VAULT
	FDC
	6" VERTICAL CURB
	RETAINING WALL, SEE C2.2
EXISTING:	
	EXISTING EDGE OF PAVEMENT
	STORM SEWER MANHOLE
	STORM SEWER LINE
	CATCH BASIN
	WATER METER
	WATER LINE
	WATER VALVE
	SANITARY SEWER MANHOLE
	SANITARY SEWER LINE
	POWER VAULT
	POWER JUNCTION BOX
	COMMUNICATIONS JUNCTION BOX
	GAS LINE
	UNDERGROUND COMMUNICATIONS LINE
	RIGHT OF WAY
	PROPERTY LINE

SITE DATA

SITE AREA	40,070 SF
LANDSCAPE AREA	6,844 SF (17.1%)
ASPHALT PARKING	13,765 SF
ASPHALT AT TRUCK COURT	3,813 SF
BUILDING FOOT PRINT	11,971 SF

VEHICLE PARKING SPACES	
STANDARD	30 SPACES
ADA	2 SPACES
COMPACT	8 SPACES
TOTAL PROVIDED	40 SPACES
TOTAL REQUIRED	40 SPACES
BICYCLE SPACES PROVIDED	4 SPACES
BICYCLE SPACES REQUIRED	3 SPACES



THE BACKGROUND SURVEY INFORMATION SHOWN ON THESE PLANS WAS COMPLETED BY AKS ENGINEERING AND FORESTRY LLC, DATED JUNE 18, 2021. ALL INFORMATION SHOWN SHOULD BE VERIFIED BY THE CONTRACTOR WITH THEIR RESOURCES PRIOR TO EXCAVATING OR ORDERING MATERIALS.

**FIRE CODE / LAND USE / BUILDING REVIEW
APPLICATION**

Exhibit A5



North Operating Center
11945 SW 70th Avenue
Tigard, OR 97223
Phone: 503-649-8577

South Operating Center
8445 SW Elligsen Rd
Wilsonville, OR 97070
Phone: 503-649-8577

REV 6-30-20

Project Information

Applicant Name: MELYNDA RETALLACK - INK BUILT ARCH
Address: 2808 NE MLK JR BLVD. STE G PDX OR 97212
Phone: 503-701-5277
Email: MEL@INKBUILTDESIGN.COM
Site Address: 20737 SW OLDS PLACE
City: SHERWOOD
Map & Tax Lot #: 2S129A001900
Business Name: GREEN RIDGE SOLAR
Land Use/Building Jurisdiction: SHERWOOD
Land Use/ Building Permit # LU 2021- 018

Choose from: Beaverton, Tigard, Newberg, Tualatin, North Plains, West Linn, Wilsonville, Sherwood, Rivergrove, Durham, King City, Washington County, Clackamas County, Multnomah County, Yamhill County

Project Description

This development proposal includes new site improvements - parking, on site circulation, landscaping and a new building to house Green Ridge Solar's new headquarters. The new building will include warehouse space and offices for Green Ridge Solar and also offices for their tenant, Butterfield Testing Labs.

Permit/Review Type (check one):

- Land Use / Building Review - Service Provider Permit
- Emergency Radio Responder Coverage Install/Test
- LPG Tank (Greater than 2,000 gallons)
- Flammable or Combustible Liquid Tank Installation (Greater than 1,000 gallons)
 - * Exception: Underground Storage Tanks (UST) are deferred to DEQ for regulation.
- Explosives Blasting (Blasting plan is required)
- Exterior Toxic, Pyrophoric or Corrosive Gas Installation (in excess of 810 cu.ft.)
- Tents or Temporary Membrane Structures (in excess of 10,000 square feet)
- Temporary Haunted House or similar
- OLCC Cannabis Extraction License Review
- Ceremonial Fire or Bonfire (For gathering, ceremony or other assembly)

For Fire Marshal's Office Use Only

TVFR Permit # 2021-0096
Permit Type: SPP
Submittal Date: 9/21/2021
Assigned To: DFM Mooney
Due Date: _____
Fees Due: 0
Fees Paid: _____

Approval/Inspection Conditions

(For Fire Marshal's Office Use Only)

This section is for application approval only

Tom Mooney 9/21/2021
Fire Marshal or Designee Date

Conditions:

See conditions on plans

See Attached Conditions: Yes No

Site Inspection Required: Yes No

This section used when site inspection is required

Inspection Comments:

Final TVFR Approval Signature & Emp ID Date

SITE PLAN NOTES

- A. SEE PLANTING PLANS FOR PLANTING INFORMATION.
- B. SEE CIVIL FOR ON-SITE GRADING AND UTILITY INFORMATION.
- C. INSTALL REQUIRED SIGNAGE INCLUDING BUT NOT LIMITED TO BUILDING ADDRESS, FIRE DEPARTMENT CONNECTION, FIRE RISER ACCESS, ETC. SEE SHEET AS.01.
- D. SLOPE FINISHED GRADE AT 2% MINIMUM AWAY FROM STRUCTURE FOR A DISTANCE OF 10'.
- E. SLOPE IMPERVIOUS PEDESTRIAN WALKWAYS AND STAIRS TO DRAIN OR PERVIOUS PLANTER AT 1.5%.
- F. PROVIDE CONTINUOUS FOOTING DRAINS, ROUTE TO FACILITY PER CIVIL.
- G. ROUTE ALL DRAINS/DOWNSPOUTS TO FACILITIES, SEE CIVIL.
- H. PROVIDE WHEEL STOPS AT ALL PARKING SPACES. 4" HIGH BY 3' LONG, LOCATED 3' FROM THE END OF THE PARKING SPACE.
- I. ALL EXTERIOR LIGHTING IS BUILDING MOUNTED, SEE ELEVATIONS FOR LOCATIONS.



CONDITIONALLY APPROVED PLANS
(see attached letter)

APPROVAL OF PLANS IS NOT AN APPROVAL OF OMISSIONS OR OVERSIGHTS.

Deputy Fire Marshal II

Permit # 2021-0096

Conditions:

- 1) Paint curbing red in color near fire hydrant and FDC.
- 2) Turning radius on plans needs to be 28' and 48'.
- 3) Install Knox Box at main entrance.
- 4) Install and maintain portable fire extinguishers within the building.

BUILDING AREA SCHEDULE FS

LEVEL	NAME	AREA
1-GROUND	OFFICE 1	2,786 SF
1-GROUND	OFFICE 2	2,575 SF
1-GROUND	WAREHOUSE	6,603 SF
GRAND TOTAL		11,964 SF
2-SECOND	OFFICE 1	2,786 SF
2-SECOND	OFFICE 2	2,614 SF
GRAND TOTAL		5,401 SF
GRAND TOTAL		17,365 SF

ZONING REQUIREMENTS
PARKING REQUIREMENTS, SMC 16.94.020.A
 6,603 GSF INDUSTRIAL * 1.6/1,000 = 11 CAR SPACES = 1 BIKE SPACE
 10,762 GSF OFFICE * 2.7/1,000 = 29 CAR SPACES = 2 BIKE SPACES
 40 PARKING SPACES REQ'D
 40 PARKING SPACES PROVIDED, 9 ARE COMPACT (25% COMPACT MAX)

BIKE PARKING
 3 BIKE PARKING SPACES REQ'D
 4 BIKE PARKING SPACES PROVIDED

SEE A0.51 PLANTING PLAN FOR LANDSCAPING INFO.

PRELIMINARY
NOT FOR CONSTRUCTION

GREEN RIDGE SOLAR HEADQUARTERS
20737 SW OLDS PLACE | SHERWOOD | OR 97140

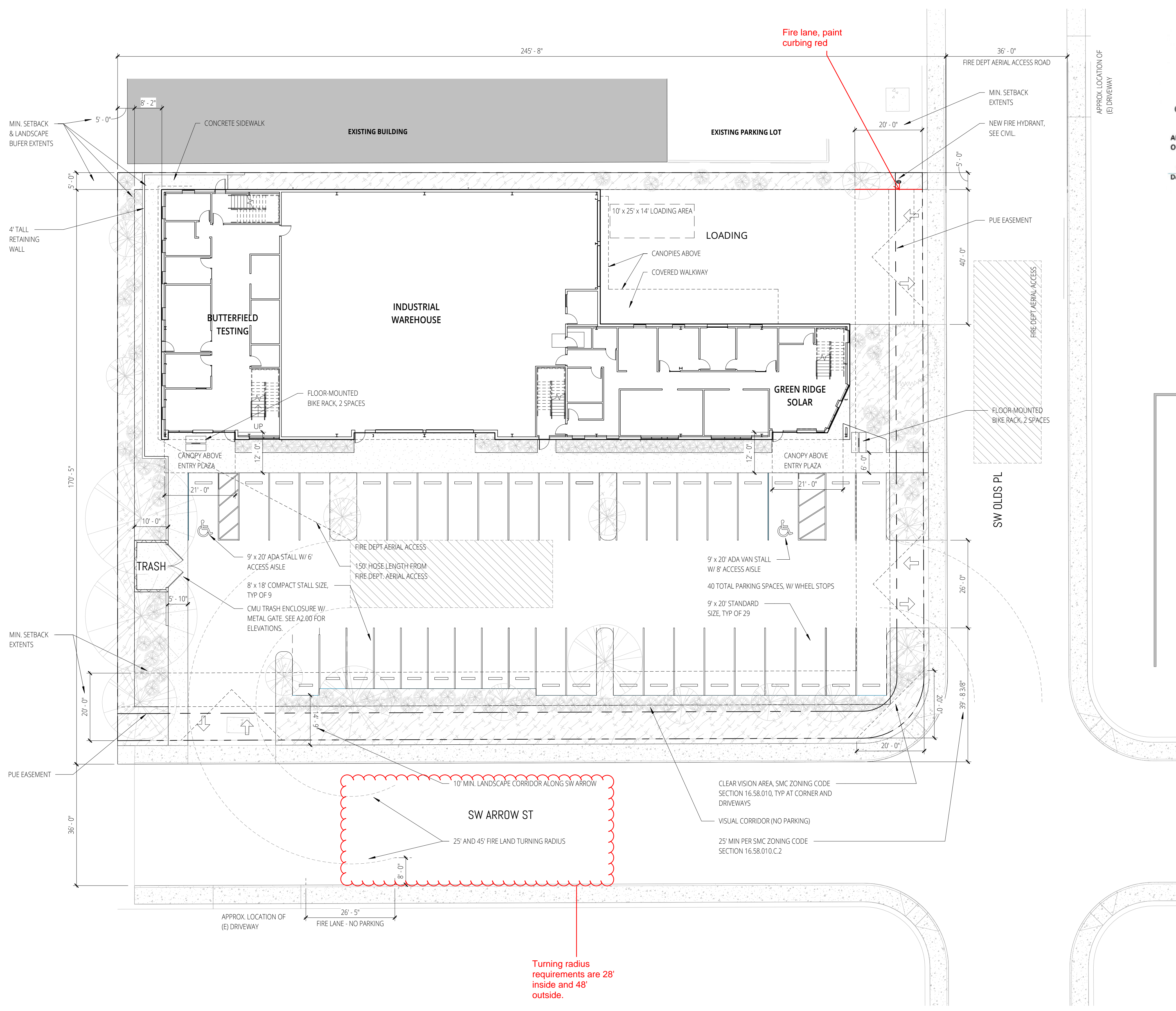
REVISIONS

SITE PLAN REVIEW
ISSUE DATE 07/26/2021

SITEPLAN FS-1

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9/13/2021 11:14:24 AM



1 SITE PLAN FS
1/16" = 1'-0"

Memorandum

To: Melynda Retallack
Ink:Built Architecture

From: Nick Mesler, EIT
Daniel Stumpf, PE

Date: August 5, 2021

Subject: Green Ridge Solar (20737 SW Olds Place)
Trip Generation Analysis



Introduction

This memorandum reports and evaluates the transportation impacts related to the proposed Green Ridge Solar warehouse building, to be located at 20737 SW Olds Place in Sherwood, Oregon. The proposed development will include the construction of an approximate 17,000-18,000 square foot building, where approximately 3,000 square feet will be utilized as office space while the remaining 15,000 square feet will be utilized as warehousing.

The purpose of this memorandum is to examine the projected trip generation of the proposed development for the morning peak hour, evening peak hour, and average weekday. Based on the trip generation projections, the City of Sherwood's impact thresholds for requiring a full transportation impact study will be evaluated.

Location Description

Project Site Description

The subject site is located north of SW Arrow Street, west of SW Olds Place, and south/east of other commercial and industrial properties. The site is currently undeveloped and consists of tax lot 2S129A Lot 1900 which encompass an approximately total of 0.92 acres. The proposed development will take access via driveways located along SW Arrow Street and SW Olds Place.

Vicinity Roadways

The proposed development is expected to impact three (3) nearby vicinity roadways. Table 1 provides a description of each of these vicinity roadways.

Table 1: Vicinity Roadway Descriptions

Street Name	Jurisdiction	Functional Classification	Speed (MPH)	Curbs & Sidewalks	On-Street Parking	Bicycle Facilities
SW Arrow Street	City of Sherwood	Collector	25 mph	Both Sides	Both Sides	None
SW Olds Place	City of Sherwood	Local	25 mph	Both Sides	Both Sides	None
SW Tualatin-Sherwood Road	Washington County	Arterial	35/45 mph	Both Sides	Not Permitted	Class II Buffered Bike Lanes

Figure 1 below presents an aerial image of the nearby vicinity with the project site outlined in yellow and the City of Sherwood City Limits outlined in red.



Figure 1: Aerial Photo of Site Vicinity (Image from Google Earth)



Trip Generation

The proposed office building will include the construction of an approximate 18,000 square foot building, where approximately 3,000 square feet will be utilized as office space while the remaining 15,000 square feet will be used as warehousing. To estimate the number of trips that will be generated by the proposed use, trip rates from the *Trip Generation Manual*¹ were used.

To estimate the trip generation of the 3,000 square feet of office space, data from land use code 710, *General Office Building*, is based on the square-footage of the gross building floor area. To estimate the trip generation of the 15,000 square feet of warehousing space, data from land use code 150, *Warehousing*, is based on the square-footage of the gross building floor area.

Based on the number of trips generated by each land use, it was determined that the site is anticipated to generate 6 new morning peak hour trips, 6 new evening peak hour trips, and 56 new average daily weekday trips. Table 2 provides a summary of the trip generation of the two project uses.

Table 2: Trip Generation Summary

Land Use	ITE Code	Size	Morning Peak Hour			Evening Peak Hour			Weekday
			In	Out	Total	In	Out	Total	Total
Warehousing	150	15,000 SF	2	1	3	1	2	3	26
General Office	710	3,000 SF	3	0	3	0	3	3	30
Total		18,000 SF	5	1	6	1	5	6	56

To estimate the truck trip generation of the 3,000 square feet of office space, data from land use code 710, *General Office Building*, is based on the square-footage of the gross building floor area. To estimate the truck trip generation of the 15,000 square feet of warehousing space, data from land use code 150, *Warehousing*, is based on the square-footage of the gross building floor area.

Based on the number of truck trips generated by each land use, it was determined that the site is anticipated to generate no new morning or evening peak hour trips, and 9 new average daily weekday trips. Table 2 provides a summary of the trip generation of the two project uses.

Table 3: Truck Trip Generation Summary

Land Use	ITE Code	Size	Morning Peak Hour			Evening Peak Hour			Weekday
			In	Out	Total	In	Out	Total	Total
Warehousing	150	15,000 SF	0	0	0	0	0	0	9
General Office	710	3,000 SF	0	0	0	0	0	0	0
Total		18,000 SF	0	0	0	0	0	0	9

¹ Institute of Transportation Engineers (ITE), *Trip Generation Manual*, 10th Edition, 2017.



Approval Criteria

Per the City of Sherwood's Development Code, Sections 16.106.080.B as well as 16.106.040.K, the preparation of a Traffic Impact Analysis (TIA) is required if the proposed development generates 50 or more evening peak hour trip impacts on OR-99W, 100 or more evening peak hour trip impacts on the local transportation system, or generates 400 average daily trips impacts to the transportation system. The proposed project is anticipated to generate a total of six (6) peak hour trips and 56 average daily trips. Thus, less than 50 peak hour trips and less than 400 average daily trips will access any public roadway facilities.

Per City Municipal Code Section 16.106.080.B.4. *"An increase in use of any adjacent street or direct property approach road to Highway 99W by ten (10) vehicles or more per day that exceed the twenty thousand-pound gross vehicle weight."* The proposed project is anticipated to generate a total of nine (9) truck trips, equating to five (5) truck vehicles. Thus, less than ten (10) truck vehicles per day will access any public roadway facilities.

Based on the trip generation of the proposed development, none of the aforementioned trip impact thresholds for requiring a TIA are projected to be met.

Conclusions

The proposed development of the approximate 18,000 square foot office/warehousing building is not projected to trigger the City of Sherwood's trip impact thresholds requiring the need for additional traffic impact analyses. Therefore, the construction and occupancy of the proposed building is not expected to create significant impacts to the transportation system, whereby this trip generation analysis is sufficient to capture the trip impacts of the proposed development.

If you have any questions or concerns regarding this analysis or need further assistance, please don't hesitate to contact us.





TRIP GENERATION CALCULATIONS

Land Use: Warehousing
Land Use Code: 150
Variable: 1,000 Square Feet
Variable Quantity: 15
Vehicle Type: All Vehicles

AM PEAK HOUR

Trip Rate: 0.17

	Enter	Exit	Total
Directional Distribution	79%	21%	
Trip Ends	2	1	3

PM PEAK HOUR

Trip Rate: 0.19

	Enter	Exit	Total
Directional Distribution	25%	75%	
Trip Ends	1	2	3

WEEKDAY

Trip Rate: 1.74

	Enter	Exit	Total
Directional Distribution	50%	50%	
Trip Ends	13	13	26



TRIP GENERATION CALCULATIONS

Land Use: Warehousing
Land Use Code: 150
Variable: 1,000 Square Feet
Variable Quantity: 15
Vehicle Type: Trucks

AM PEAK HOUR

Trip Rate: 0.02

	Enter	Exit	Total
Directional Distribution	52%	48%	
Trip Ends	0	0	0

PM PEAK HOUR

Trip Rate: 0.03

	Enter	Exit	Total
Directional Distribution	52%	48%	
Trip Ends	0	0	0

WEEKDAY

Trip Rate: 0.6

	Enter	Exit	Total
Directional Distribution	50%	50%	
Trip Ends	5	5	10



TRIP GENERATION CALCULATIONS

Land Use: General Office Building
Land Use Code: 710
Setting/Location: General Urban/Suburban
Variable: 1000 Sq Ft Gross Floor Area
Variable Value: 3.0
Vehicle Type: All Vehicles

AM PEAK HOUR

Trip Rate: 1.16

	Enter	Exit	Total
Directional Distribution	86%	14%	
Trip Ends	3	0	3

PM PEAK HOUR

Trip Rate: 1.15

	Enter	Exit	Total
Directional Distribution	16%	84%	
Trip Ends	0	3	3

WEEKDAY

Trip Rate: 9.74

	Enter	Exit	Total
Directional Distribution	50%	50%	
Trip Ends	15	15	30

Source: TRIP GENERATION, Tenth Edition



TRIP GENERATION CALCULATIONS

Land Use: General Office Building
Land Use Code: 710
Setting/Location: General Urban/Suburban
Variable: 1000 Sq Ft Gross Floor Area
Variable Value: 3.0
Vehicle Type: Trucks

AM PEAK HOUR

Trip Rate: 0.05

	Enter	Exit	Total
Directional Distribution	86%	14%	
Trip Ends	0	0	0

PM PEAK HOUR

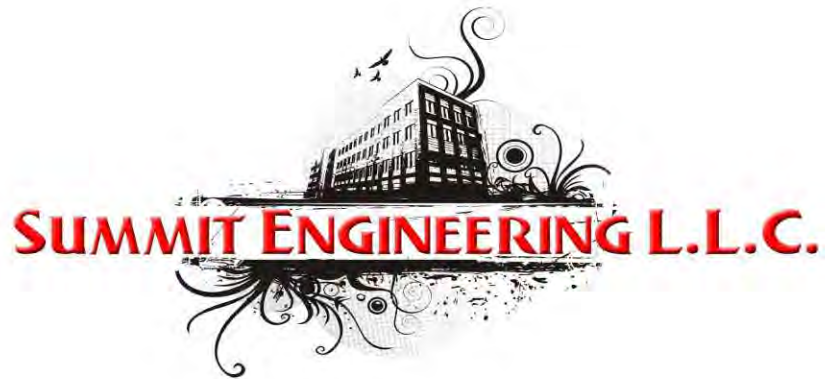
Trip Rate: 0

	Enter	Exit	Total
Directional Distribution	16%	84%	
Trip Ends	0	0	0

WEEKDAY

Trip Rate: 0.12

	Enter	Exit	Total
Directional Distribution	50%	50%	
Trip Ends	0	0	0



Presents

Preliminary Stormwater Analysis

for

New building at Sherwood
Commercial Center - Lot 3
20737 SW Olds Pl
Sherwood, OR 97140

Client:

Ink:Built Architects
2808 NE MLK JR BLVD. STE G
Portland, OR 97212

Project No. 20-026

Date: November 18, 2021

Summit Engineering LLC
30 E 33rd Ave #50322 Eugene, OR 97405 | 971.251.0194
info@summitengineeringllc.com

Designer's Certification and Statement:

"I hereby certify that this Preliminary Stormwater Analysis for a New building at Sherwood Commercial Center - Lot 3 in Sherwood, OR has been prepared by me or under my supervision and meets minimum standards of Clean Water Services and normal standards of engineering practice. I hereby acknowledge and agree that the jurisdiction does not and will not assume liability for the sufficiency, suitability, or performance of drainage facilities designed by me."



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Project Description

The project site lies at 20737 SW Olds Place in Sherwood, OR (Lot 3 of Sherwood Commercial Center), bounded by industrial sites on all sides. The site lies in an industrial subdivision and the lots within the subdivision have been cleared and mass graded in preparation for development. The subdivision contains several developed sites, and has primary vehicle access on SW Olds Place.

The site lies in the north central portion of the Rock Creek subwatershed of the Tualatin River. This subwatershed includes portions of Sherwood and rural, unincorporated Washington County that drain into the Tualatin River and its tributaries. Much of this subwatershed is highly urbanized and modified from its historic form. The upper reaches of Rock Creek include farmland and secondary forests. Rock Creek eventually reaches the Tualatin River, which meanders east and south eventually to enter the Willamette River.

The project consists of the construction of a new building, parking and landscaping. The building will be used for office, equipment storage and warehouse space.

	<u>Existing</u>	<u>New</u>	<u>Replaced</u>
Impervious surface (on site)	0 sf	33,162 sf	0 sf
Roof top	0 sf	11,972 sf	0 sf
Asphalt	0 sf	17,578 sf	0 sf
Sidewalks	0 sf	2,748 sf	0 sf
Impervious surface (off site)	0 sf	0 sf	500 sf
Driveways	0 sf	0 sf	250 sf
Sidewalks	0 sf	0 sf	0 sf
Total land disturbance (off and on site)		40,570 sf	

- References to CWS R&O 19-05 Section 2.04.2.m

Requirement:

1. Maps showing the following information:

A) Upstream basin flowing through the site with contours.

Refer to Exhibit 1 and 2: basin overview and proposed conditions with contours. The extent of the upstream basin can be considered as the western edge of Lot 3 and to the west; the upstream basin shall constitute its own drainage area.

The project area of Lot 3 consists of approximately 238 feet of mass graded earth at 2% slope from west to east for most of the site. Since mass grading, the site has not been developed.

B) Downstream basin to the point where analysis is required in the downstream analysis detailed in subsection (3) and (4) below, with contours.

Refer to Exhibit 1: basin overview. As noted in the summary of requirements of Section 2.04.2.m.3 below, the downstream basin continues to the point of discharge to open waterway as noted on Exhibit 1.

C) Site plan showing development layout with contours.

Refer to Exhibit 2: proposed conditions for the proposed development.

D) Existing stormwater facilities on and adjacent to the site.

Refer to Exhibit 1: the basin overview indicates an existing engineered swale on the east boundary of the Sherwood Commercial Center subdivision. This swale provides treatment for all impervious surfaces of the developed subdivision. No other known above-ground stormwater facilities existing on site or on adjacent properties.

E) Stormwater facilities proposed to be constructed by the project.

Refer to Exhibit 2: proposed conditions for the proposed development. No stormwater treatment are proposed for this development. The impervious areas of the building roof and hard surfaces will be routed to a proposed private underground pipe storage system and then to the existing storm stub on site, that flows to the public storm sewer in SW Olds Place. This storm sewer drains to the existing swale along the eastern boundary of the Sherwood Commercial Center subdivision.

2. Calculations for:

A) Sizing of water quality and quantity facilities.

Refer to: no stormwater treatment systems are proposed for this development. Refer to the Methodology section for calculations and summary results of the proposed private underground pipe storage system.

B) Sizing of conveyance system, including calculations showing portions of existing conveyance system that are not proposed to be altered have adequate capacity according to the criteria in

these rules.

Refer to: pipe sizing worksheet for conveyance sizing. (included with permit submittal)

3. Review of Downstream Conveyance System:

A) For each development constructing new impervious surface of greater than 5,280 square feet, or collecting and discharging greater than 5,280 square feet of impervious area, except for the construction of a detached single family dwelling or duplex, the design Engineer shall perform a capacity and condition analysis of existing downstream storm facilities and conveyance elements receiving flow from the proposed development.

B) The analysis shall extend downstream to a point in the drainage system where the additional flow from the proposed development site constitutes 10 percent or less of the total tributary drainage flow.

C) Where the additional flow from the proposed development drops to less than 10 percent of the total tributary drainage flow, then the analysis will continue for the lesser of:

i. One-quarter (1/4) of a mile; or

ii. Until the additional flow constitutes less than 5 percent of the total tributary drainage flow.

D) When the downstream analysis does not continue for at least one-quarter (1/4) mile, the design engineer shall provide a stamped Certification of Investigation that states the design Engineer has visually investigated the downstream system for at least one-quarter (1/4) mile downstream and is aware of no observable downstream impacts to structures.

Results:

A brief summary of the downstream storm system is as follows. The peak flows listed below are taken from models using the SBUH methodology and 25-year storm event.

Part A and B:

- This site is located at the intersection of SW Olds Place and SW Arrow St. Lot 3 is the property at the northwest corner of this intersection.

- The point of discharge of the new building roof, asphalt, and sidewalk impervious areas is into an existing storm sewer stub as shown on Exhibit 2 labeled "site discharge." The subdivision has been built with a storm sewer system to collect stormwater runoff from all lots in the subdivision. This storm system does not accept flows from any other source outside of the subdivision. The storm sewer system flows to a swale at the eastern boundary of the subdivision that has been sized to treat runoff from all of the impervious area of the subdivision.

- The storm sewer system of the subdivision has been sized to convey tributary runoff from each of the lots of the subdivision and convey them to the swale at the eastern boundary of the

subdivision. Since no flow is proposed to enter the storm sewer from the proposed development site other than what the storm sewer was designed to accommodate from this lot, the storm sewer has adequate capacity to convey flows to the swale.

- At the point of discharge into the swale, the runoff from the proposed development site is 5% of the runoff of the total tributary drainage flow of the subdivision. From an SBUH model, the runoff quantities are:

Discharge runoff from proposed development = 0.716 cfs at 25-year peak undetained flow

Discharge runoff from subdivision = 13.865 cfs at 25-year peak undetained flow

Part C:

- The proposed development contributes 5% of the total tributary drainage flow. Proceed to part D.

Part D:

- The point of discharge of the swale is to an open waterway within a vegetated and wooded area that borders an open agricultural area, and is not well defined. This agricultural area is part of a local drainage basin that contributes flow to Rock Creek. Rock Creek is a mostly perennial stream that conveys stormwater runoff out of the eastern portion of the City of Sherwood, and originates 2-3 miles to the south off of the eastern flanks of Parrett Mountain, a local high point at the southern end of the Chehalem Mountains. The stream bed of Rock Creek adjacent to and downstream of the Sherwood Commercial Center subdivision lies within the city limits and nearby agricultural areas. The stream bed has been highly modified from its original form, and in its present form serves to convey municipal stormwater runoff north to the Tualatin River. The channel of Rock Creek has been straightened from its historic form as it flows north through agricultural areas away from the Sherwood Commercial Center subdivision.

- Rock Creek flows north from the Sherwood Commercial Center subdivision through approximately 0.85 miles of agricultural areas before crossing under Highway 99W.

- When the downstream capacity analysis has not continued 1/4 mile downstream of the where the contributing flow drops to less than 10 percent of total tributary drainage flow, the design engineer shall provide a stamped Certification of Investigation that states the design engineer has visually investigated the downstream system for at least one-quarter (1/4) mile downstream and is aware of no observable downstream impacts to structures.

- This analysis and report shall serve as Certification of Investigation that signifies the design engineer has visually investigated the downstream system for at least one-quarter (1/4) mile downstream and is aware of no observable downstream impacts to structures.

- This concludes the downstream analysis.

- References to CWS R&O 19-05 Section 4.08.1.d.1. Quality.

Requirement:

All new impervious surfaces and three times the modified impervious surface, up to the total existing impervious surface on the site.

Results:

The existing swale along the eastern boundary of the Sherwood Commercial Center subdivision provides water quality treatment for all properties with the subdivision. Therefore, no stormwater quality facilities are proposed with this development.

- References to CWS R&O 19-05 Section 4.08.1.d.2. Quantity.

Requirement:

Quantity required for conveyance capacity or hydromodification: All new and modified impervious area created by the development.

Results:

For this project, only new impervious area on site will be detained in proposed underground pipe storage. New impervious area on site will be detained for hydromodification standards only since no downstream deficiencies have been identified in the downstream analysis.

Area on site = 33,162 sf

- References to CWS R&O 19-05 Section 4.03.2. Hydromodification Assessment Required.

Requirement:

Unless specifically waived in writing by the District, a Hydromodification Assessment is required of all activities described in Section 4.03.1, unless the activity meets any of the following criteria:

- a. The project results in the addition and/or modification of less than 12,000 square feet of impervious surface.
- b. The project is located in an area with a District approved subbasin strategy with an identified regional stormwater management approach for hydromodification.

Results:

1. Risk level identified on the district's website as "low."
 2. Development class identified as "developed" (pre-2002).
 3. Project size category identified as "medium."
- References to CWS R&O 19-05 Section 4.03.7.a. Criteria for Requiring Implementation of a Hydromodification Approach.

Requirement:

A Hydromodification Approach shall be implemented on-site unless any of the following conditions exist:

1. The result of Section 4.03.5 is that the project is Category 1 and the applicant selects Fee-In-Lieu; or
2. The project is located within a District-approved stormwater management strategy area, and implementation of an approach is not a requirement of the development; or
3. In the judgment of the District, implementation of an on-site hydromodification approach is impracticable or ineffective due to topography, soils, landslide risk, high water table, or other site conditions. The District may require a site-specific analysis (e.g., infiltration testing, geotechnical evaluation) to support such a determination; or
4. In the judgment of the District, on-site implementation results in the inefficient use of District or City resources for long-term operations and maintenance;
5. In the judgment of the District, the proposed development is likely to have a negligible impact and on-site implementation of a hydromodification approach will result in little or no benefit to the Receiving Reach,...

Results:

1. Since the project is more than 12,000 sf, it does not qualify for Sec. 4.03.7.a.1, and since the project is more than 25,000 sf it does not qualify for 4.03.7.a.5.
2. The flows from the proposed development site represent 5% of the flows from the subdivision. The subdivision was constructed without a system to detain flows from entering the adjacent wooded area, agricultural area, or Rock Creek complying with Sec. 4.03, as these areas and the reach along Rock Creek have sufficient capacity to convey additional flow from the subdivision as noted in the Downstream Analysis.

For this project, in discussions with city staff it has been determined that this project will provide hydromodification detention on site due to the fact that the existing public stormwater quality facility on the eastern boundary of the Sherwood Commercial Center subdivision that treats runoff from the subdivision lacks a high-flow bypass and is potentially subject to high flows from the build-out of lots within the subdivision, flows which may cause erosion; and further, hydromodification detention will be provided because this project does not qualify for any of the exemptions listed in 4.03.7.a. In addition, a lack of access to the existing stormwater facility prohibits installing a high-flow bypass or other adjustments or improvements to the facility that protect it from erosion.

New impervious area on site will be detained in proposed, privately maintained underground pipe storage. New private underground pipe storage on site will detain flows according to Section 4.03.5.a.3, which references Category 2 (Section 4.03.5.b) and Category 3 (Section 4.03.5.c).

This project selects Category 2 per Section 4.03.5.b.2: Peak-Flow Matching Detention according to Section 4.08.6. All proposed on-site impervious area will be detained according to peak-flow matching detention per Section 4.08.6.a, with hydrologic routing calculations using the SBUH methodology to support the design of the detained flow within the private underground pipe storage. The private underground pipe storage is sized for detaining storm events such that the peak runoff of Section 4.08.6.c is met. Refer to the Hydromodification Detention section in the Methodology section for details on sizing.

Methodology

Existing site conditions within the site consist of a mass-graded lot with scattered vegetation, undeveloped since the time of construction of the public infrastructure within the Sherwood Commercial Center subdivision. Public infrastructure within the subdivision consist of public street, sidewalks and utilities. The ground slopes are low, mostly 2-10%, with existing site runoff either infiltrating in landscape areas or exiting the site by overland flow into adjacent properties or the right-of-way.

Proposed impervious surfaces include new roof area, private sidewalks, and asphalt drive area. All roof downspouts and catch basins within paved areas will be connected directly to a hard storm pipe and conveyed to pre-treatment water quality manholes. The outlet of these manholes will be hard piped to private underground pipe storage. The outlet of the underground pipe storage is connected by hard pipe to a manhole fitted with a multiple orifice flow control structure. This flow control structure will restrict flows exiting the manhole. An overflow equal to the diameter of the riser structure pipe (12 inches) is set at the top of the detention pipe storage elevation. The outlet of the flow control manhole will connect by hard pipe to an existing stormwater only stub on site, that connects to an existing public storm pipe in SW Olds Place that flows to the existing public stormwater quality facility on the eastern boundary of the subdivision. Refer to Exhibit 2 and the plan sheets for location and sizes of the

proposed stormwater improvements on site.

With development of the site, new or redeveloped impervious surfaces must be treated and/or detained to the requirements set forth by Clean Water Services (CWS).

Pre-treatment

Trapped catch basins and water quality manholes are proposed pre-treatment for stormwater upstream of the private underground pipe storage to meet the requirement of pre-treatment per Section CWS R&O 19-5 Section 4.07.1. Pre-treatment sizing is as follows:

Requirement:

- Section 4.07.1 refers users to Section 4.09 for sizing criteria.
- Section 4.09.c.5: Volume of sump: 20 cubic feet/ 1.0 cfs of flow into the water quality manhole, up to the 25-year flow. Flow calculations shall include the effect of an upstream flow splitter.

Results:

- Final sizing to be determined at permit submittal.

Quality

No stormwater quality treatment is proposed for this project due to the existing downstream public stormwater facility (swale) along the eastern boundary of the Sherwood Commerical Center subdivision that treats all runoff from the Sherwood Commerical Center subdivision.

Detention

No stormwater quantity detention is proposed for this project since no downstream deficiencies were identified in the downstream analysis.

Hydromodification Detention

Hydromodification detention is proposed for this project meeting Section 4.08.6.c. Section 4.08.6.c indicates:

the post-development runoff rates from the site do not exceed the pre-development runoff rates in the table below.

<u>Post-Developed Peak Runoff Rate</u>	<u>Pre-Developed Peak Runoff Target Rate</u>
2-year, 24-hour	50% of 2-year, 24-hour
5-year, 24-hour	5-year, 24-hour
10-year, 24-hour	10-year, 24-hour

In order to fulfill the requirement of on-site hydromodification detention, the private underground pipe storage will detain all site-generated stormwater runoff from proposed impervious surfaces. The private underground pipe storage was sized by routing a design storm through Hydrocad, which utilizes SBUH methodology at the prescribed rates in the table above. A summary of the model output is shown in the tables below. Flow rates are to meet the requirements of Section 4.08.6.c.

	<u>Post-Developed Peak Runoff Rate</u>		<u>Pre-Developed Peak Runoff Target Rate</u>
2-year, 24-hour	0.035 cfs	50% of 2-year, 24-hour	0.037 cfs
5-year, 24-hour	0.076 cfs	5-year, 24-hour	0.128 cfs
10-year, 24-hour	0.136 cfs	10-year, 24-hour	0.189 cfs

Pre-developed site and post-developed site (detained) flow rates.

Therefore, the hydromodification requirement has been met.

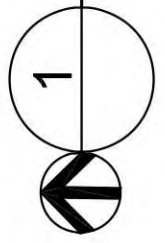
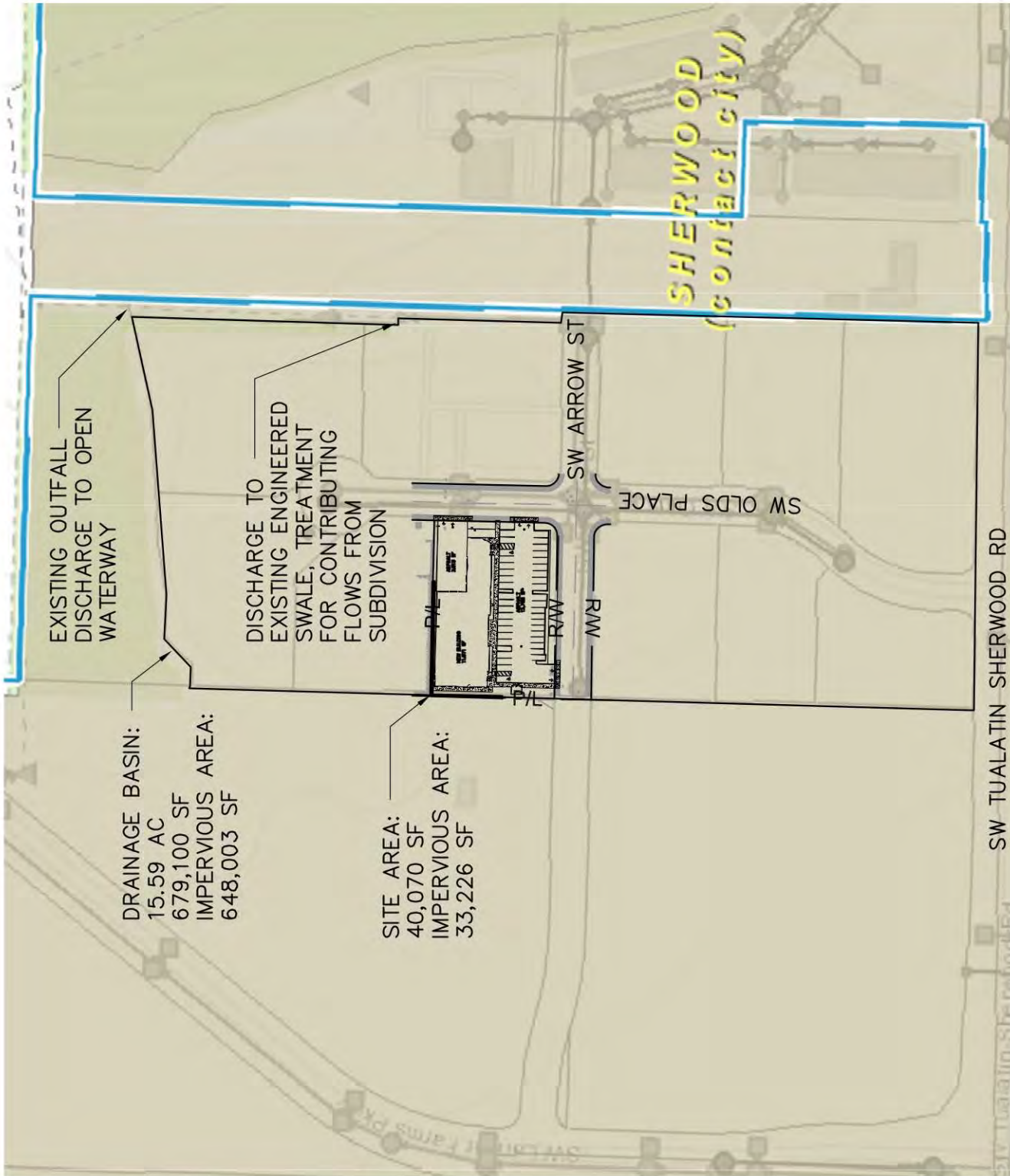
Analysis

On-site pipe conveyance calculations have been included, using the SBUH methodology and the 25-year storm (3.9 inches in 24 hours) using Hydrocad. (Pipe conveyance calculations provided at permit submittal).

Refer to the following pages for routing of the proposed private (provided at permit submittal).

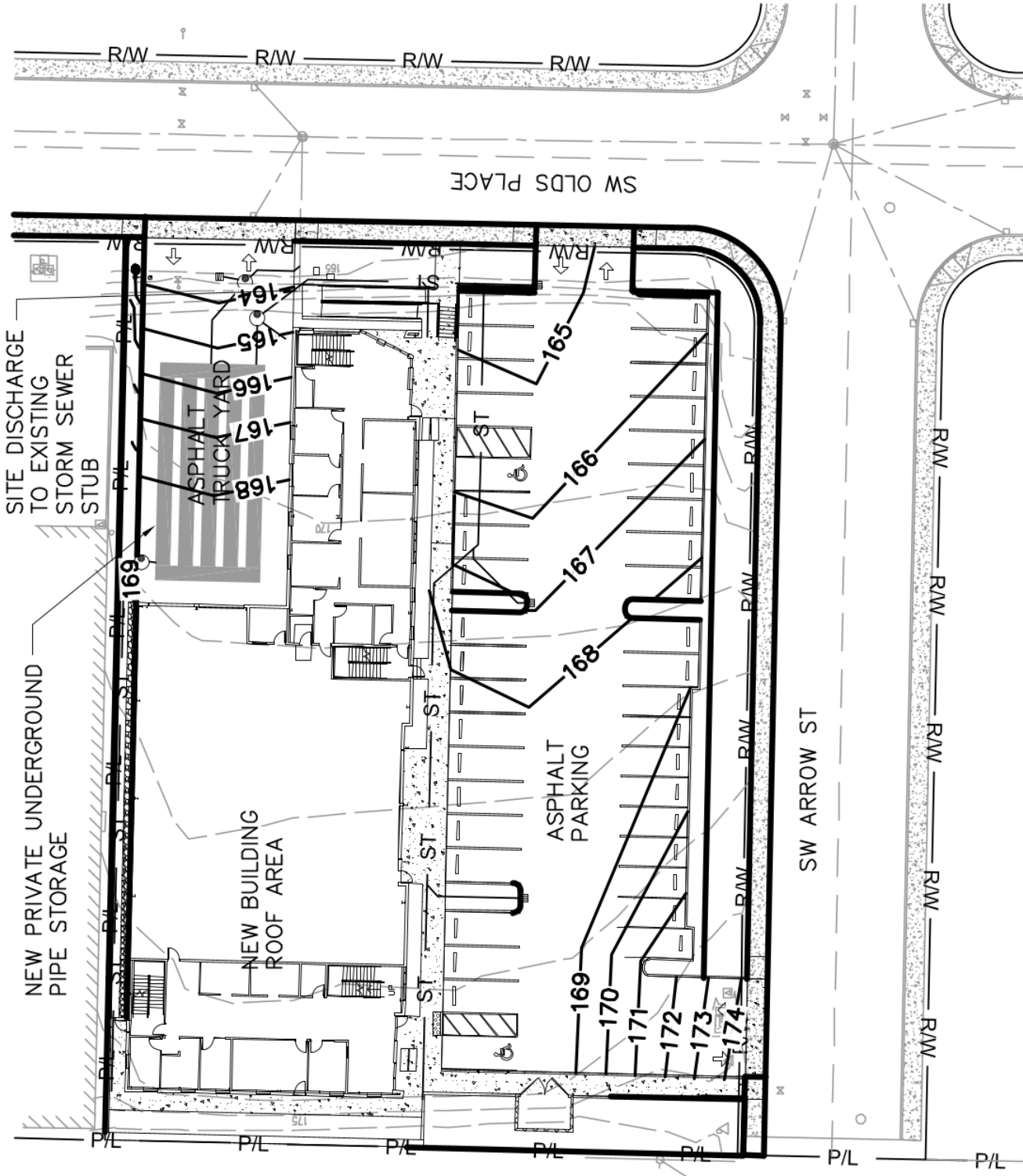
Engineering Conclusions

The site meets all requirements of the Clean Water Services 2019 Design and Construction Standards. Impervious surface runoff is treated in an existing off-site public stormwater facility and on-site flows are detained in private underground pipe storage.



BASIN OVERVIEW



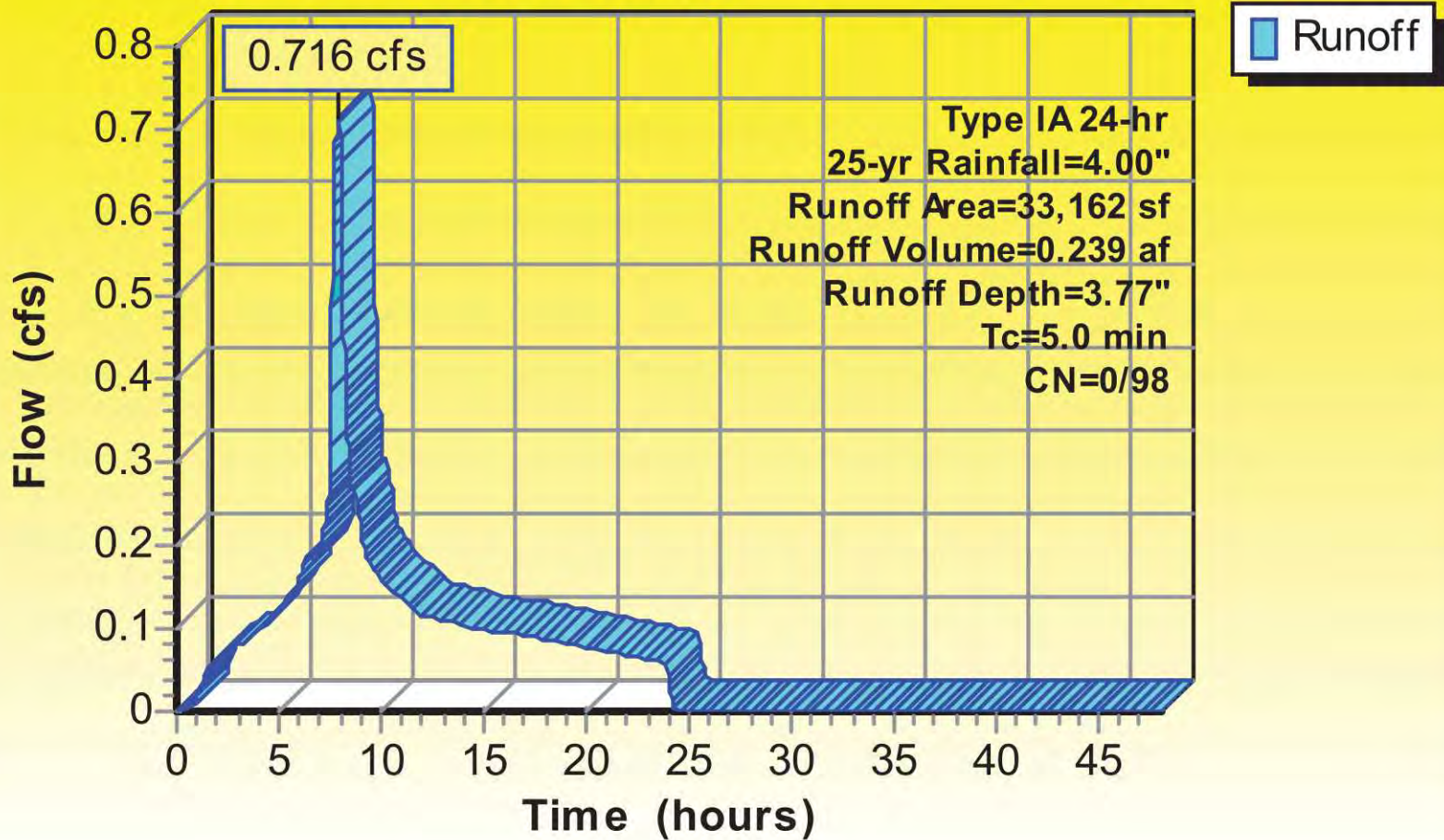


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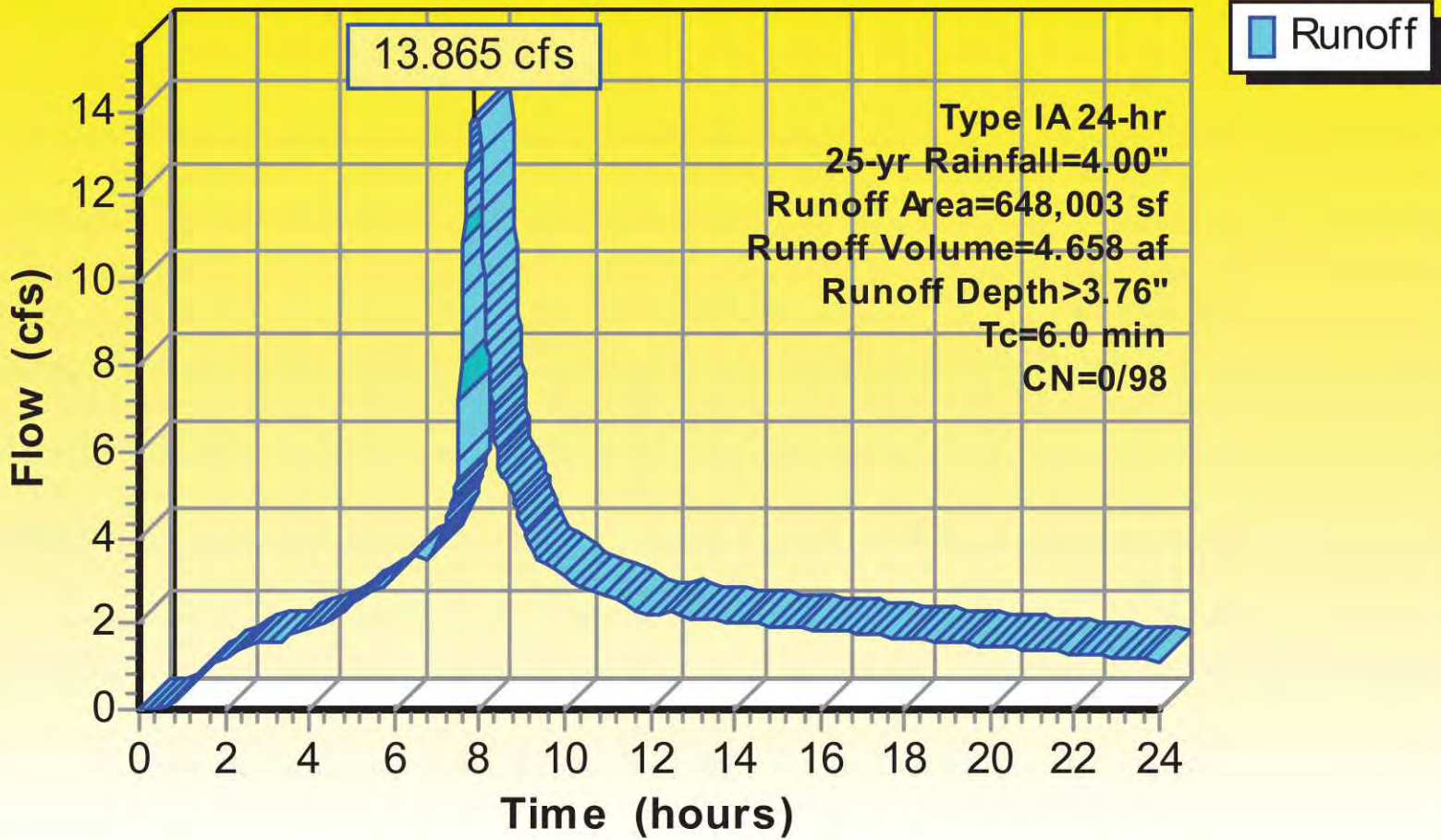
IMPERVIOUS AREA ON SITE - 25-YR

Hydrograph



SUBDIVISION - 25-YR

Hydrograph





Enhanced Report Ticor Title

Cover Page

Subject Property:



Site Address
20737 SW OLDS PL
SHERWOOD , OR 97140-8074



Mail Address
19450 SW MOHAVE CT
TUALATIN , OR 97062-8500

Prepared By:



Emma Purice
T:(503) 000-0000 ext. 0000
E:emma@greenridgepower.com

Document Contents

- Profile Cover Sheet
- Property Overview
- Property History Page
- Property Comparables (Detailed)
- Property Comparables (Summary)
- Neighborhood
- Public Schools Report
- Private Schools Report
- Demographics
- Plat Map



Provided By
Dennis Cottone
4800 Meadows Rd 300
Lake Oswego, OR 97035
dennis.cottone@ticortitle.com

Property Overview **20737 SW OLDS PL, SHERWOOD, OR 97140-8074**

Owner and Geographic Information



Primary Owner:
GREEN RIDGE SOLAR INC

Secondary Owner:

Mail Address: 19450 SW MOHAVE CT , TUALATIN, OR 97062-8500

Site Address: 20737 SW OLDS PL , SHERWOOD, OR 97140-8074

APN: 2S129A0-01900 **Lot Number:** 3 **Page / Grid:**

Housing Tract Number:

Legal Description: **Lot Code:** 3
District: 56
Subdivision: SHERWOOD COMMERCIAL CENTER
Sec / Township / Range: SEC 29 TWN 2S RNG 1W
Legal Brief Description: LOT:3 DIST:56 SEC/TWN/RNG/MER:SEC 29 TWN 2S RNG 1W SHERWOOD COMMERCIAL CENTER, LOT 3, ACRES 0.92
City / Muni / Twp: SHERWOOD

Property Details



Bedrooms:	0	Year Built:		Square Feet:	
Bathrooms:	0	Garage:		Lot Size:	40,075 SF
Total Rooms:		Fireplace:		Number of Units:	0
Zoning:		Pool:		Use Code:	Industrial-Vacant Land

Sale Information



Transfer Date:	01/14/2020	Seller:	LAB HILL FARMS LLC,
Transfer Value:	\$520,000.00	Document#:	2020-003365
Cost/Sq Feet:	∞		

Assessment and Taxes



Assessed Value:	\$346,880.00	Percent Improvement:	0.00%	Homeowner Exemption:	
Land Value:	\$0.00	Tax Amount:	\$6,497.44	Tax Rate Area:	88.1
Improvement Value:	\$0.00	Tax Status:	Current	Tax Account ID:	R2151074
Market Improvement Value:	\$0.00	Market Land Value:	\$496,870.00	Tax Year:	2020
Market Value:	\$496,870.00				



Property History **20737 SW OLDS PL, SHERWOOD, OR 97140-8074**

Prior Transfer - 01/14/2020

Recording Date:	01/14/2020	Document#:	2020-003365
Price:	\$520,000.00	Document Type:	Warranty Deed
First TD:		Type of Sale:	Full Amount on Deed
Lender Name:		Buyer Vesting:	
Buyer Name:	GREEN RIDGE SOLAR INC		
Seller Name:	LAB HILL FARMS LLC		
Legal Description:	Lot Number: 3 Subdivision: SHERWOOD COMMERCIAL CENTER City / Muni / Twp: SHERWOOD		
Interest Rate Not Greater:	0	Interest Rate Not Less:	0
Prepayment Penalty Rider Term:	00		

Release Record - 10/20/2014

Recording Date:	10/20/2014	Document#:	2014-066452
Price:		Document Type:	Release of Mortgage
TD Due Date:		Type of Financing:	
Lender Name:		Borrowers Name:	LUXURY HOME DEVELOPMENTS, LLC
Lender Type:			
Vesting:			
Legal Description:			

Prior Transfer - 09/30/2014

Recording Date:	09/30/2014	Document#:	2014-061798
Price:	\$350,000.00	Document Type:	Warranty Deed
First TD:		Type of Sale:	Exchange
Lender Name:		Buyer Vesting:	
Buyer Name:	LAB HILL FARMS LLC		
Seller Name:	LOCAL CLIENT FINDERS LLC		
Legal Description:	Lot Number: 3 Subdivision: SHERWOOD COMMERCIAL CENTER City / Muni / Twp: SHERWOOD		

Prior Transfer - 12/16/2013

Recording Date:	12/16/2013	Document#:	2013-105264
Price:	\$80,000.00	Document Type:	Bargain and Sale Deed
First TD:		Type of Sale:	Full Amount on Deed
Lender Name:		Buyer Vesting:	
Buyer Name:	LOCAL CLIENT FINDERS LLC		
Seller Name:	NELSON, TODD		
Legal Description:	Lot Number: 3 Subdivision: SHERWOOD COMMERCIAL CENTER City / Muni / Twp: SHERWOOD		

 **Property History****20737 SW OLDS PL, SHERWOOD, OR 97140-8074****Prior Transfer - 07/12/2011**

Recording Date:	07/12/2011	Document#:	2011-048611
Price:	\$95,000.00	Document Type:	Bargain and Sale Deed
First TD:		Type of Sale:	Full Amount on Deed
Lender Name:		Buyer Vesting:	
Buyer Name:	NELSON, TODD		
Seller Name:	LUXURY HOME DEVELOPMENTS LLC		
Legal Description:	Lot Number: 3 Subdivision: SHERWOOD COMMERCIAL CENTER City / Muni / Twp: SHERWOOD		

Mortgage Record - 07/21/2008

Recording Date:	07/21/2008	Document#:	2008-063952
Loan Amount:	\$420,000.00	Loan Type:	Seller take-back
TD Due Date:		Type of Financing:	
Lender Name:	SHERWOOD COMMERCIAL CENTER LLC	Borrowers Name:	LUXURY HOME DEVELOPMENTS LLC
Lender Type:			
Vesting:			
Legal Description:	Lot Number: 3 Subdivision: SHERWOOD COMMERCIAL CENTER City / Muni / Twp: SHERWOOD		

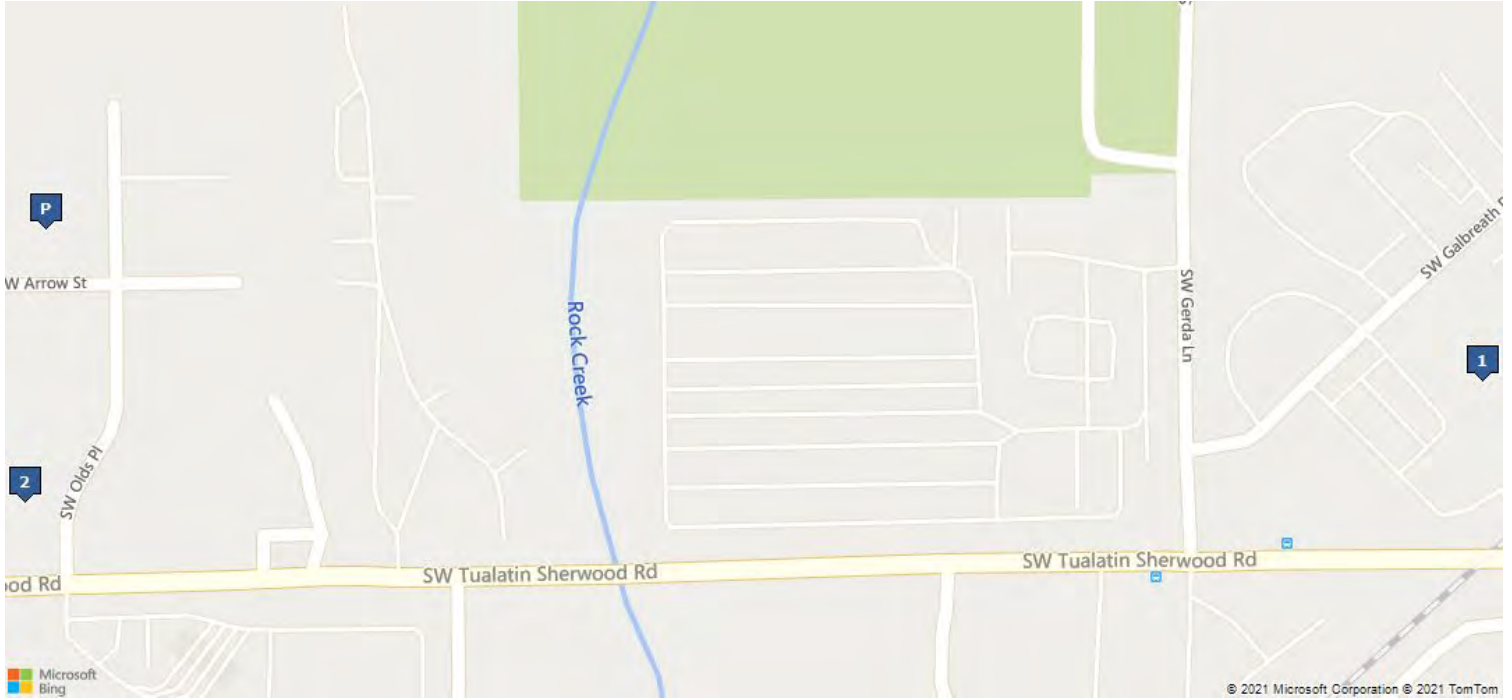
Prior Transfer - 07/21/2008

Recording Date:	07/21/2008	Document#:	2008-063951
Price:	\$520,000.00	Document Type:	Warranty Deed
First TD:		Type of Sale:	Full Amount on Deed
First TD Doc:	2008-063952		
Lender Name:		Buyer Vesting:	
Buyer Name:	LUXURY HOME DEVELOPMENTS LLC		
Seller Name:	SHERWOOD COMMERCIAL CENTER LLC		
Legal Description:	Lot Number: 3 Subdivision: SHERWOOD COMMERCIAL CENTER City / Muni / Twp: SHERWOOD		



Comparable Sales Data

20737 SW OLDS PL, SHERWOOD, OR 97140-8074



1: 14180 SW GALBREATH DR

2: 20941 SW OLDS PL

Area Sales Analysis

Total Area Sales	2	Median # of Bedrooms	0
Median Lot Size	58,152.967	Median # of Baths	0
Median Living Area		Median Year Built	
Price Range - 2 Yrs	\$395,000.00 to \$1,210,000.00	Age Range	
Median Value	\$802,500.00	Median Age	



Comparable Sales Data **20737 SW OLDS PL, SHERWOOD, OR 97140-8074**

GREEN RIDGE SOLAR INC
20737 SW OLDS PL, SHERWOOD, OR 97140-8074
APN: 2S129A0-01900 - WASHINGTON COUNTY

Address	Date	Price	\$/SF	Bld/Area	RM/BR/Bth	YB	Lot	Pool	Proxim.
1 14180 SW GALBREATH DR	06/14/2021	\$1,210,000.00		0	0/0/0		85377.9348616885		.54

Site Address:	SHERWOOD, OR 97140-9163	APN:	2S128BC-00700
Doc Type:	Warranty Deed	Document #:	2021-067869
Price Code:	D	Use Code:	Industrial-Vacant Land
Buyer Name:	TRESKE PRECISION MACHINING INC	Seller Name:	WINSLOW BUILDING LLC
Loan Amount:	\$1,210,000.00	Lender Name:	ZB NA
Legal:	Lot Number: 13 City/Muni/Twp : SHERWOOD Subdivision Name: INDUSTRIAL PARK OF SHERWOOD		

Address	Date	Price	\$/SF	Bld/Area	RM/BR/Bth	YB	Lot	Pool	Proxim.
2 20941 SW OLDS PL	01/25/2021	\$395,000.00		0	0/0/0		30928		.10

Site Address:	SHERWOOD, OR 97140-8086	APN:	2S129A0-03300
Doc Type:	Warranty Deed	Document #:	2021-009890
Price Code:	D	Use Code:	Industrial-Vacant Land
Buyer Name:	QUANDT INVESTMENTS LLC	Seller Name:	TROUVAILLE BREWING LLC
Loan Amount:	\$0.00	Lender Name:	
Legal:	Lot Number: 1 Map Ref: DOC 2018-034151 City/Muni/Twp : SHERWOOD Subdivision Name: PARTITION PLAT NO 2018-21		



Summary Comparables

20737 SW OLDS PL, SHERWOOD, OR 97140-8074

**GREEN RIDGE SOLAR INC
20737 SW OLDS PL, SHERWOOD, OR 97140-8074
APN: 2S129A0-01900 - WASHINGTON COUNTY**

Year Built:		Lot:	40,075 SF	Bld/Area:	0	Pool:	RM/BR/Bth:	/0/0		
#	Address	Date	Price	\$/SF	Bld/Area	RM/BR/Bth	YB	Lot	Pool	Proxim.
1	14180 SW GALBREATH DR	06/14/2021	\$1,210,000.00		0	0/0/0		85377.9348616885		.54
2	20941 SW OLDS PL	01/25/2021	\$395,000.00		0	0/0/0		30928		.10



Neighborhood Overview **20737 SW OLDS PL, SHERWOOD, OR 97140-8074**

Nearby Neighbors

GREEN RIDGE SOLAR INC			
20737 SW OLDS PL , SHERWOOD , OR , 97140			
APN:	2S129A0-01900		
Bedrooms:	0	Bathrooms:	
Square Feet:		Lot Size:	40,075 SF
Year Built:		Garage:	

LITERA HOLDINGS LLC			
20675 SW OLDS PL , SHERWOOD , OR , 97140			
APN:	2S129A0-02000		
Bedrooms:	0	Bathrooms:	
Square Feet:	9,634	Lot Size:	40,075 SF
Year Built:		Garage:	

J & J LEGACY LLC			
20833 SW OLDS PL , SHERWOOD , OR , 97140			
APN:	2S129A0-01800		
Bedrooms:	0	Bathrooms:	
Square Feet:		Lot Size:	40,075 SF
Year Built:		Garage:	

MCLELLAN ESTATE CO			
20746 SW OLDS PL , STE 101 , SHERWOOD , OR , 97140			
APN:	2S129A0-02300		
Bedrooms:	0	Bathrooms:	
Square Feet:		Lot Size:	1.44 AC
Year Built:		Garage:	

SEMI TRUCK CENTERS INC			
20633 SW OLDS PL , SHERWOOD , OR , 97140			
APN:	2S129A0-02100		
Bedrooms:	0	Bathrooms:	
Square Feet:	7,735	Lot Size:	1.09 AC
Year Built:	2018	Garage:	

ARROW STREET LLC			
15114 SW ARROW ST , SHERWOOD , OR , 97140			
APN:	2S129A0-02400		
Bedrooms:	0	Bathrooms:	
Square Feet:	29,188	Lot Size:	40,075 SF
Year Built:	2018	Garage:	

TRG PROPERTIES LLC			
20861 SW OLDS PL , SHERWOOD , OR , 97140			
APN:	2S129A0-03400		
Bedrooms:	0	Bathrooms:	
Square Feet:		Lot Size:	30,928 SF
Year Built:		Garage:	

RALSTON & RALSTON LLC			
15025 SW TUALATIN SHERWOOD RD , SHERWOOD , OR , 97140			
APN:	2S129A0-00500		
Bedrooms:	0	Bathrooms:	
Square Feet:	3,156	Lot Size:	3.97 AC
Year Built:		Garage:	

DAISY & PEACH LLC			
20900 SW OLDS PL , SHERWOOD , OR , 97140			
APN:	2S129A0-02500		
Bedrooms:	0	Bathrooms:	
Square Feet:		Lot Size:	40,075 SF
Year Built:		Garage:	

SHERWOOD, CITY OF			
20670 SW OLDS PL , SHERWOOD , OR , 97140			
APN:	2S129A0-02800		
Bedrooms:	0	Bathrooms:	
Square Feet:		Lot Size:	9,148 SF
Year Built:		Garage:	

QUANDT INVESTMENTS LLC,			
20941 SW OLDS PL , SHERWOOD , OR , 97140			
APN:	2S129A0-03300		
Bedrooms:	0	Bathrooms:	
Square Feet:		Lot Size:	30,928 SF
Year Built:		Garage:	

AVIATRIX VENTURES LLC			
20952 SW OLDS PL , SHERWOOD , OR , 97140			
APN:	2S129A0-02600		
Bedrooms:	0	Bathrooms:	
Square Feet:		Lot Size:	1.4 AC
Year Built:		Garage:	

TMK PROPERTIES LLC			
14985 SW TUALATIN SHERWOOD RD , SHERWOOD , OR , 97140			
APN:	2S129A0-00300		
Bedrooms:	0	Bathrooms:	
Square Feet:		Lot Size:	2.35 AC
Year Built:		Garage:	

PORTLAND GENERAL ELECTRIC CO			
20680 SW LANGER FARMS PKWY , SHERWOOD , OR , 97140			
APN:	2S129A0-01100		
Bedrooms:	0	Bathrooms:	
Square Feet:		Lot Size:	7.05 AC
Year Built:		Garage:	

PORTLAND GENERAL ELECTRIC CO			
20520 SW LANGER FARMS PKWY , SHERWOOD , OR , 97140			
APN:	2S129A0-01651		
Bedrooms:	0	Bathrooms:	
Square Feet:		Lot Size:	8.65 AC
Year Built:		Garage:	



Public School Report

20737 SW OLDS PL, SHERWOOD, OR 97140-8074

Public School Statistics

J CLYDE HOPKINS ELEMENTARY SCHOOL

.77 from subject property

21920 SW SHERWOOD BLVD
 SHERWOOD, OR 97140-9324
 (503) 825-5200

- Grade KG - Grade 5
- Student Teacher Ratio: 1:19.2
- Full Time Equivalent Administrators : 25.05

Grade Membership

KDGN	GR - 1	GR - 2	GR - 3	GR - 4	GR - 5	Total
75	79	86	88	78	76	482

API Score



SHERWOOD CHARTER SCHOOL

1.30 from subject property

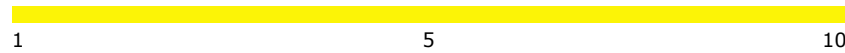
23264 SW MAIN ST
 SHERWOOD, OR 97140-9998
 (503) 925-8007

- Grade KG - Grade 7
- Student Teacher Ratio: 1:18.2
- Full Time Equivalent Administrators : 9.60

Grade Membership

KDGN	GR - 1	GR - 2	GR - 3	GR - 4	GR - 5	GR - 6	GR - 7	Total
22	22	22	22	22	21	23	21	175

API Score



SHERWOOD MIDDLE SCHOOL

.86 from subject property

21970 SW SHERWOOD BLVD
 SHERWOOD, OR 97140-9324
 (503) 825-5400

- Grade 6 - Grade 8
- Student Teacher Ratio: 1:19.8
- Full Time Equivalent Administrators : 33.09

Grade Membership

GR - 6	GR - 7	GR - 8	Total
223	208	224	655

API Score



SHERWOOD HIGH SCHOOL

1.16 from subject property

16956 SW MEINECKE RD
 SHERWOOD, OR 97140-9204
 (503) 825-5500

- Grade 9 - Grade 12
- Student Teacher Ratio: 1:22.3
- Full Time Equivalent Administrators : 58.17

Grade Membership

GR - 9	GR - 10	GR - 11	GR - 12	Total
378	334	300	284	1,296

API Score





Private School Report

20737 SW OLDS PL, SHERWOOD, OR 97140-8074

Private School Statistics

LA PETITE ACADEMY

.44 from subject property

15940 SW TUALATIN SHERWOOD ROAD
SHERWOOD, OR 97140-8690
(503) 925-1527
Gender: Coed

- Grade N/A - Grade N/A
- Nonsectarian
- Student Teacher Ratio: N/A
- Full Time Equivalent Administrators: 1

Grade Membership

Total
79

ST FRANCIS PARISH SCHOOL

.78 from subject property

15643 SW OREGON STREET
SHERWOOD, OR 97140-9342
(503) 625-0497
Gender: Coed

- Kindergarten - Grade 8
- Roman Catholic
- Student Teacher Ratio: 1:14.0
- Full Time Equivalent Administrators: 9.6

Grade Membership

KDGN	GR - 1	GR - 2	GR - 3	GR - 4	GR - 5	GR - 6	GR - 7	GR - 8	Total
22	22	28	17	8	14	10	7	6	134

KIDS KASTLE LEARNING CENTER

.85 from subject property

16775 NW 12TH STREET
SHERWOOD, OR 97140-6014
(503) 625-9491
Gender: Coed

- Prekindergarten - Kindergarten
- Nonsectarian
- Student Teacher Ratio: 1:15.0
- Full Time Equivalent Administrators: 1

Grade Membership

PK	KDGN	Total
20	15	35

SMOCKVILLE MONTESSORI SCHOOL

.91 from subject property

22444 SW OAK STREET
SHERWOOD, OR 97140-9354
(503) 625-1610
Gender: Coed

- Prekindergarten - Kindergarten
- Nonsectarian
- Student Teacher Ratio: 1:2.6
- Full Time Equivalent Administrators: 1.9

Grade Membership

PK	KDGN	Total
18	5	23



Private School Report

20737 SW OLDS PL, SHERWOOD, OR 97140-8074

Private School Statistics

ST PAUL LUTHERAN SCHOOL

1.18 from subject property

17500 SW CEDARVIEW WAY
SHERWOOD, OR 97140-8698
(503) 625-6648
Gender: Coed

- Prekindergarten - Grade 5
- Lutheran Church - Missouri Synod
- Student Teacher Ratio: 1:7.4
- Full Time Equivalent Administrators: 10.5

Grade Membership

PK	KDGN	GR - 1	GR - 2	GR - 3	GR - 4	GR - 5	Total
115	26	10	14	12	8	8	193

SHERWOOD CHRISTIAN MONTESSORI SCHOOL

1.43 from subject property

23550 SW PINE STREET
SHERWOOD, OR 97140-7137
(503) 625-7758
Gender: Coed

- Grade N/A - Grade N/A
- Christian (no specific denomination)
- Student Teacher Ratio: N/A
- Full Time Equivalent Administrators: 1

Grade Membership

Total
27



Neighborhood Demographics **20737 SW OLDS PL, SHERWOOD, OR 97140-8074**

Population Demographics

Area	2000	2009	2014	Growth Rate	Growth Centile
ZIP 97140-8074	16,855	22,456	25,345	3.2%	97.0%
National	281,421,906	309,731,508	324,062,684	1.0%	

Household Demographics

Area	2000	2009	2014	Household Growth Rate	Average Household Size
ZIP 97140-8074	6,066	7,980	8,997	3.0%	2.8
National	105,480,101	116,523,156	122,109,448	1.1%	2.6

Family Demographics

Area	2000	2009	Family Growth Rate
ZIP 97140-8074	4,767	6,155	2.8%
National	71,787,347	77,956,117	0.9%

Age Distribution Demographics

Area	0-4	5-9	10-14	15-19	20-24	25-44	45-64	65-84	85+
ZIP 97140-8074	9.6%	9.3%	8.8%	6.6%	4.4%	30.3%	23.9%	6.3%	0.8%
National	6.8%	6.7%	6.6%	7.1%	6.9%	27.0%	26.0%	10.9%	1.9%

Median Age Demographics

Area	2009	Male Ratio	Female Ratio
ZIP 97140-8074	34.8	49.3%	50.7%
National	36.9	49.2%	50.8%

Household Income Demographics

Area	% < \$25K	% \$25K-50K	% \$50K-100K	% \$100K-150K	% >\$150K
ZIP 97140-8074	7.7%	14.6%	34.5%	27.6%	15.6%
National	20.9%	24.4%	35.3%	11.7%	7.6%

Median Household Income Demographics

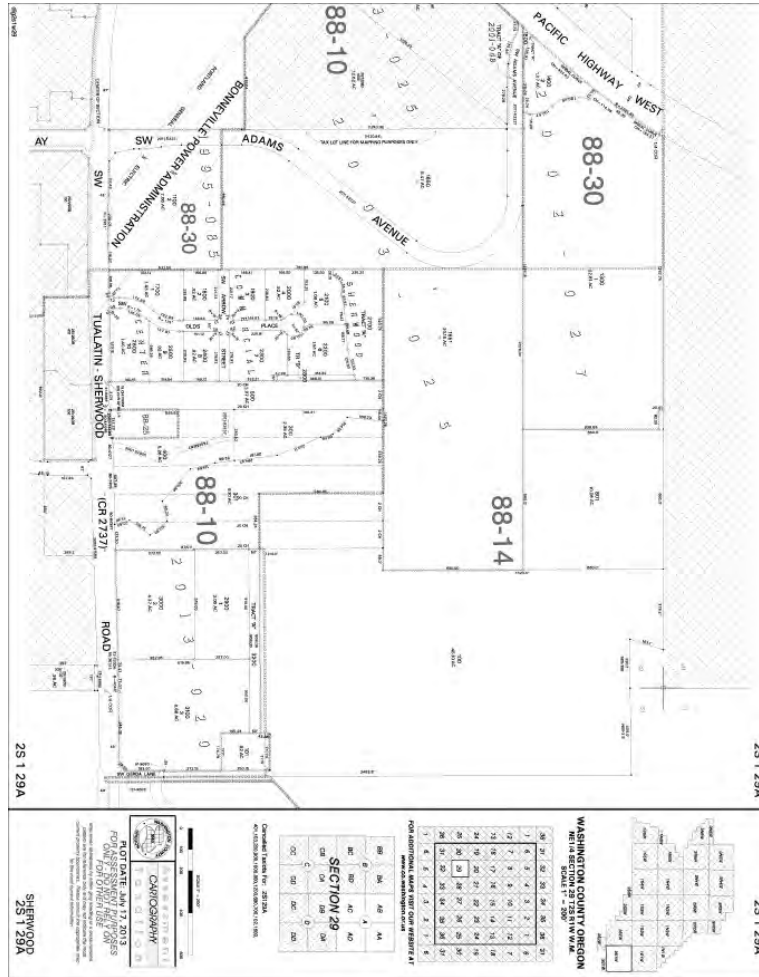
Area	2009	2014	Per Capita Income
ZIP 97140-8074	\$87,428.00	\$89,852.00	\$37,258.00
National	\$54,719.00	\$56,938.00	\$27,277.00

Household Income Percentile Demographics

Area	National	State
ZIP 97140-8074	94.0%	99.0%



This map/plat is being furnished as an aid in locating the herein described Land in relation to adjoining streets, natural boundaries and other land, and is not a survey of the land depicted. Except to the extent a policy of title insurance is expressly modified by endorsement, if any, the Company does not insure dimensions, distances, location of easements, acreage or other matters shown thereon.



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This property profile is being provided as a general service to the community at large without the condition of the referral of title insurance business.

Owner Name: Sherwood, City Of	Parcel ID: R2046572	Tax ID: 2S129A000301
Co-Owner:	Recording Date: 12/07/1994	
Site Addr: Sherwood OR 97140	Use: Exempt City Gov Vacant	
Owner Addr: 22560 SW Pine St Sherwood OR 97140	Assessed Total:	Sale Price:
Bedroom: Bath: Year Blt:	Bldg SqFt:	Acres: 8.10 Acres
Legal: ACRES 8.10		
Owner Name: Flrf LLC	Parcel ID: R2053318	Tax ID: 2S129DB00400
Co-Owner:	Recording Date: 10/05/2007	
Site Addr: 14962 SW Tualatin Sherwood Rd Sherwood OR 97	Use:	
Owner Addr: 204 N Robinson Ave #709 Oklahoma City OK 7310	Assessed Total: \$966,000.00	Sale Price: \$1,250,000.00
Bedroom: Bath: Year Blt:	Bldg SqFt: 7,740 SqFt	Acres: 1.90 Acres
Legal: 1995-100 PARTITION PLAT, LOT 1, ACRES 1.90		
Owner Name: Seeber, Douglas M & Kathleen A Seeber Living	Parcel ID: R2053319	Tax ID: 2S129DB00500
Co-Owner:	Recording Date: 11/03/1995	
Site Addr: 14900 SW Tualatin Sherwood Rd Sherwood OR 97	Use: Commercial In Industrial Zone Improved	
Owner Addr: 444 E 16th St Lafayette OR 97127	Assessed Total: \$1,793,190.00	Sale Price:
Bedroom: Bath: Year Blt:	Bldg SqFt:	Acres: 1.98 Acres
Legal: 1995-100 PARTITION PLAT, LOT 2, ACRES 1.98		
Owner Name: Portland General Electric Co	Parcel ID: R2089896	Tax ID: 2S129A001100
Co-Owner:	Recording Date:	
Site Addr: 20680 SW Langer Farms Pkwy Sherwood OR 9714	Use: Misc. Property Centrally Assessed By Dor	
Owner Addr: 121 SW Salmon St Portland OR 97204	Assessed Total:	Sale Price:
Bedroom: Bath: Year Blt:	Bldg SqFt:	Acres: 7.05 Acres
Legal: 1999-085 PARTITION PLAT, LOT PT 2, ACRES 7.05		
Owner Name: Portland General Electric Co	Parcel ID: R2118350	Tax ID: 2S129A001650
Co-Owner:	Recording Date:	
Site Addr: 20655 SW Langer Farms Pkwy Sherwood OR 9714	Use: Misc. Property Centrally Assessed By Dor	
Owner Addr: 121 SW Salmon St Portland OR 97204	Assessed Total:	Sale Price:
Bedroom: Bath: Year Blt:	Bldg SqFt:	Acres: 9.47 Acres
Legal: 2003-025 PARTITION PLAT, LOT PT 1, ACRES 9.47, CODE SPLIT, LAND HOOK		
Owner Name: Portland General Electric Co	Parcel ID: R2118351	Tax ID: 2S129A001650
Co-Owner:	Recording Date:	
Site Addr: 20520 SW Langer Farms Pkwy Sherwood OR 9714	Use: Misc. Property Centrally Assessed By Dor	
Owner Addr: 121 SW Salmon St Portland OR 97204	Assessed Total:	Sale Price:
Bedroom: Bath: Year Blt:	Bldg SqFt:	Acres: 9.47 Acres
Legal: 2003-025 PARTITION PLAT, LOT PT 1, ACRES 21.51, CODE SPLIT, LAND HOOK		
Owner Name: Portland General Electric Co	Parcel ID: R2118352	Tax ID: 2S129B001800
Co-Owner:	Recording Date:	
Site Addr: 20655 SW Langer Farms Pkwy Sherwood OR 9714	Use: Misc. Property Centrally Assessed By Dor	
Owner Addr: 121 SW Salmon St Portland OR 97204	Assessed Total:	Sale Price:
Bedroom: Bath: Year Blt:	Bldg SqFt:	Acres: 12.63 Acres
Legal: 2003-025 PARTITION PLAT, LOT PT 1, ACRES 12.62		
Owner Name: Sherwood Pacific LLC Et Al	Parcel ID: R2119689	Tax ID: 2S129A000400
Co-Owner:	Recording Date: 02/03/2016	
Site Addr: 14841 SW Tualatin Sherwood Rd Sherwood OR 97	Use: Commercial In Industrial Zone Improved	
Owner Addr: 25 NW 23rd Pl Ste 6 #192 Portland OR 97210	Assessed Total: \$923,720.00	Sale Price: \$4,850,000.00
Bedroom: Bath: Year Blt:	Bldg SqFt: 12,320 SqFt	Acres: 5.26 Acres
Legal: ACRES 0.96, CODE SPLIT		

Owner Name: Aulukista LLC	Parcel ID: R2128768	Tax ID: 2S129CA00900
Co-Owner:	Recording Date: 05/31/2016	
Site Addr: 21170 SW Langer Farms Pkwy Sherwood OR 9714	Use:	
Owner Addr: PO Box 240329 Anchorage AK 99524	Assessed Total: \$4,030,230.00	Sale Price: \$9,500,000.00
Bedroom: Bath: Year Blt:	Bldg SqFt: 12,950 SqFt	Acres: 2.07 Acres
Legal: 2004-037 PARTITION PLAT, LOT 2, ACRES 2.07		
Owner Name: J & J Legacy LLC	Parcel ID: R2151073	Tax ID: 2S129A001800
Co-Owner:	Recording Date: 08/31/2018	
Site Addr: 20833 SW Olds PI Sherwood OR 97140	Use: Commercial In Industrial Zone Improved	
Owner Addr: 14130 SW Hargis Rd Beaverton OR 97008	Assessed Total: \$1,008,110.00	Sale Price: \$475,000.00
Bedroom: Bath: Year Blt:	Bldg SqFt:	Acres: 0.92 Acres
Legal: SHERWOOD COMMERCIAL CENTER, LOT 2, ACRES 0.92		
Owner Name: Litera Holdings LLC	Parcel ID: R2151075	Tax ID: 2S129A002000
Co-Owner:	Recording Date: 11/07/2014	
Site Addr: 20675 SW Olds PI # 100 Sherwood OR 97140	Use: Commercial In Industrial Zone Improved	
Owner Addr: 20675 SW Olds PI Ste 100 Sherwood OR 97140	Assessed Total: \$825,060.00	Sale Price: \$330,000.00
Bedroom: Bath: Year Blt:	Bldg SqFt: 9,634 SqFt	Acres: 0.92 Acres
Legal: SHERWOOD COMMERCIAL CENTER, LOT 4, ACRES 0.92		
Owner Name: Semi Truck Centers Inc	Parcel ID: R2151076	Tax ID: 2S129A002100
Co-Owner:	Recording Date: 06/16/2016	
Site Addr: 20633 SW Olds PI Sherwood OR 97140	Use: Commercial In Industrial Zone Improved	
Owner Addr: 3039 SE 87th Ave Portland OR 97266	Assessed Total: \$776,920.00	Sale Price: \$385,000.00
Bedroom: Bath: Year Blt:	Bldg SqFt: 7,735 SqFt	Acres: 1.09 Acres
Legal: SHERWOOD COMMERCIAL CENTER, LOT 5, ACRES 1.09		
Owner Name: Bartlett, Mark	Parcel ID: R2151077	Tax ID: 2S129A002200
Co-Owner:	Recording Date: 05/04/2017	
Site Addr: Sherwood OR 97140	Use:	
Owner Addr: 14480 NE Rex Hill Ct Newberg OR 97132	Assessed Total: \$569,380.00	Sale Price: \$495,000.00
Bedroom: Bath: Year Blt:	Bldg SqFt:	Acres: 1.51 Acres
Legal: SHERWOOD COMMERCIAL CENTER, LOT 6, ACRES 1.51		
Owner Name: McLellan Estate Co	Parcel ID: R2151078	Tax ID: 2S129A002300
Co-Owner:	Recording Date: 10/26/2017	
Site Addr: 20746 SW Olds PI Sherwood OR 97140	Use: Commercial In Industrial Zone Improved	
Owner Addr: 707 Old County Rd Belmont CA 94002	Assessed Total: \$1,887,360.00	Sale Price: \$3,485,000.00
Bedroom: Bath: Year Blt:	Bldg SqFt: 10,400 SqFt	Acres: 1.44 Acres
Legal: SHERWOOD COMMERCIAL CENTER, LOT 7, ACRES 1.44		
Owner Name: Arrow Street LLC	Parcel ID: R2151079	Tax ID: 2S129A002400
Co-Owner:	Recording Date: 10/30/2017	
Site Addr: 15114 SW Arrow St Sherwood OR 97140	Use: Commercial In Industrial Zone Improved	
Owner Addr: 20746 SW Olds PI #301 Sherwood OR 97140	Assessed Total: \$1,928,400.00	Sale Price: \$450,000.00
Bedroom: Bath: Year Blt:	Bldg SqFt: 29,188 SqFt	Acres: 0.92 Acres
Legal: SHERWOOD COMMERCIAL CENTER, LOT 8, ACRES 0.92		
Owner Name: Daisy & Peach LLC	Parcel ID: R2151080	Tax ID: 2S129A002500
Co-Owner:	Recording Date: 12/14/2018	
Site Addr: 20900 SW Olds PI Sherwood OR 97140	Use:	
Owner Addr: 8420 SW Power Ct Portland OR 97225	Assessed Total: \$346,880.00	Sale Price: \$475,000.00
Bedroom: Bath: Year Blt:	Bldg SqFt:	Acres: 0.92 Acres
Legal: SHERWOOD COMMERCIAL CENTER, LOT 9, ACRES 0.92		

Owner Name: Aviatrix Ventures LLC	Parcel ID: R2151081	Tax ID: 2S129A002600
Co-Owner:	Recording Date: 12/19/2018	
Site Addr: 20952 SW Olds PI Sherwood OR 97140	Use: Commercial In Industrial Zone Improved	
Owner Addr: 22831 Forest Creek Dr #A Sherwood OR 97140	Assessed Total: \$1,483,780.00	Sale Price: \$900,000.00
Bedroom: Bath: Year Blt:	Bldg SqFt:	Acres: 1.40 Acres
Legal: SHERWOOD COMMERCIAL CENTER, LOT 10, ACRES 1.40		
Owner Name: Sherwood, City Of	Parcel ID: R2151082	Tax ID: 2S129A002700
Co-Owner:	Recording Date:	
Site Addr: Sherwood OR 97140	Use: Exempt City Gov Vacant	
Owner Addr: 22560 SW Pine St Sherwood OR 97140	Assessed Total:	Sale Price:
Bedroom: Bath: Year Blt:	Bldg SqFt:	Acres: 2.14 Acres
Legal: SHERWOOD COMMERCIAL CENTER, LOT A, ACRES 2.14		
Owner Name: Sherwood, City Of	Parcel ID: R2151083	Tax ID: 2S129A002800
Co-Owner:	Recording Date:	
Site Addr: 20670 SW Olds PI Sherwood OR 97140	Use: Exempt City Gov Vacant	
Owner Addr: 22560 SW Pine St Sherwood OR 97140	Assessed Total:	Sale Price:
Bedroom: Bath: Year Blt:	Bldg SqFt:	Acres: 0.21 Acres
Legal: SHERWOOD COMMERCIAL CENTER, LOT B, ACRES 0.21		
Owner Name: Langer Gramor LLC	Parcel ID: R2182365	Tax ID: 2S129DB00100
Co-Owner:	Recording Date:	
Site Addr: 21174 SW Langer Farms Pkwy Sherwood OR 9714	Use:	
Owner Addr: 19767 SW 72nd Ave #100 Tualatin OR 97062	Assessed Total: \$4,065,430.00	Sale Price:
Bedroom: Bath: Year Blt:	Bldg SqFt: 4,900 SqFt	Acres: 3.44 Acres
Legal: LANGER FARMS, LOT 1, ACRES 3.44		
Owner Name: Wal-Mart Real Estate Business Trust	Parcel ID: R2182366	Tax ID: 2S129DB00200
Co-Owner:	Recording Date: 05/03/2013	
Site Addr: 21320 SW Langer Farms Pkwy Sherwood OR 9714	Use:	
Owner Addr: PO Box 8050 Ms 0555 Bentonville AR 72716	Assessed Total: \$26,912,730.0	Sale Price: \$9,141,066.00
Bedroom: Bath: Year Blt:	Bldg SqFt: 139,356 SqFt	Acres: 13.99 Acres
Legal: LANGER FARMS, LOT 2, ACRES 13.99		
Owner Name: Orwa Sherwood LLC	Parcel ID: R2182490	Tax ID: 2S129D000151
Co-Owner:	Recording Date:	
Site Addr: Sherwood OR 97140	Use: Commercial In Industrial Zone Improved	
Owner Addr: 8320 NE Highway 99 Vancouver WA 98665	Assessed Total: \$614,150.00	Sale Price:
Bedroom: Bath: Year Blt:	Bldg SqFt:	Acres: 11.93 Acres
Legal: ACRES 11.93, LAND HOOK		
Owner Name: Portland General Electric Co	Parcel ID: R2183329	Tax ID: 2S129A001651
Co-Owner:	Recording Date:	
Site Addr: 20520 SW Langer Farms Pkwy Sherwood OR 9714	Use: Misc. Property Centrally Assessed By Dor	
Owner Addr: 121 SW Salmon St Portland OR 97204	Assessed Total:	Sale Price:
Bedroom: Bath: Year Blt:	Bldg SqFt:	Acres: 30.16 Acres
Legal: 2003-025 PARTITION PLAT, LOT PT 1, ACRES 8.65, LAND HOOK		
Owner Name: Trouvaille Brewing LLC	Parcel ID: R2206255	Tax ID: 2S129A003300
Co-Owner:	Recording Date: 08/31/2018	
Site Addr: 20941 SW Olds PI Sherwood OR 97140	Use:	
Owner Addr: 15957 SW Oriole Ct Sherwood OR 97140	Assessed Total: \$295,160.00	Sale Price: \$425,000.00
Bedroom: Bath: Year Blt:	Bldg SqFt:	Acres: 0.71 Acres
Legal: 2018-021 PARTITION PLAT, LOT 1, ACRES 0.71		

Owner Name: Trg Properties LLC	Parcel ID: R2206256	Tax ID: 2S129A003400
Co-Owner:	Recording Date: 06/14/2019	
Site Addr: 20861 SW Olds Pl Sherwood OR 97140	Use:	
Owner Addr: PO Box 1583 Sherwood OR 97140	Assessed Total: \$227,980.00	Sale Price: \$385,000.00
Bedroom: Bath: Year Blt:	Bldg SqFt:	Acres: 0.71 Acres
Legal: 2018-021 PARTITION PLAT, LOT 2, ACRES 0.71		
Owner Name: United States Of America Dept Of Interior	Parcel ID: R547634	Tax ID: 2S129A000100
Co-Owner:	Recording Date: 03/21/1994	
Site Addr: 20555 SW Gerda Ln Sherwood OR 97140	Use: Exempt Fed Gov -except Hud/Dva- Improved	
Owner Addr: 911 NE 11th Ave Portland OR 97232	Assessed Total:	Sale Price: \$400,000.00
Bedroom: Bath: Year Blt:	Bldg SqFt:	Acres: 45.10 Acres
Legal: ACRES 0.78, CODE SPLIT		
Owner Name: United States Of America Dept Of Interior	Parcel ID: R547652	Tax ID: 2S129A000100
Co-Owner:	Recording Date: 03/21/1994	
Site Addr: 20555 SW Gerda Ln Sherwood OR 97140	Use: Exempt Fed Gov -except Hud/Dva- Improved	
Owner Addr: 911 NE 11th Ave Portland OR 97232	Assessed Total:	Sale Price: \$400,000.00
Bedroom: 4 Bath: 1 Year Blt: 1950	Bldg SqFt: 3,208 SqFt	Acres: 45.10 Acres
Legal: ACRES 44.32, CODE SPLIT		
Owner Name: Tmk Properties LLC	Parcel ID: R547689	Tax ID: 2S129A000300
Co-Owner:	Recording Date: 02/24/2012	
Site Addr: 14985 SW Tualatin Sherwood Rd Sherwood OR 97	Use: Commercial In Industrial Zone Improved	
Owner Addr: 3948 SE Arbor Ct Hillsboro OR 97123	Assessed Total: \$508,820.00	Sale Price: \$725,000.00
Bedroom: Bath: Year Blt:	Bldg SqFt:	Acres: 2.35 Acres
Legal: ACRES 2.35		
Owner Name: Sherwood Pacific LLC Et Al	Parcel ID: R547698	Tax ID: 2S129A000400
Co-Owner:	Recording Date: 03/10/2016	
Site Addr: 14841 SW Tualatin Sherwood Rd Sherwood OR 97	Use: Commercial In Industrial Zone Improved	
Owner Addr: 25 NW 23rd Pl Ste 6 #192 Portland OR 97210	Assessed Total: \$3,087,060.00	Sale Price: \$4,850,000.00
Bedroom: Bath: Year Blt:	Bldg SqFt: 40,032 SqFt	Acres: 5.26 Acres
Legal: ACRES 4.30, CODE SPLIT		
Owner Name: Ralston & Ralston LLC	Parcel ID: R547705	Tax ID: 2S129A000500
Co-Owner:	Recording Date: 09/01/2015	
Site Addr: 15025 SW Tualatin Sherwood Rd # 00000r R Sher	Use:	
Owner Addr: 21029 SW Lebeau Rd Sherwood OR 97140	Assessed Total: \$317,810.00	Sale Price: \$950,000.00
Bedroom: Bath: Year Blt:	Bldg SqFt: 2,896 SqFt	Acres: 3.97 Acres
Legal: ACRES 3.97		
Owner Name: Sentinel Self Storage LLC	Parcel ID: R547894	Tax ID: 2S129B000900
Co-Owner:	Recording Date: 03/25/2016	
Site Addr: 15555 SW Tualatin Sherwood Rd Sherwood OR 97	Use:	
Owner Addr: 28185 SW Heater Rd Sherwood OR 97140	Assessed Total: \$3,847,460.00	Sale Price:
Bedroom: Bath: Year Blt: 1997	Bldg SqFt:	Acres: 5.08 Acres
Legal: ACRES 5.10		
Owner Name: Langer, Clarence D Jr Irrev Trust & Langer, Par	Parcel ID: R547901	Tax ID: 2S129B000901
Co-Owner:	Recording Date: 02/01/1980	
Site Addr: 15705 SW Tualatin Sherwood Rd Sherwood OR 97	Use: Specially Assessed - Unzoned Farmland - Improved - Indi	
Owner Addr: 15585 SW Tualatin Sherwood Rd Sherwood OR 97	Assessed Total: \$337,910.00	Sale Price:
Bedroom: Bath: Year Blt:	Bldg SqFt: 1,804 SqFt	Acres: 4.33 Acres
Legal: ACRES 4.36, POTENTIAL ADD'L TAX LIABILITY		

Owner Name: Orwa Sherwood LLC

Co-Owner:

Site Addr: 14816 SW Century Dr Sherwood OR 97140

Owner Addr: 8320 NE Highway 99 Vancouver WA 98665

Bedroom: **Bath:** **Year Blt:**

Legal: ACRES 37.47, LAND HOOK

Parcel ID: R548090

Tax ID: 2S129D000150

Recording Date: 07/05/2002

Use: Commercial In Industrial Zone Improved

Assessed Total: \$8,958,230.00 **Sale Price:**

Bldg SqFt: 59,625 SqFt

Acres: 37.47 Acres



Engineering Land Use Application Comments

To: Eric Rutledge, Associate Planner

From: Craig Christensen, P.E., Engineering Department

Project: Greenridge Solar (LU 2021-018)

Date: December 10, 2021

Engineering staff has reviewed the information provided for the above cited project. Final construction plans will need to meet the standards established by the City of Sherwood Engineering Department and Public Works Department, Clean Water Services (CWS) and Tualatin Valley Fire & Rescue in addition to requirements established by other jurisdictional agencies providing land use comments. City of Sherwood Engineering Department comments are as follows:

Sanitary Sewer

Currently a public sanitary sewer main exists within SW Olds Place and within SW Arrow Street along the subject property frontage. No public sanitary sewer main extension is required.

CONDITION: Prior to Approval of the Engineering Public Improvement Plans, the proposed development shall design to use the existing sanitary lateral to supply service to the new building unless otherwise approved by the Sherwood Engineering Department.

CONDITION: Prior to Issuance of a Plumbing Permit, the proposed development shall design the private sanitary sewer to be in compliance with the current Oregon Plumbing Specialty Code.

Water

Currently there is a public water main existing within SW Olds Place and within SW Arrow Street along the subject property frontage. No public water main extension is required.

CONDITION: Prior to Approval of the Engineering Public Improvement Plans, the proposed development shall design to use the existing water service(s) to supply domestic, irrigation and fire water to the development as needed unless otherwise approved by the Sherwood Engineering Department.

CONDITION: Prior to Approval of the Engineering Public Improvement Plans, water flows calculations (domestic, irrigation and fire) shall be provided by the developer.

Project: Greenridge Solar (LU 2021-018)
Date: December 16, 2021
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CONDITION: Prior to Approval of the Engineering Public Improvement Plans, the proposed development shall design for the installation of a Reduced Pressure Backflow Assembly meeting Sherwood Engineering Department standards unless otherwise approved.

On-site fire protection may be necessary depending on conditions by Tualatin Valley Fire & Rescue.

CONDITION: Prior to Approval of the Engineering Public Improvement Plans, if on-site fire protection is to be installed, the proposed development shall design for the installation of fire line backflow protection meeting Sherwood Engineering Department standards.

CONDITION: Prior to Issuance of a Plumbing Permit, the proposed development shall design for private water lines to be in compliance with the current Oregon Plumbing Specialty Code.

CONDITION: Prior to Final Acceptance of the Constructed Public Improvements, any public water facilities to be located on private property shall have a recorded public water line easement encompassing the related public water improvements meeting Sherwood Engineering standards.

Storm Sewer

Currently a public storm sewer main exists within SW Olds Place along the subject property frontage. However, there is no storm sewer existing within SW Arrow Street along the subject property frontage. City standards require the extension of the public utilities to the property line to serve uphill neighboring properties. However, since this is a lot of a subdivision that was previously developed under City of Sherwood standards, any extension of the storm sewer should have been completed under the original subdivision. Therefore, no public storm sewer main extension is required.

There is an existing water quality swale which was constructed with the original subdivision. This swale was designed to treat the runoff from the development of the subject property. This water quality swale was not designed to provide hydro-modification to meet the newly adopted Clean Water Services' hydro-modification requirements.

CONDITION: Prior to Approval of the Engineering Public Improvement Plans, the proposed development shall design to use the existing storm lateral to supply service to the development unless otherwise approved by the Sherwood Engineering Department.

CONDITION: Prior to Approval of the Engineering Public Improvement Plans, the proposed development shall design to provide hydro-modification in compliance with Clean Water Services' standards.

Project: Greenridge Solar (LU 2021-018)
Date: December 16, 2021
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CONDITION: Prior to Acceptance of Public Improvements, private hydro-modification facilities shall have a recorded Private Stormwater Facility Access and Maintenance Covenant. An Operation and Maintenance Plan for all private hydro-modification facilities is also required to be submitted to the Sherwood Engineering Department.

CONDITION: Prior to Issuance of a Plumbing Permit, the proposed development shall design for private storm water runoff within the subject property to be collected and conveyed in accordance with the current Oregon Plumbing Specialty Code.

Transportation

The subject property has frontage on SW Olds Place and SW Arrow Street (Collector). The existing streets have an 18-foot wide paved street section with 5-foot wide curb tight sidewalk within a 25-foot wide half street right-of-way section. SW Olds Place is a standard commercial local street which per standards should have 20 feet of paved width with a 5-foot wide landscape strip and 6-foot wide sidewalk within a 32-foot wide half street right-of-way section. While a 2-lane collector (with no on-street parking) should have 17 feet of paved width with a 5-foot wide landscape strip and 6-foot wide sidewalk within a 29-foot wide half street right-of-way section. Due to the streets being fully developed and the same as surrounding properties, no street improvements are required except as necessary to provide commercial access to the subject property.

Based upon the original traffic study for the Sherwood Commercial Center determined that each of the original lots within the subdivision (10 total) would have 83 daily site trips. A trip generation report was submitted for the subject property and determined that the new building will generate an additional 33 daily trips above the original 83 daily trips. Being 0.12% of SW Tualatin-Sherwood Road traffic times an intersection improvement cost of \$125,000 for the SW Olds Place/SW Tualatin-Sherwood Road intersection, the resulting traffic mitigation cost share of \$150.00 will be assessed to the development.

CONDITION: Prior to Approval of the Engineering Public Improvement Plans, the new driveway shall be designed to meet Sherwood Engineering Department standards.

CONDITION: Prior to Approval of the Engineering Public Improvement Plans, the developer shall pay a traffic mitigation cost in the amount of \$150.00.

Grading and Erosion Control:

City policy requires that prior to grading, a permit is obtained from the Building Department for all grading on the private portion of the site.

The Engineering Department requires a grading permit for all areas graded as part of the public improvements. The Engineering permit for grading of the public improvements is reviewed, approved and released as part of the public improvement plans.

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An erosion control plan and permit is required from the City of Sherwood Engineering Department for all public and private improvements. The erosion control permit is reviewed, approved and released as part of the public improvement plans.

Although the proposed parcel is less than 1 acre in size, the original development was constructed under a 1200-C, therefore a DEQ NPDES 1200-C permit is required for this development.

CONDITION: Prior to Issuance of Building Permits, a DEQ NPDES 1200-C permit shall be obtained.

Other Engineering Issues:

Clean Water Services has commented in the Service Provider Letter that this development will not significantly impact water quality sensitive areas.

An 8-foot wide PUE exists along the subject property frontage of SW Olds Place and SW Arrow Street.

Sherwood Broadband exists along the subject property frontage of SW Old Place and SW Arrow Street. Therefore no Sherwood Broadband frontage improvements are required.

CONDITION: Prior to Approval of the Engineering Public Improvement Plans, a Storm Water Connection Permit Authorization shall be obtained from Clean Water Services.

CONDITION: Prior to Issuance of Building Permits, an Engineering Compliance Agreement shall be obtained from the City of Sherwood Engineering Department.

END OF COMMENTS.

M E M O R A N D U M

Date: December 16, 2021
To: Eric Rutledge, Associate Planner, City of Sherwood
From: Jackie Sue Humphreys, Clean Water Services (CWS)
Subject: Greenridge Solar, LU 2021-018, 2S129A001900

Please include the following comments when writing your conditions of approval:

PRIOR TO ANY WORK ON THE SITE

A Clean Water Services (CWS) Storm Water Connection Permit Authorization must be obtained. Application for CWS Permit Authorization must be in accordance with the requirements of the Design and Construction Standards, Resolution and Order No. 19-5 as amended by R&O 19-22, or prior standards as meeting the implementation policy of R&O 18-28, and is to include:

- a. Detailed plans prepared in accordance with Chapter 2, Section 2.04.
- b. Detailed grading and erosion control plan. An Erosion Control Permit will be required. Area of Disturbance must be clearly identified on submitted construction plans.
- c. Detailed plans showing the development having direct access by gravity to public storm and sanitary sewer.
- d. Provisions for water quality in accordance with the requirements of the above named design standards. Water Quality is required for all new development and redevelopment areas per R&O 19-5, Section 4.04. Access shall be provided for maintenance of facility per R&O 19-5, Section 4.07.6.
- e. If use of an existing offsite or regional Water Quality Facility is proposed, it must be clearly identified on plans, showing its location, condition, capacity to treat this site and, any additional improvements and/or upgrades that may be needed to utilize that facility.

- f. If private lot LIDA systems proposed, must comply with the current CWS Design and Construction Standards. A private maintenance agreement, for the proposed private lot LIDA systems, needs to be provided to the City for review and acceptance.
- g. Show all existing and proposed easements on plans. Any required storm sewer, sanitary sewer, and water quality related easements must be granted to the City.
- h. Application may require additional permitting and plan review from CWS Source Control Program. For any questions or additional information, please contact Source Control at (503) 681-5175.
- i. Any proposed offsite construction activities will require an update or amendment to the current Service Provider Letter for this project.

CONCLUSION

This Land Use Review does not constitute CWS approval of storm or sanitary sewer compliance to the NPDES permit held by CWS. CWS, prior to issuance of any connection permits, must approve final construction plans and drainage calculations.