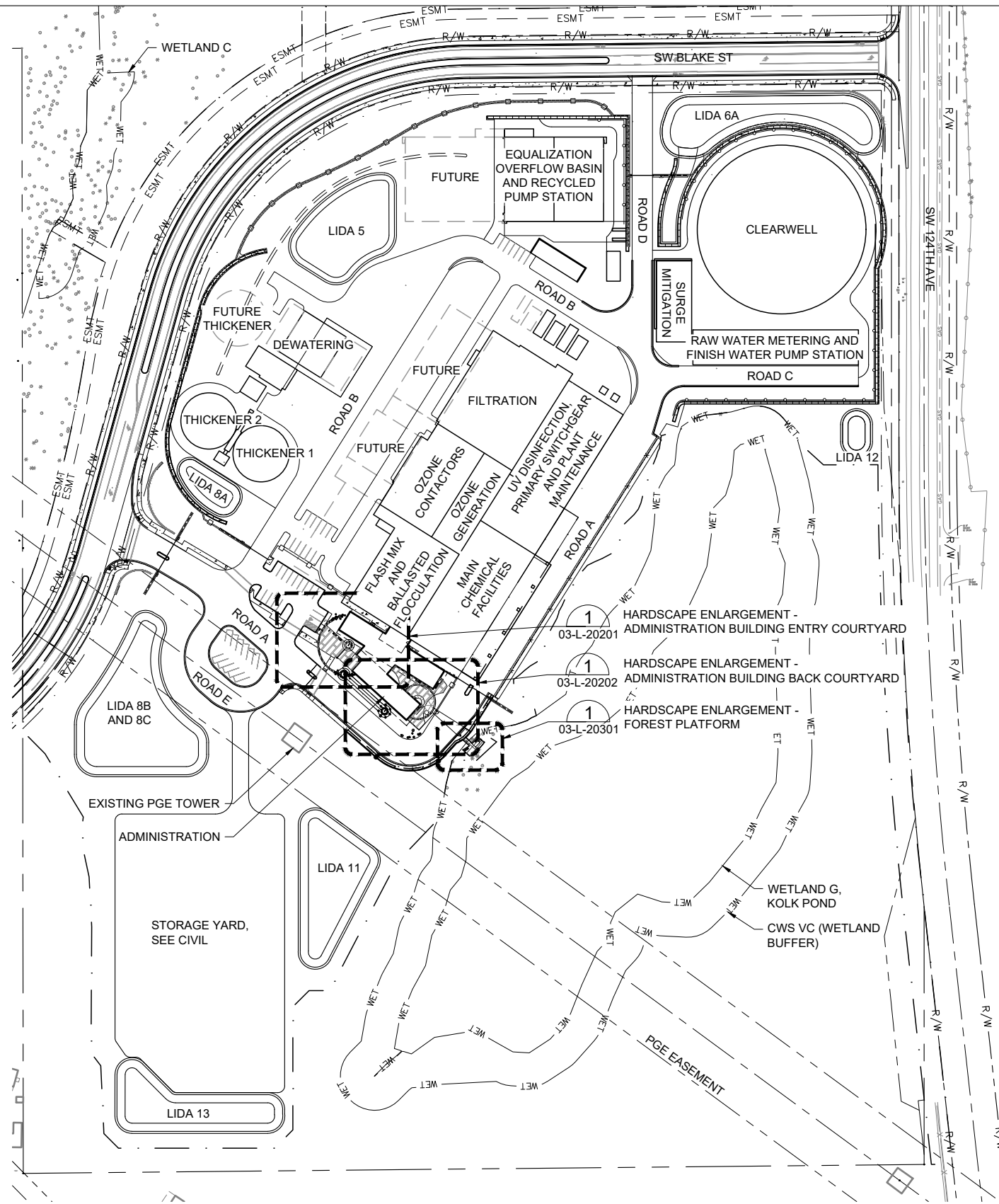
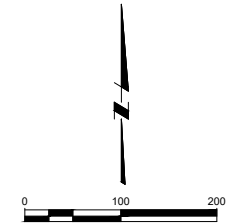


# FOR LAND USE PERMITTING (EXHIBIT A)



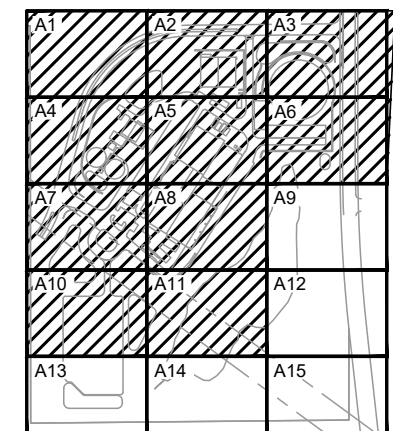
### LANDSCAPE GENERAL NOTES:

- ALL WORK PERFORMED IN CONNECTION WITH THE CONTRACT DOCUMENTS, INCLUDING MATERIALS FURNISHED, WORKMANSHIP, AND MEANS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE LATEST STANDARDS, PRACTICES AND REQUIREMENTS OF THE APPLICABLE FEDERAL, STATE AND LOCAL AUTHORITIES.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS, DEPTHS AND ELEVATIONS PRIOR TO CONSTRUCTION AND ARRANGE FOR THE RELOCATION OF ANY IN CONFLICT WITH ALL CONSTRUCTION ACTIVITIES. THE LOCATIONS AND IDENTIFICATION OF UTILITIES WITHIN THIS DOCUMENT IS FOR INFORMATION ONLY AND IS NOT GUARANTEED TO BE ACCURATE. ANY DISCREPANCIES BETWEEN SURVEY INFORMATION AND FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- IT SHALL BE UNDERSTOOD THAT THE IMPROVEMENTS SHOWN IN THE DRAWINGS AND SPECIFICATIONS ARE MEANT TO COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES. DESIGN CHANGES, CONFLICTS, OR ISSUES THAT ARISE THAT WOULD CONTRADICT RELEVANT CODES AND ORDINANCES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- CONTRACTOR TO COMPLY WITH OREGON LAW REQUIRING ADHERENCE TO THE RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THE CONTRACTOR MUST NOTIFY THE OREGON UTILITY NOTIFICATION CENTER AT LEAST 2 BUSINESS DAYS, BUT NOT MORE THAN 10 BUSINESS DAYS, BEFORE COMMENCING AN EXCAVATION. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090 AND ORS 757.541 TO 757.57. PHONE CONTACT FOR THE OREGON UTILITY NOTIFICATION CENTER IS 1-800-332-2344 (or 811).
- CONTRACTOR TO REPAIR AT OWN EXPENSE FOR ANY DAMAGE DONE TO UTILITY SYSTEMS, SURFACE PAVEMENTS, SITE FEATURES, AND STRUCTURES, WHETHER INSIDE OR OUTSIDE OF THE PROJECT LIMITS, THAT ARE NOT DIRECTLY INDICATED TO BE REMOVED OR RELOCATED AS PART OF THE PROJECT CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL QUANTITIES SHOWN IN THE DRAWINGS OR SPECIFICATIONS. ANY QUANTITIES PROVIDED ARE FOR CONVENIENCE ONLY. OWNER'S REPRESENTATIVE TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
- UPON PROJECT COMPLETION, THE PROJECT AREA AND ADJACENT SPACES SHALL BE FREE AND CLEAR OF ALL CONSTRUCTION MATERIALS, WASTE AND DEBRIS. CONTRACTOR TO REMOVE AND PROPERLY DISPOSE OF ALL MATERIALS AS INDICATED IN THE PROJECT CONTRACT DOCUMENTS AND MUST MEET ALL APPLICABLE REGULATIONS OVERSEEING WASTE DISPOSAL.



HALF-STREET FRONTAGE AND RIGHT-OF-WAY (ROW) IMPROVEMENTS FOR SW 124TH AVE ARE STILL BEING COORDINATED AMONGST STAKEHOLDERS INCLUDING THE CITY AND COUNTY. THEREFORE, IMPROVEMENTS ARE NOT YET SHOWN BUT WILL BE SHOWN ON FUTURE VERSIONS OF THIS DRAWING

### KEY MAP



90% DESIGN - NOT FOR CONSTRUCTION

GATE TABLE		
GATE ID	TYPE	CLEAR OPENING WIDTH
1A	CANTILEVER SLIDING GATE	25'-0"
1B	CANTILEVER SLIDING GATE	24'-6"
2	CANTILEVER SLIDING GATE	33'-0"
3A	CANTILEVER SLIDING GATE	23'-6"
3B	CANTILEVER SLIDING GATE	31'-0"
4	CANTILEVER SLIDING GATE	32'-0"
5	PERSON GATE (DECORATIVE)	4'-0"
6	PERSON GATE (DECORATIVE)	5'-0"
7	PERSON GATE (CHAINLINK)	4'-0"
8	PERSON GATE (DECORATIVE)	3'-0"

## SHEET B-046: HARDSCAPE OVERALL PLAN

OVERALL PLAN  
SCALE: 1" = 100'-0"

DSGN	A HOLDER						
DR	R TENDICK						
CHK	D WALTERS						
APVD	M FAHA	NO.	DATE	REVISION	BY	APVD	

VERIFY SCALE  
BAR IS ONE INCH ON ORIGINAL DRAWING.  
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WATER TREATMENT PLANT\_1.0

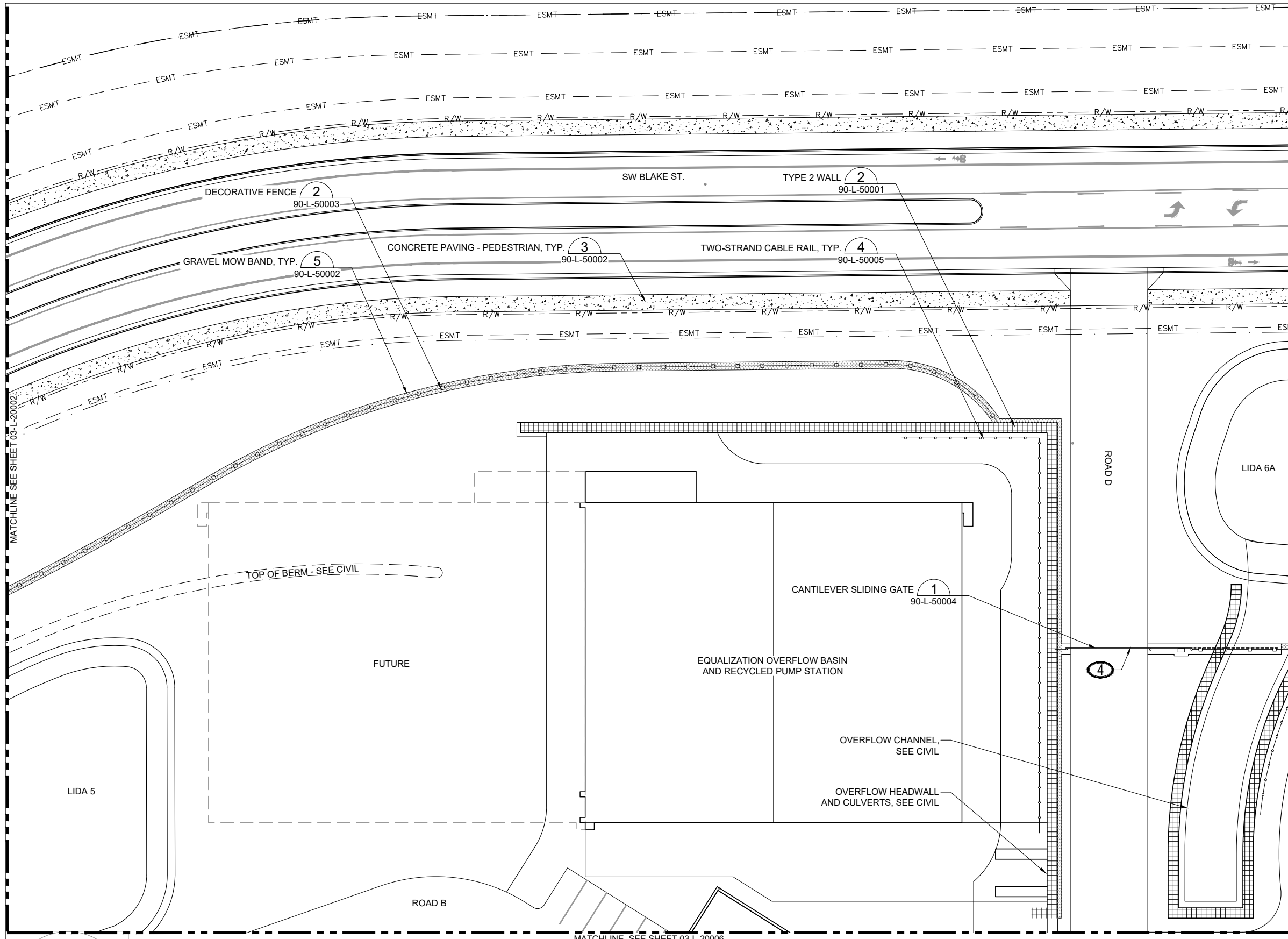
**CDM Smith**  
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Portland, OR 97205  
Tel: (503) 232-1800

SITE  
LANDSCAPE ARCHITECTURE  
HARDSCAPE & MATERIALS  
OVERALL PLAN

SHEET	DWG #	03-L-20001
DATE	AUG 2020	
PROJ	WTP_1.0	

PLOT DATE AND TIME: 8/21/2020 1:10 PM

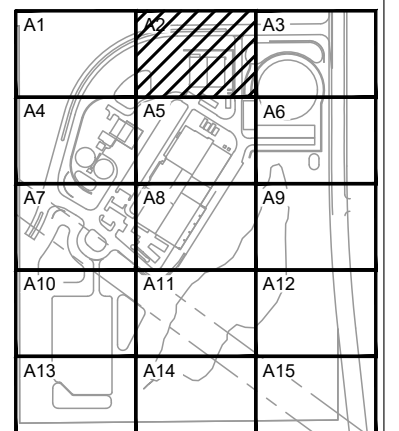
# FOR LAND USE PERMITTING (EXHIBIT A)



### MATERIALS LEGEND

SYMBOL	ITEM	DETAIL/SHEET
	CONCRETE PAVING - PEDESTRIAN	3 90-L-50002
	CONCRETE UNIT PAVERS TYPE 1	1 90-L-50002
	CONCRETE UNIT PAVERS TYPE 2	1 90-L-50002
	MORTAR-SET STONE PAVERS	7 90-L-50002
	DETECTABLE WARNING	4 90-L-50002
	GRAVEL PAVING - PEDESTRIAN	2 90-L-50002
	GRAVEL MOW BAND	5 90-L-50002
	ELEVATED GRATING AT FOREST PLATFORM	
	TYPE 1 WALL	1 90-L-50001
	TYPE 2 WALL	2 90-L-50001
	TYPE 3 WALL	3 90-L-50001
	TWO-STRAND CABLE RAIL	4 90-L-50005
	GUARDRAIL AT FOREST PLATFORM	6 90-L-50005
	CHAINLINK FENCE	1 90-L-50003
	DECORATIVE FENCE	2 90-L-50003
	GATE ID - SEE GATE TABLE ON SHEET 03-L-20001	

### KEY MAP



90% DESIGN - NOT FOR CONSTRUCTION

## SHEET B-048: HARDSCAPE AREA A2

PLAN  
SCALE: 1" = 20'-0"

DSGN	A HOLDER				
DR	R TENDICK				
CHK	D WALTERS				
APVD	M FAHA	NO.	DATE	REVISION	BY

VERIFY SCALE  
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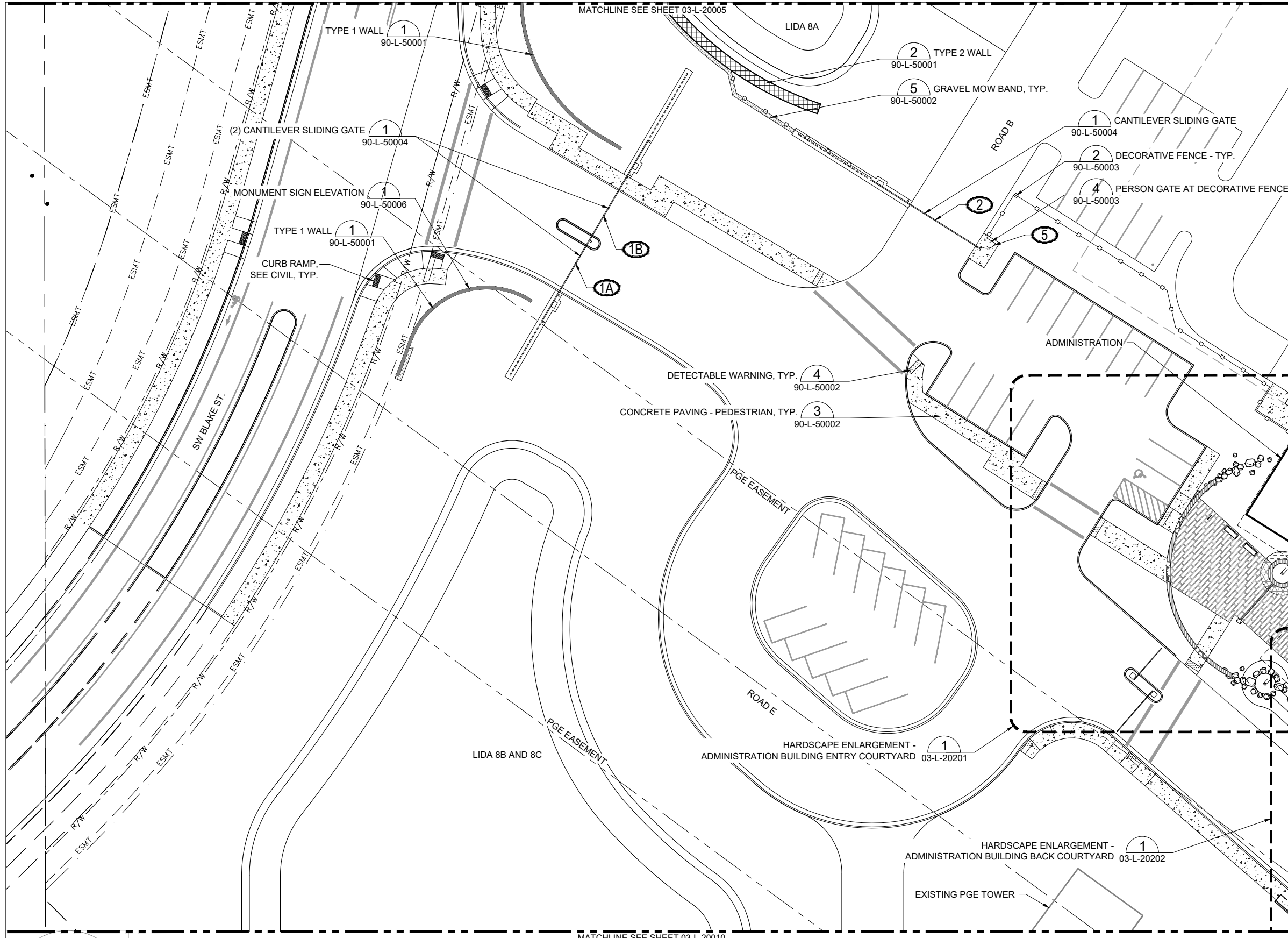
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Portland, OR 97205  
Tel: (503) 232-1800

SITE  
LANDSCAPE ARCHITECTURE  
HARDSCAPE & MATERIALS PLAN A2

SHEET	DWG #	03-L-20003
DATE	AUG 2020	
PROJ	WTP_1.0	

PLOT DATE AND TIME: 8/21/2020 1:10 PM

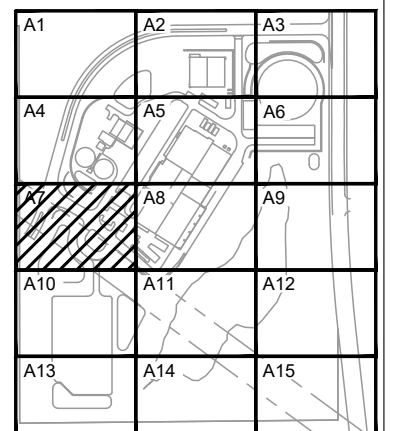
# FOR LAND USE PERMITTING (EXHIBIT A)



### MATERIALS LEGEND

SYMBOL	ITEM	DETAIL/SHEET
[Pattern]	CONCRETE PAVING - PEDESTRIAN	3 90-L-50002
[Pattern]	CONCRETE UNIT PAVERS TYPE 1	1 90-L-50002
[Pattern]	CONCRETE UNIT PAVERS TYPE 2	1 90-L-50002
[Pattern]	MORTAR-SET STONE PAVERS	7 90-L-50002
[Pattern]	DETECTABLE WARNING	4 90-L-50002
[Pattern]	GRAVEL PAVING - PEDESTRIAN	2 90-L-50002
[Pattern]	GRAVEL MOW BAND	5 90-L-50002
[Pattern]	ELEVATED GRATING AT FOREST PLATFORM	
[Symbol]	TYPE 1 WALL	1 90-L-50001
[Symbol]	TYPE 2 WALL	2 90-L-50001
[Symbol]	TYPE 3 WALL	3 90-L-50001
[Symbol]	TWO-STRAND CABLE RAIL	4 90-L-50005
[Symbol]	GUARDRAIL AT FOREST PLATFORM	6 90-L-50005
[Symbol]	CHAINLINK FENCE	1 90-L-50003
[Symbol]	DECORATIVE FENCE	2 90-L-50003
[Symbol]	GATE ID - SEE GATE TABLE ON SHEET 03-L-20001	

### KEY MAP



90% DESIGN - NOT FOR CONSTRUCTION

## SHEET B-053: HARDSCAPE AREA A7

PLAN  
SCALE: 1" = 20'-0"

DSGN	A HOLDER				
DR	R TENDICK				
CHK	D WALTERS				
APVD	M FAHA	NO.	DATE	REVISION	BY

VERIFY SCALE  
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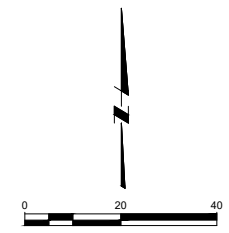
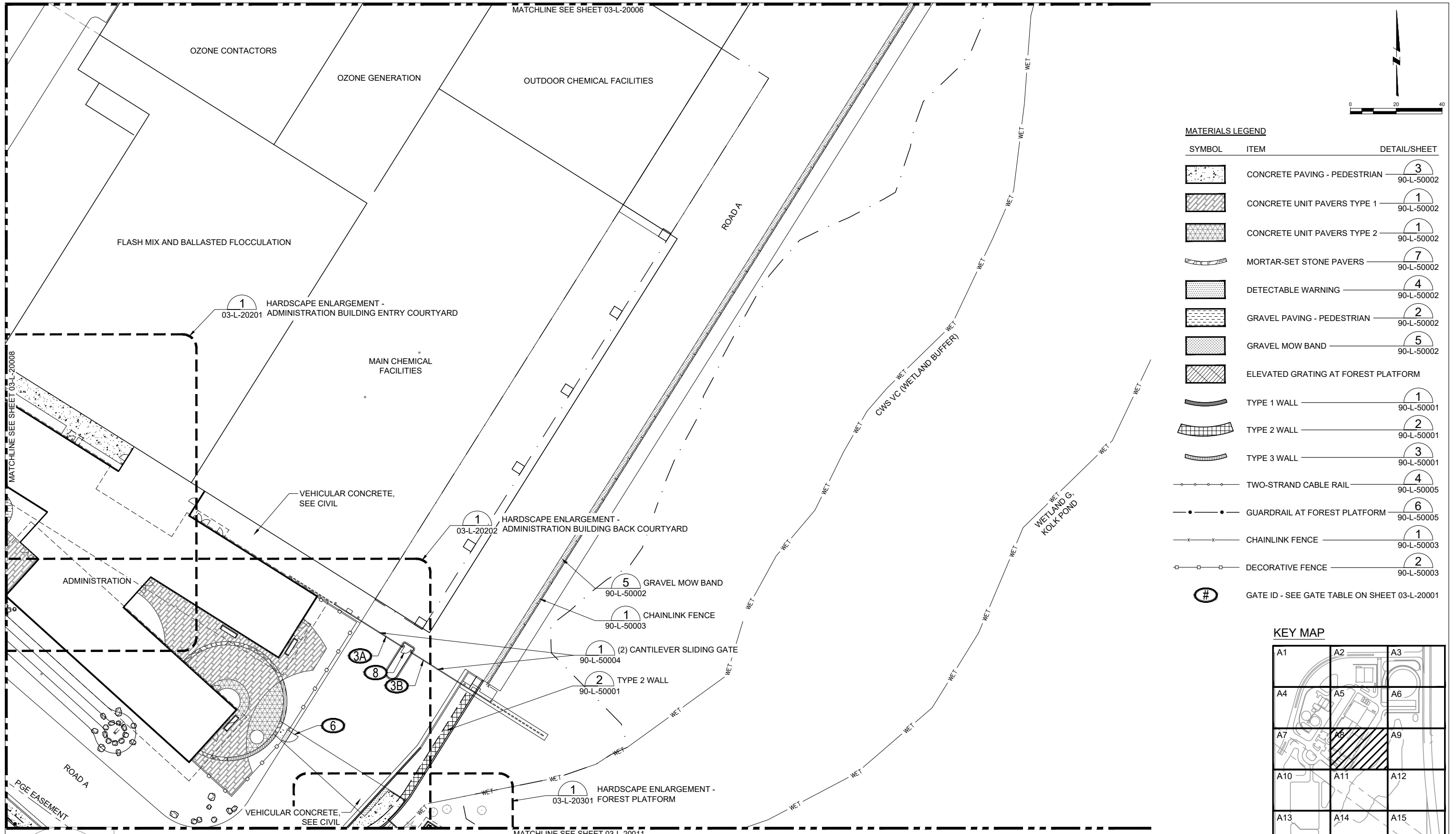
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Portland, OR 97205  
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SITE  
LANDSCAPE ARCHITECTURE  
HARDSCAPE & MATERIALS PLAN A7

SHEET	DWG # 03-L-20008
DATE	AUG 2020
PROJ	WTP_1.0

PLOT DATE AND TIME: 8/21/2020 1:10 PM

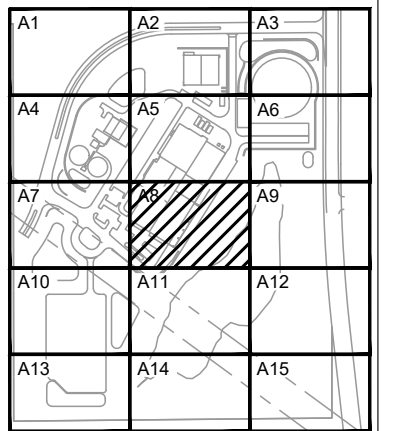
# FOR LAND USE PERMITTING (EXHIBIT A)



### MATERIALS LEGEND

SYMBOL	ITEM	DETAIL/SHEET
[Symbol]	CONCRETE PAVING - PEDESTRIAN	3 / 90-L-50002
[Symbol]	CONCRETE UNIT PAVERS TYPE 1	1 / 90-L-50002
[Symbol]	CONCRETE UNIT PAVERS TYPE 2	1 / 90-L-50002
[Symbol]	MORTAR-SET STONE PAVERS	7 / 90-L-50002
[Symbol]	DETECTABLE WARNING	4 / 90-L-50002
[Symbol]	GRAVEL PAVING - PEDESTRIAN	2 / 90-L-50002
[Symbol]	GRAVEL MOW BAND	5 / 90-L-50002
[Symbol]	ELEVATED GRATING AT FOREST PLATFORM	
[Symbol]	TYPE 1 WALL	1 / 90-L-50001
[Symbol]	TYPE 2 WALL	2 / 90-L-50001
[Symbol]	TYPE 3 WALL	3 / 90-L-50001
[Symbol]	TWO-STRAND CABLE RAIL	4 / 90-L-50005
[Symbol]	GUARDRAIL AT FOREST PLATFORM	6 / 90-L-50005
[Symbol]	CHAINLINK FENCE	1 / 90-L-50003
[Symbol]	DECORATIVE FENCE	2 / 90-L-50003
[Symbol]	GATE ID - SEE GATE TABLE ON SHEET 03-L-20001	

### KEY MAP



90% DESIGN - NOT FOR CONSTRUCTION

## SHEET B-054: HARDSCAPE AREA A8

PLAN  
SCALE: 1" = 20'-0"

DSGN	A HOLDER				
DR	R TENDICK				
CHK	D WALTERS				
APVD	M FAHA	NO.	DATE	REVISION	BY

VERIFY SCALE  
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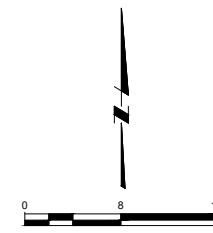
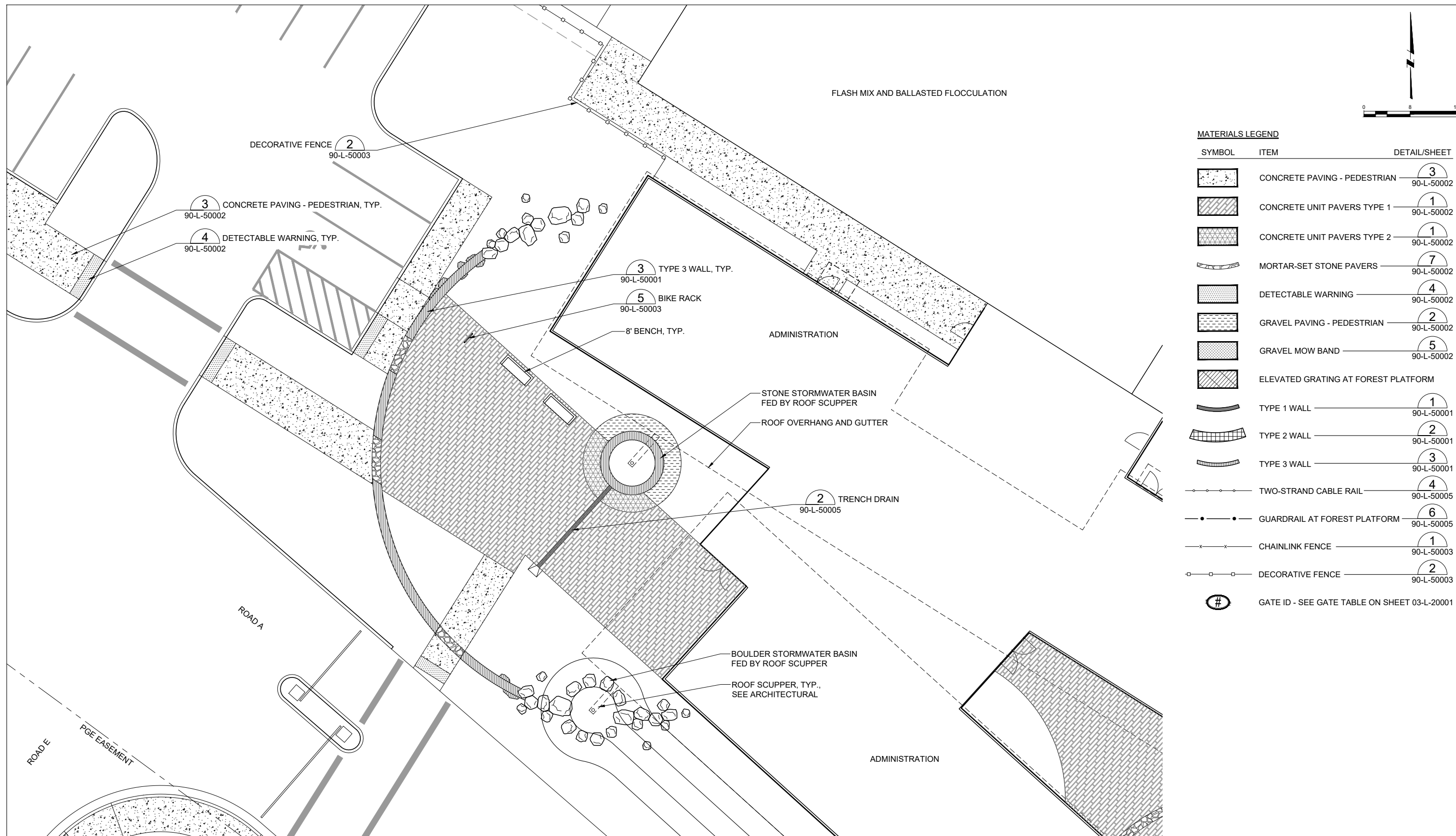
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WATER TREATMENT PLANT\_1.0

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Tel: (503) 232-1800

SITE  
LANDSCAPE ARCHITECTURE  
HARDSCAPE & MATERIALS PLAN A8

SHEET	DWG # 03-L-20009
DATE	AUG 2020
PROJ	WTP_1.0

# FOR LAND USE PERMITTING (EXHIBIT A)



**MATERIALS LEGEND**

SYMBOL	ITEM	DETAIL/SHEET
[Symbol]	CONCRETE PAVING - PEDESTRIAN	3 90-L-50002
[Symbol]	CONCRETE UNIT PAVERS TYPE 1	1 90-L-50002
[Symbol]	CONCRETE UNIT PAVERS TYPE 2	1 90-L-50002
[Symbol]	MORTAR-SET STONE PAVERS	7 90-L-50002
[Symbol]	DETECTABLE WARNING	4 90-L-50002
[Symbol]	GRAVEL PAVING - PEDESTRIAN	2 90-L-50002
[Symbol]	GRAVEL MOW BAND	5 90-L-50002
[Symbol]	ELEVATED GRATING AT FOREST PLATFORM	
[Symbol]	TYPE 1 WALL	1 90-L-50001
[Symbol]	TYPE 2 WALL	2 90-L-50001
[Symbol]	TYPE 3 WALL	3 90-L-50001
[Symbol]	TWO-STRAND CABLE RAIL	4 90-L-50005
[Symbol]	GUARDRAIL AT FOREST PLATFORM	6 90-L-50005
[Symbol]	CHAINLINK FENCE	1 90-L-50003
[Symbol]	DECORATIVE FENCE	2 90-L-50003
[Symbol]	GATE ID - SEE GATE TABLE ON SHEET 03-L-20001	

**SHEET B-057: HARDSCAPE ENLARGEMENT - ADMIN ENTRY COURTYARD**

PLAN  
SCALE: 1" = 8'-0"

90% DESIGN - NOT FOR CONSTRUCTION

DSGN	A HOLDER	NO.	DATE	REVISION	BY	APVD
DR	R TENDICK					
CHK	D WALTERS					
APVD	M FAHA					

VERIFY SCALE  
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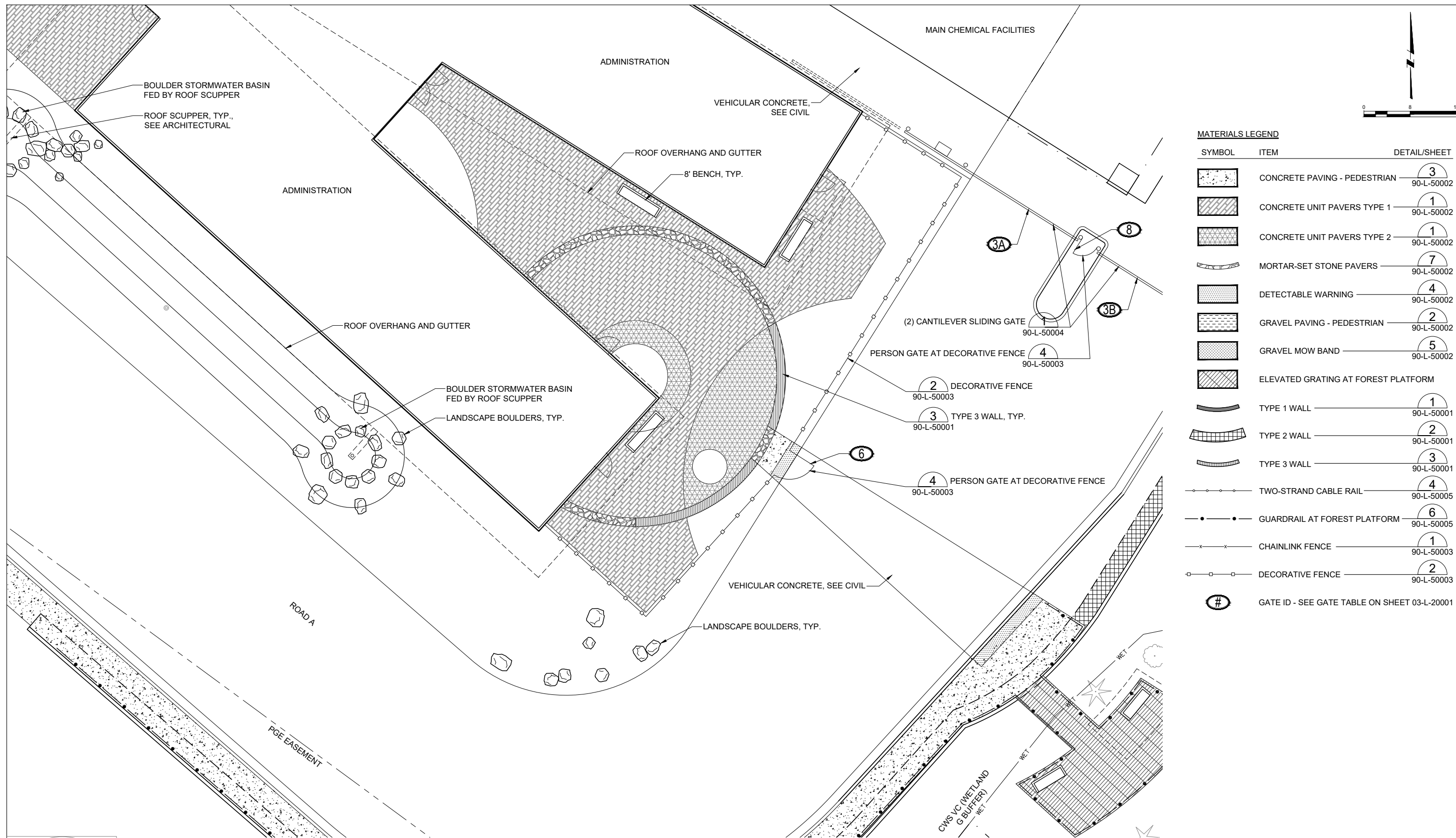
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WATER TREATMENT PLANT\_1.0

**CDM Smith**  
1220 SW Morrison Street, Suite 200  
Portland, OR 97205  
Tel: (503) 232-1800

SITE  
LANDSCAPE ARCHITECTURE  
HARDSCAPE ENLARGEMENT  
ADMINISTRATION BUILDING ENTRY COURTYARD

SHEET
DWG # 03-L-20201
DATE AUG 2020
PROJ WTP_1.0

# FOR LAND USE PERMITTING (EXHIBIT A)



**MATERIALS LEGEND**

SYMBOL	ITEM	DETAIL/SHEET
[Symbol]	CONCRETE PAVING - PEDESTRIAN	3 90-L-50002
[Symbol]	CONCRETE UNIT PAVERS TYPE 1	1 90-L-50002
[Symbol]	CONCRETE UNIT PAVERS TYPE 2	1 90-L-50002
[Symbol]	MORTAR-SET STONE PAVERS	7 90-L-50002
[Symbol]	DETECTABLE WARNING	4 90-L-50002
[Symbol]	GRAVEL PAVING - PEDESTRIAN	2 90-L-50002
[Symbol]	GRAVEL MOW BAND	5 90-L-50002
[Symbol]	ELEVATED GRATING AT FOREST PLATFORM	
[Symbol]	TYPE 1 WALL	1 90-L-50001
[Symbol]	TYPE 2 WALL	2 90-L-50001
[Symbol]	TYPE 3 WALL	3 90-L-50001
[Symbol]	TWO-STRAND CABLE RAIL	4 90-L-50005
[Symbol]	GUARDRAIL AT FOREST PLATFORM	6 90-L-50005
[Symbol]	CHAINLINK FENCE	1 90-L-50003
[Symbol]	DECORATIVE FENCE	2 90-L-50003
[Symbol]	GATE ID - SEE GATE TABLE ON SHEET 03-L-20001	

**SHEET B-058: HARDSCAPE ENLARGEMENT - ADMIN BACK COURTYARD**

PLAN  
SCALE: 1" = 8'-0"

90% DESIGN - NOT FOR CONSTRUCTION

DSGN	A HOLDER				
DR	R TENDICK				
CHK	D WALTERS				
APVD	M FAHA	NO.	DATE	REVISION	BY

VERIFY SCALE  
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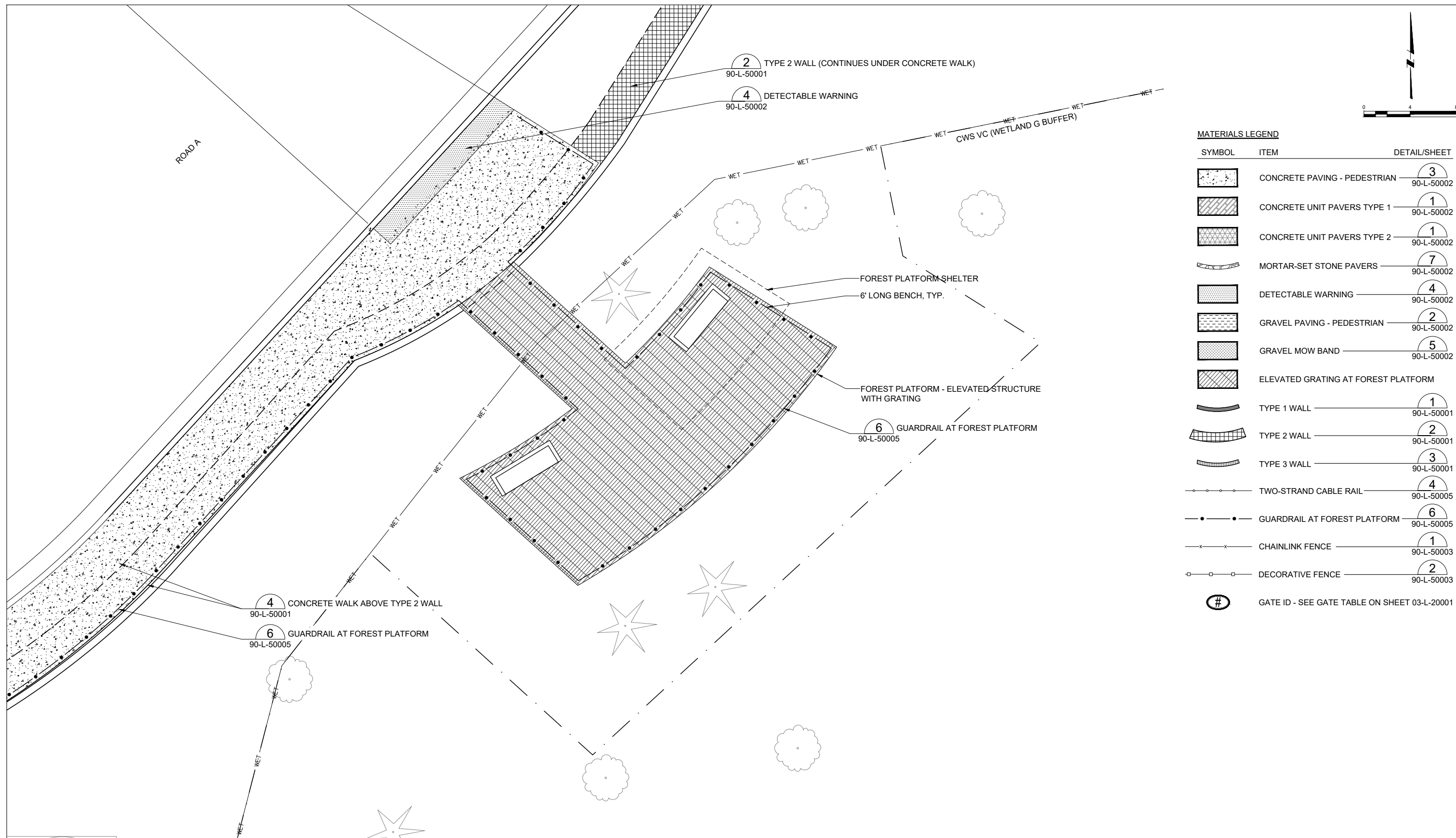
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Portland, OR 97205  
Tel: (503) 232-1800

SITE  
LANDSCAPE ARCHITECTURE  
HARDSCAPE ENLARGEMENT  
ADMINISTRATION BUILDING BACK COURTYARD

SHEET	
DWG #	03-L-20202
DATE	AUG 2020
PROJ	WTP_1.0

PLOT DATE AND TIME: 8/21/2020 1:10 PM

# FOR LAND USE PERMITTING (EXHIBIT A)



**MATERIALS LEGEND**

SYMBOL	ITEM	DETAIL/SHEET
	CONCRETE PAVING - PEDESTRIAN	3 90-L-50002
	CONCRETE UNIT PAVERS TYPE 1	1 90-L-50002
	CONCRETE UNIT PAVERS TYPE 2	1 90-L-50002
	MORTAR-SET STONE PAVERS	7 90-L-50002
	DETECTABLE WARNING	4 90-L-50002
	GRAVEL PAVING - PEDESTRIAN	2 90-L-50002
	GRAVEL MOW BAND	5 90-L-50002
	ELEVATED GRATING AT FOREST PLATFORM	
	TYPE 1 WALL	1 90-L-50001
	TYPE 2 WALL	2 90-L-50001
	TYPE 3 WALL	3 90-L-50001
	TWO-STRAND CABLE RAIL	4 90-L-50005
	GUARDRAIL AT FOREST PLATFORM	6 90-L-50005
	CHAINLINK FENCE	1 90-L-50003
	DECORATIVE FENCE	2 90-L-50003
	GATE ID - SEE GATE TABLE ON SHEET 03-L-20001	

**SHEET B-059: HARDSCAPE ENLARGEMENT - FOREST PLATFORM**

PLAN  
SCALE: 1" = 4'-0"

90% DESIGN - NOT FOR CONSTRUCTION

DSGN	A HOLDER				
DR	R TENDICK				
CHK	D WALTERS				
APVD	M FAHA	NO.	DATE	REVISION	BY

VERIFY SCALE  
BAR IS ONE INCH ON ORIGINAL DRAWING.  
0 1"  
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.



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Tel: (503) 232-1800

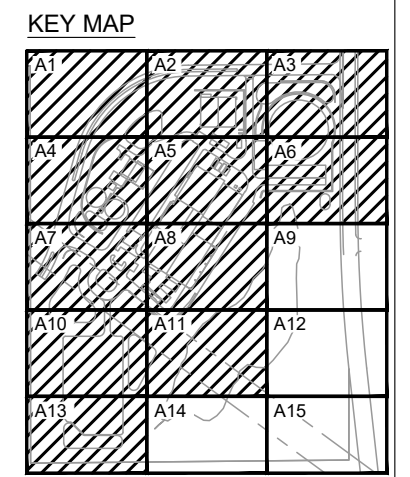
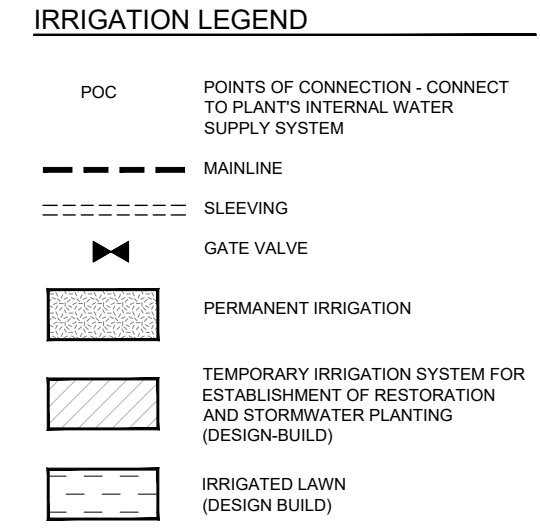
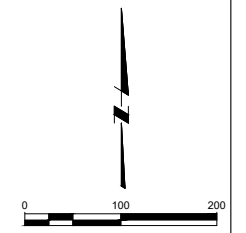
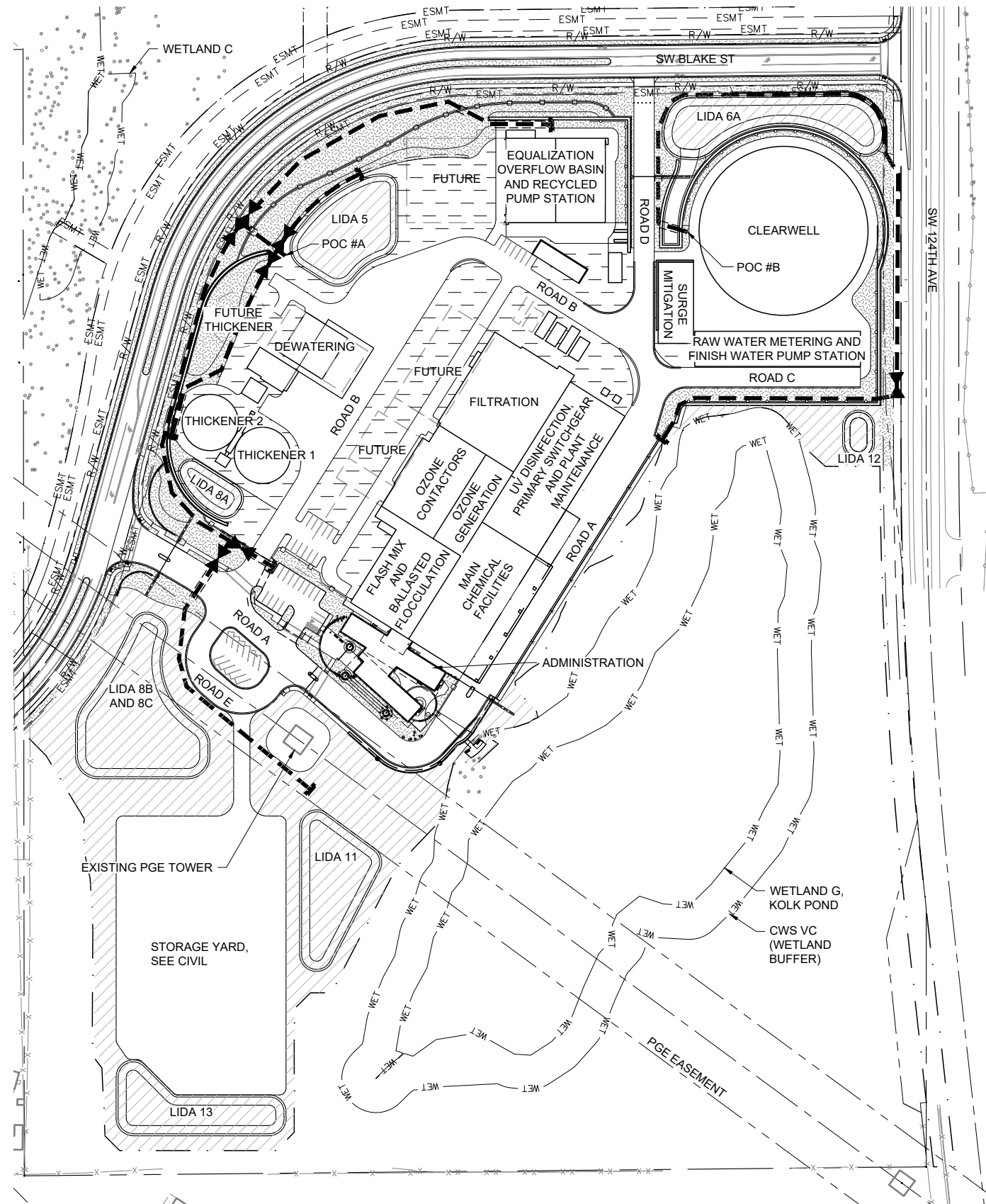
SITE  
LANDSCAPE ARCHITECTURE  
HARDSCAPE ENLARGEMENT  
FOREST PLATFORM

SHEET	
DWG #	03-L-20301
DATE	AUG 2020
PROJ	WTP_1.0

PLOT DATE AND TIME: 8/21/2020 1:10 PM

# FOR LAND USE PERMITTING (EXHIBIT A)

HALF-STREET FRONTAGE AND RIGHT-OF-WAY (ROW) IMPROVEMENTS FOR SW 124TH AVE ARE STILL BEING COORDINATED AMONGST STAKEHOLDERS INCLUDING THE CITY AND COUNTY. THEREFORE, IMPROVEMENTS ARE NOT YET SHOWN BUT WILL BE SHOWN ON FUTURE VERSIONS OF THIS DRAWING



**OVERALL PLAN**  
SCALE: 1" = 100'-0"

90% DESIGN - NOT FOR CONSTRUCTION

**SHEET B-060: IRRIGATION OVERALL PLAN**

DSGN	B DEAN					
DR	B DEAN					
CHK	D WALTERS					
APVD	M FAHA	NO.	DATE	REVISION	BY	APVD

VERIFY SCALE BAR IS ONE INCH ON ORIGINAL DRAWING. IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.

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WATER TREATMENT PLANT\_1.0

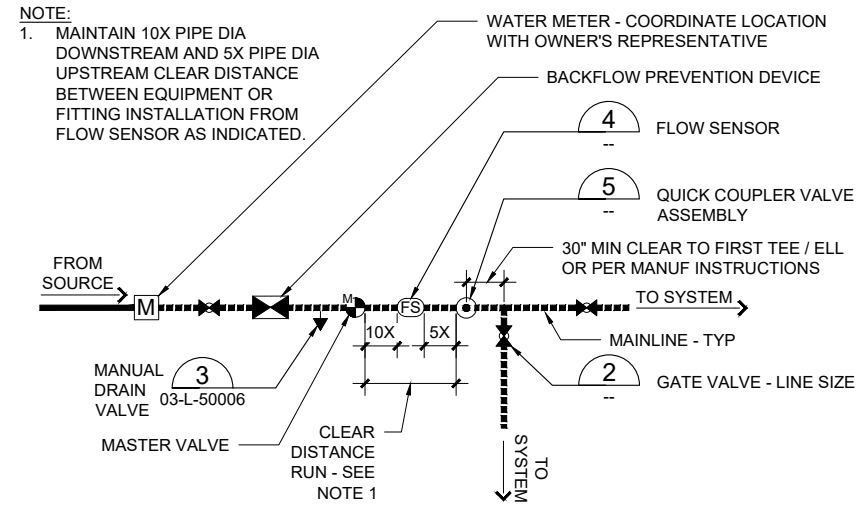
**CDM Smith**  
1220 SW Morrison Street, Suite 200  
Portland, OR 97205  
Tel: (503) 232-1800

SITE  
LANDSCAPE ARCHITECTURE  
IRRIGATION  
OVERALL PLAN, LEGEND & NOTES

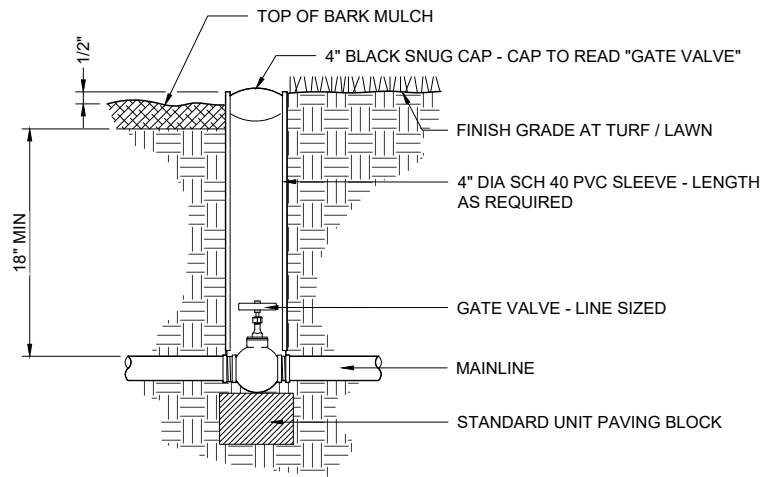
SHEET	DWG #	03-L-28001
DATE	AUG 2020	
PROJ	WTP_1.0	



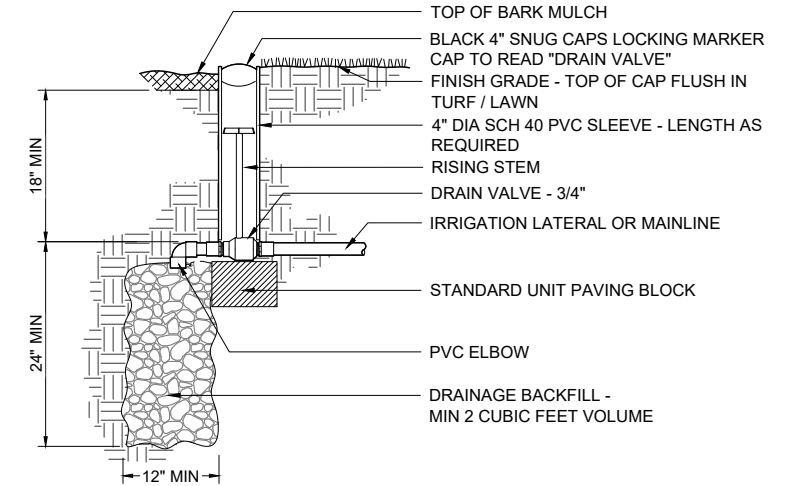
# FOR LAND USE PERMITTING (EXHIBIT A)



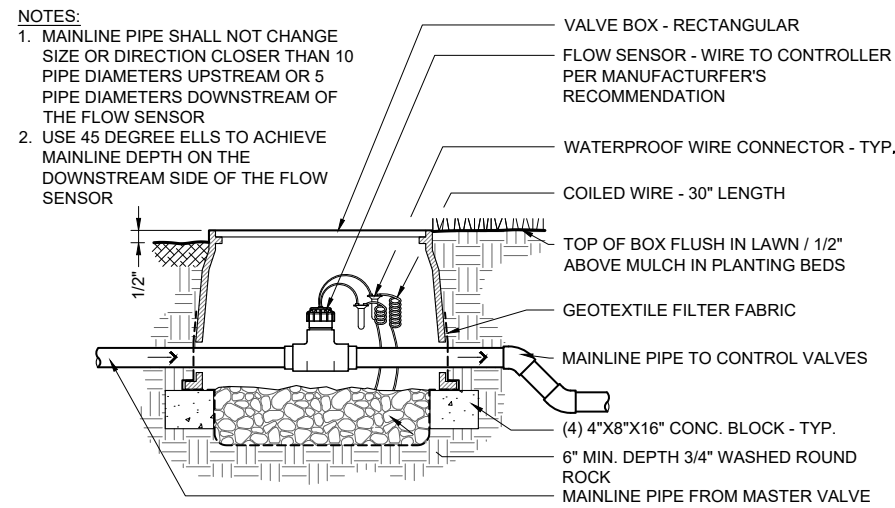
**POINT OF CONNECTION DIAGRAM**  
NOT TO SCALE



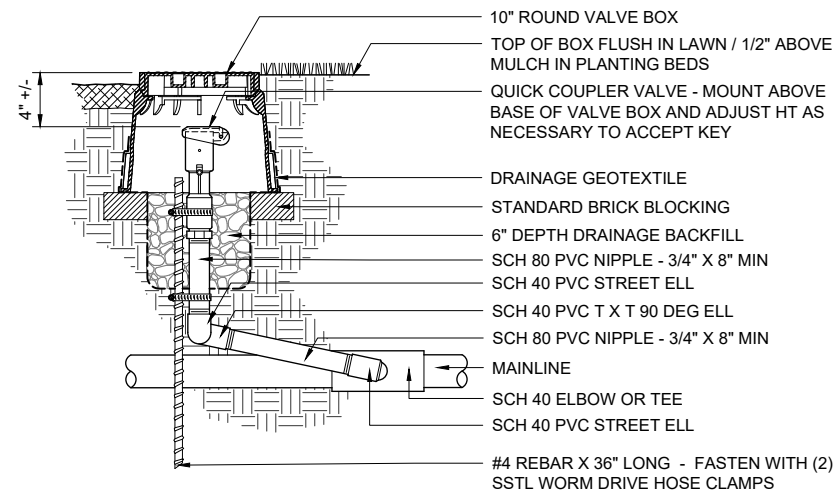
**GATE VALVE**  
NOT TO SCALE



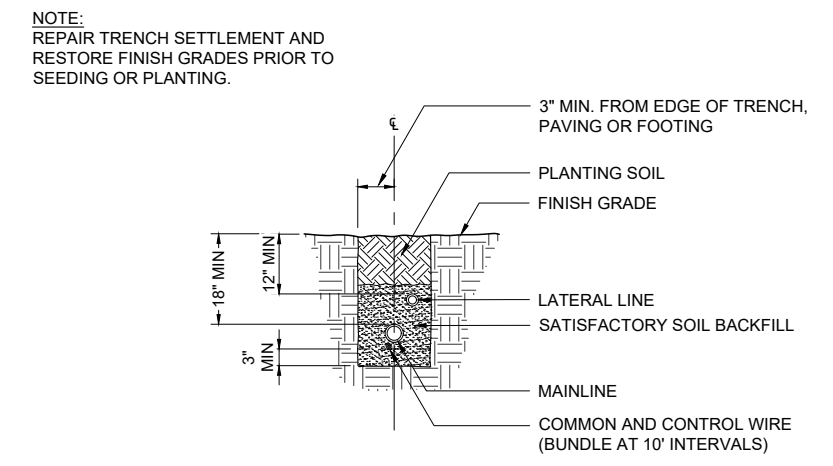
**MANUAL DRAIN VALVE**  
NOT TO SCALE



**FLOW SENSOR**  
NOT TO SCALE



**QUICK COUPLER VALVE**  
NOT TO SCALE



**TRENCHING IN PLANTING AREAS**  
NOT TO SCALE

**SHEET B-071: IRRIGATION DETAILS 1**

DSGN	STOECKLEIN					
DR	STOECKLEIN					
CHK	D WALTERS					
APVD	M FAHA	NO.	DATE	REVISION	BY	APVD

VERIFY SCALE  
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Tel: (503) 232-1600

STANDARD DETAILS  
LANDSCAPE ARCHITECTURE  
IRRIGATION DETAILS 1

SHEET	DWG # 03-L-51001
DATE	AUG 2020
PROJ	WTP_1.0

90% DESIGN - NOT FOR CONSTRUCTION

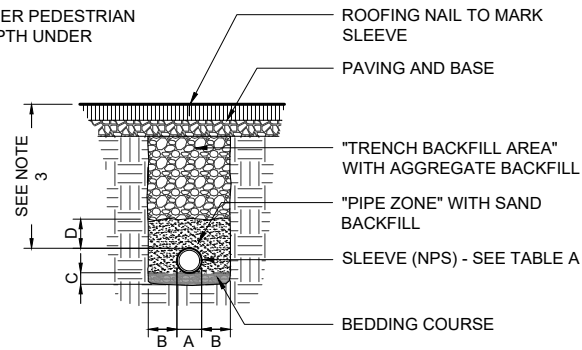
PLOT DATE AND TIME: 8/21/2020 1:10 PM

# FOR LAND USE PERMITTING (EXHIBIT A)

**NOTES:**

1. EXTEND IRRIGATION SLEEVES 24" BEYOND EACH SIDE OF PAVING.
2. SLEEVE PIPE DIAMETER TO BE A MINIMUM OF TWO TIMES PIPE DIAMETER(S) IT CONTAINS.
3. 24" MINIMUM DEPTH UNDER PEDESTRIAN WALKS; 36" MINIMUM DEPTH UNDER VEHICULAR PAVING.

TABLE A			
A (NPS)	B	C	D
<4"	6"	4"	8"
4"	10"	4"	8"
6"	10"	4"	8"
8"	10"	6"	10"
10"	10"	6"	10"
12"	12"	6"	10"

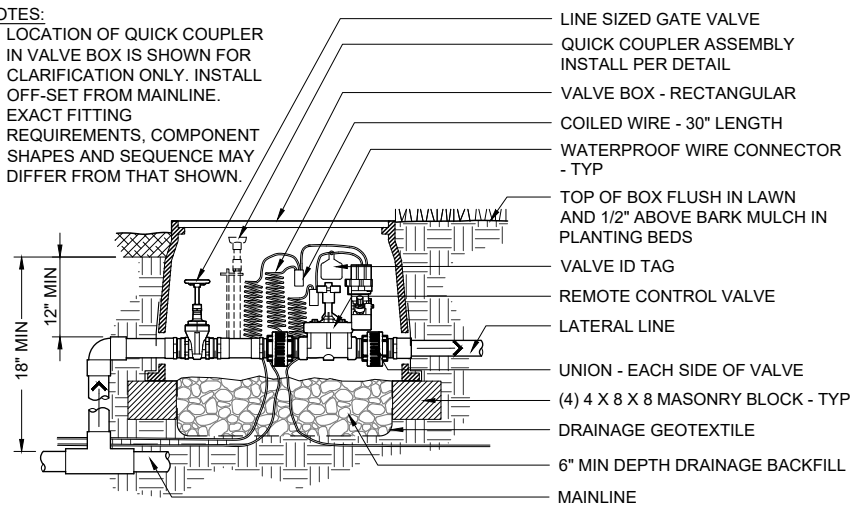


**TRENCHING SLEEVE UNDER PAVEMENT**  
NOT TO SCALE

1

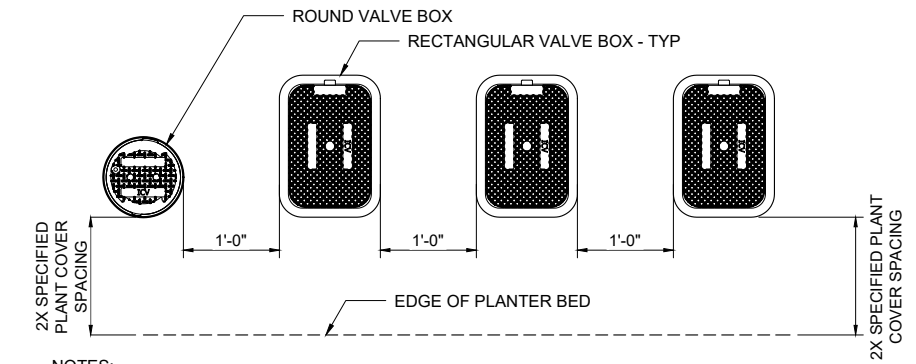
**NOTES:**

1. LOCATION OF QUICK COUPLER IN VALVE BOX IS SHOWN FOR CLARIFICATION ONLY. INSTALL OFF-SET FROM MAINLINE.
2. EXACT FITTING REQUIREMENTS, COMPONENT SHAPES AND SEQUENCE MAY DIFFER FROM THAT SHOWN.



**REMOTE CONTROL VALVE ASSEMBLY**  
NOT TO SCALE

2

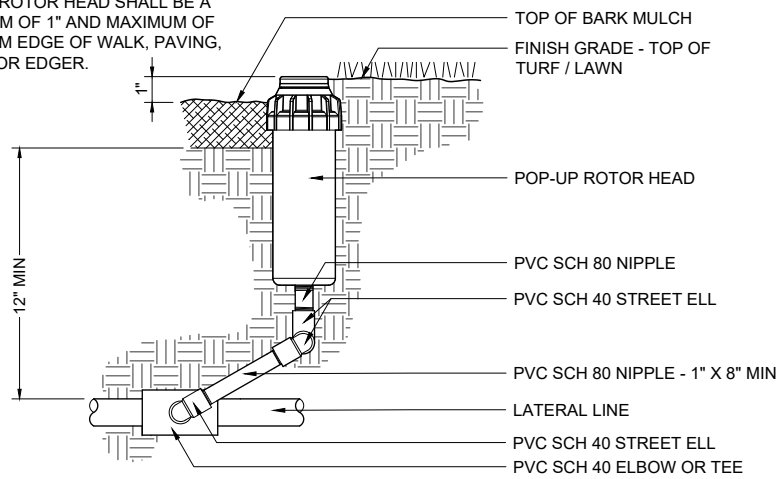


- NOTES:**
1. VALVE BOX LID COLOR SHALL BE PER IRRIGATION SPECIFICATIONS.
  2. VALVE BOXES TO BE INSTALLED TO ALLOW FOR ORDERLY ARRANGEMENT.
  3. LOCATION OF VALVE ASSEMBLIES SHALL BE STAKED FOR APPROVAL BY OWNER'S REPRESENTATIVE.
  4. CENTER VALVE BOXES OVER VALVE ASSEMBLIES.
  5. SET VALVE BOXES WITH TOPS AT EQUAL ELEVATIONS UNLESS STATED OTHERWISE.

**VALVE BOX LAYOUT**  
NOT TO SCALE

3

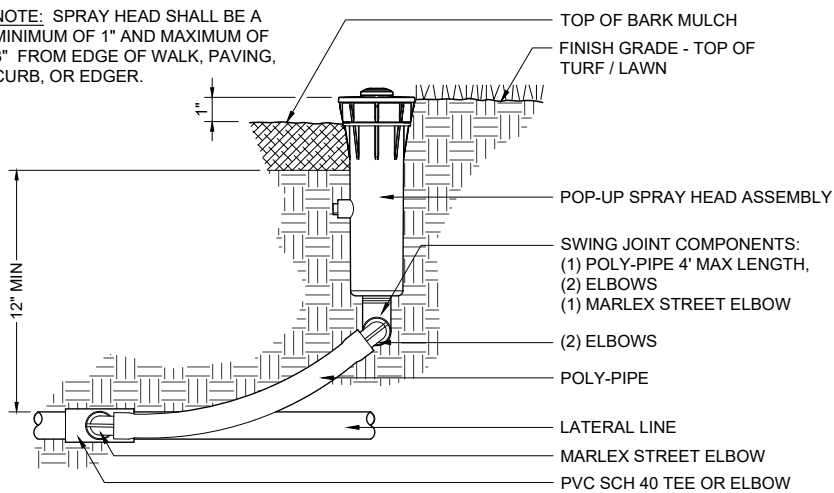
**NOTE:** ROTOR HEAD SHALL BE A MINIMUM OF 1" AND MAXIMUM OF 3" FROM EDGE OF WALK, PAVING, CURB, OR EDGER.



**ROTOR HEAD**  
NOT TO SCALE

4

**NOTE:** SPRAY HEAD SHALL BE A MINIMUM OF 1" AND MAXIMUM OF 3" FROM EDGE OF WALK, PAVING, CURB, OR EDGER.

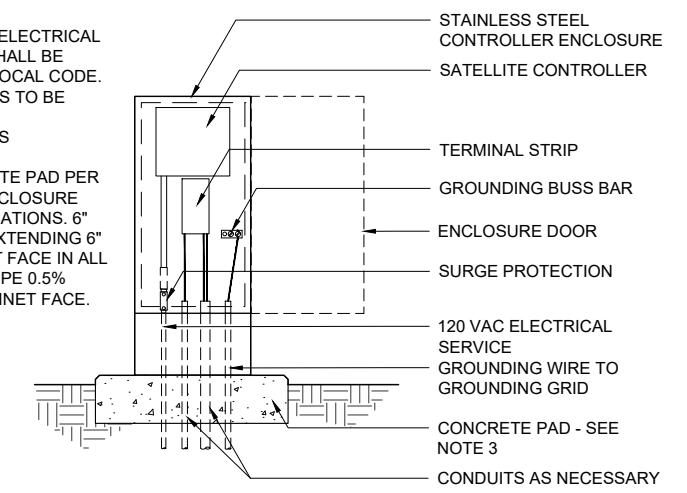


**SPRAY HEAD**  
NOT TO SCALE

5

**NOTES:**

1. ALL WIRING AND ELECTRICAL CONNECTIONS SHALL BE INSTALLED PER LOCAL CODE.
2. ALL COMPONENTS TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
3. INSTALL CONCRETE PAD PER CONTROLLER ENCLOSURE MANUF. SPECIFICATIONS. 6" MIN THICK PAD EXTENDING 6" BEYOND CABINET FACE IN ALL DIRECTIONS. SLOPE 0.5% AWAY FROM CABINET FACE.



**CONTROLLER - PEDESTAL MOUNT**  
NOT TO SCALE

6

**SHEET B-072: IRRIGATION DETAILS 2**

DSGN	STOECKLEIN					
DR	STOECKLEIN					
CHK	D WALTERS					
APVD	M FAHA	NO.	DATE	REVISION	BY	APVD

VERIFY SCALE  
BAR IS ONE INCH ON ORIGINAL DRAWING.  
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Tel: (503) 232-1800

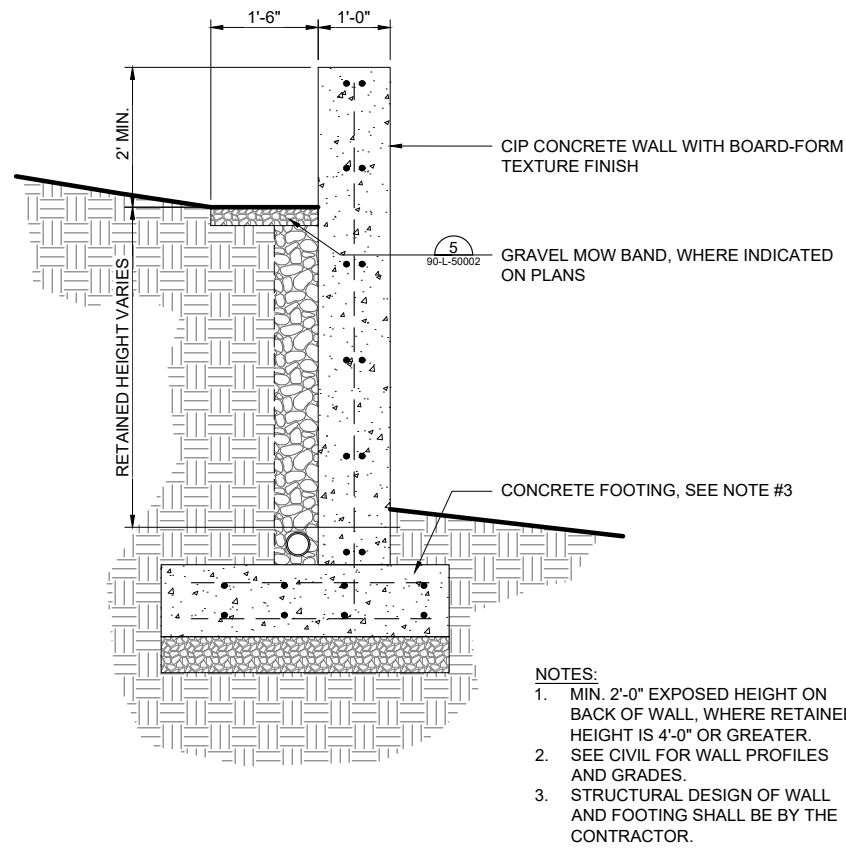
STANDARD DETAILS  
LANDSCAPE ARCHITECTURE  
IRRIGATION DETAILS 2

90% DESIGN - NOT FOR CONSTRUCTION

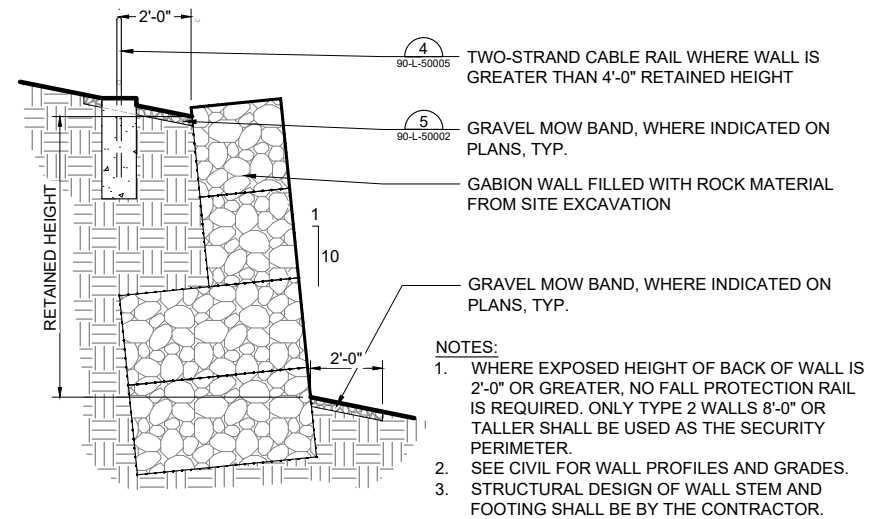
SHEET	
DWG #	03-L-51002
DATE	AUG 2020
PROJ	WTP_1.0

PLOT DATE AND TIME: 8/21/2020 1:10 PM

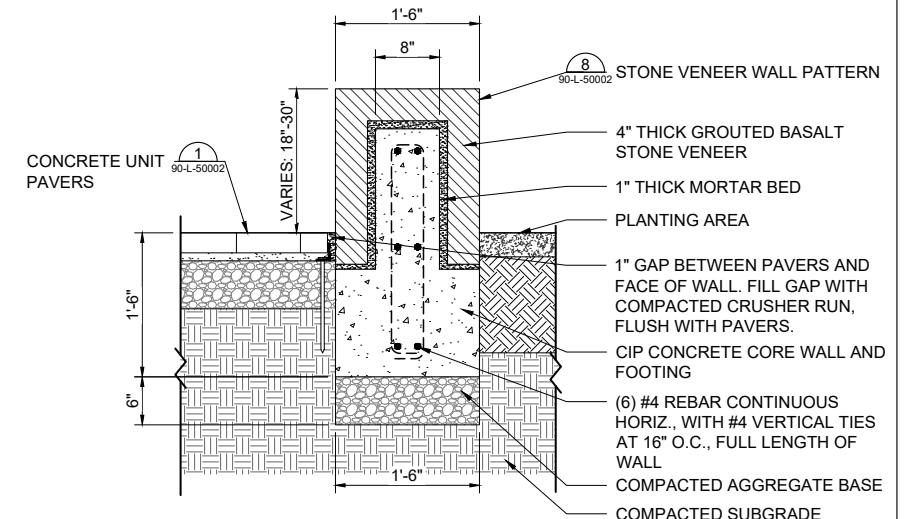
# FOR LAND USE PERMITTING (EXHIBIT A)



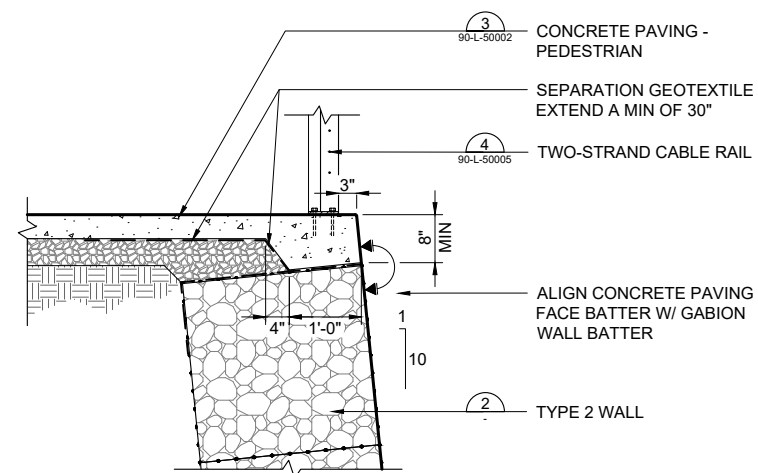
**TYPE 1 WALL**  
SCALE: 3/4"=1'0" 1



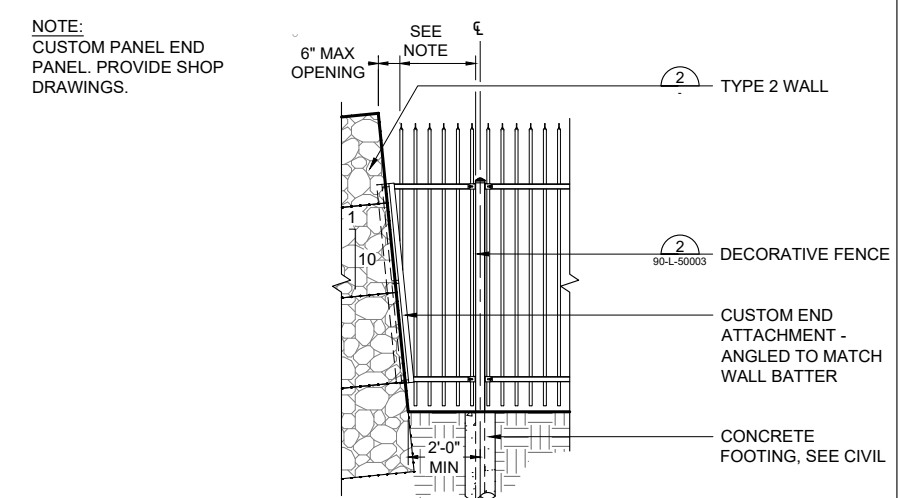
**TYPE 2 WALL**  
SCALE: 3/8"=1'0" 2



**TYPE 3 WALL**  
NOT TO SCALE 3



**CONCRETE WALK ABOVE TYPE 2 WALL**  
NOT TO SCALE 4



**FENCE TO WALL ATTACHMENT**  
NOT TO SCALE 6

**SHEET B-073: LANDSCAPE ARCHITECTURAL SITE DETAILS 1**

DSGN	A HOLDER				
DR	A HOLDER				
CHK	D WALTERS				
APVD	M FAHA	NO.	DATE	REVISION	BY

VERIFY SCALE  
BAR IS ONE INCH ON ORIGINAL DRAWING.  
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.

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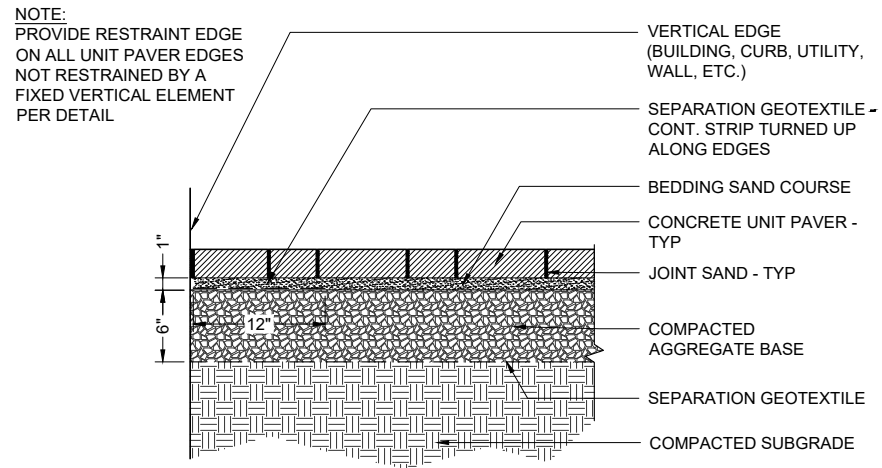
STANDARD DETAILS  
LANDSCAPE ARCHITECTURE  
SITE DETAILS 1

SHEET	DWG # 90-L-50001
DATE	AUG 2020
PROJ	WTP_1.0

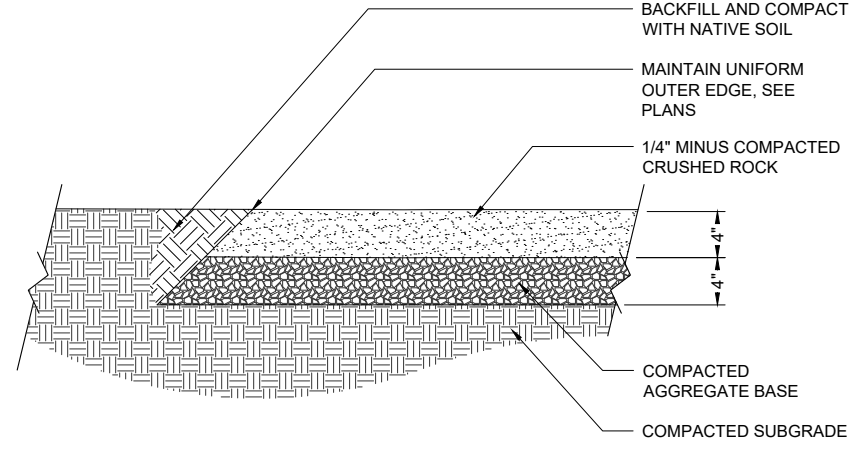
90% DESIGN - NOT FOR CONSTRUCTION

PLOT DATE AND TIME: 8/21/2020 1:10 PM

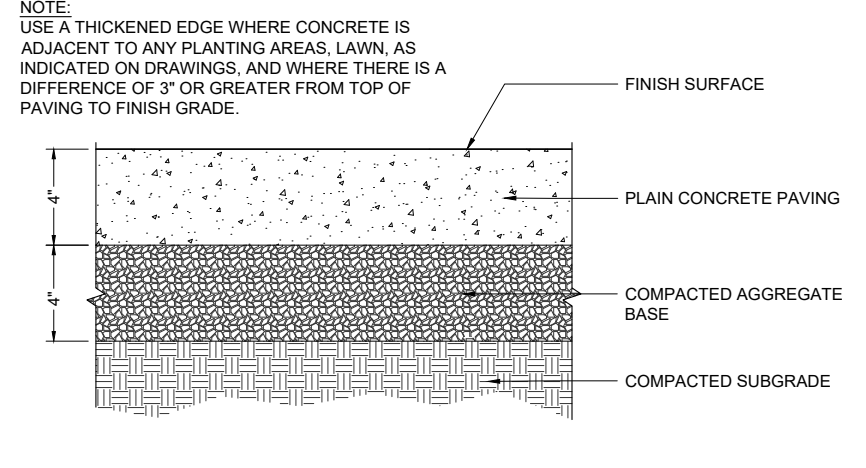
# FOR LAND USE PERMITTING (EXHIBIT A)



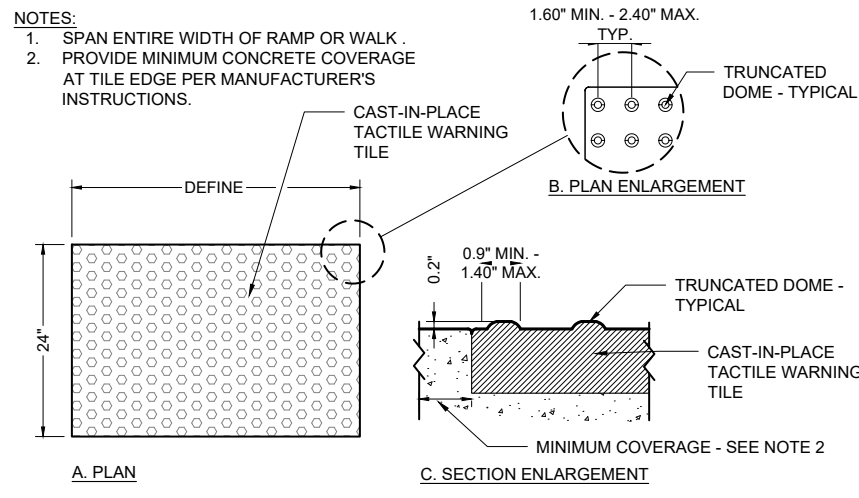
**CONCRETE UNIT PAVERS**  
SCALE: 1 1/2"=1'0"



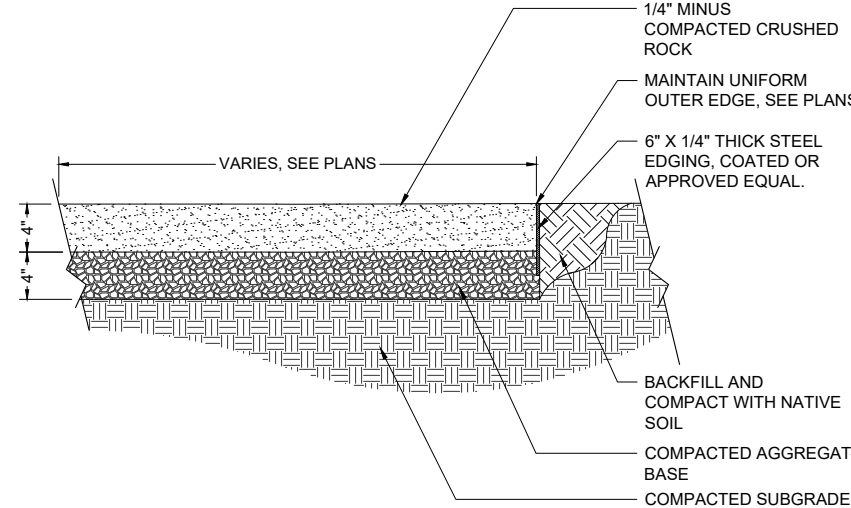
**GRAVEL PAVING - PEDESTRIAN**  
SCALE: 1 1/2"=1'0"



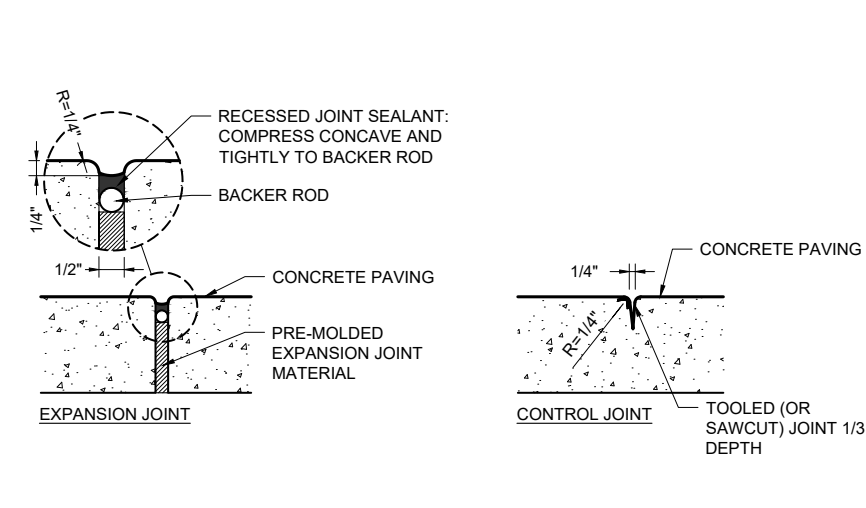
**CONCRETE PAVING - PEDESTRIAN**  
SCALE: 3"=1'0"



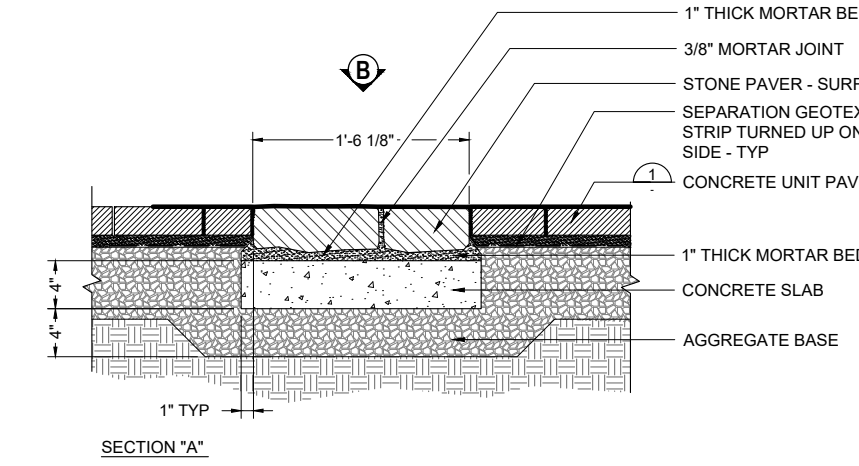
**DETECTABLE WARNING**  
SCALE: 1"=1'0"



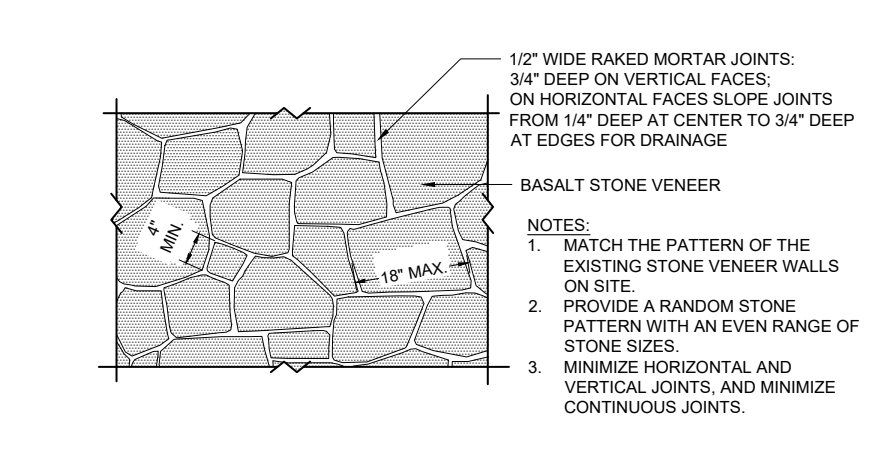
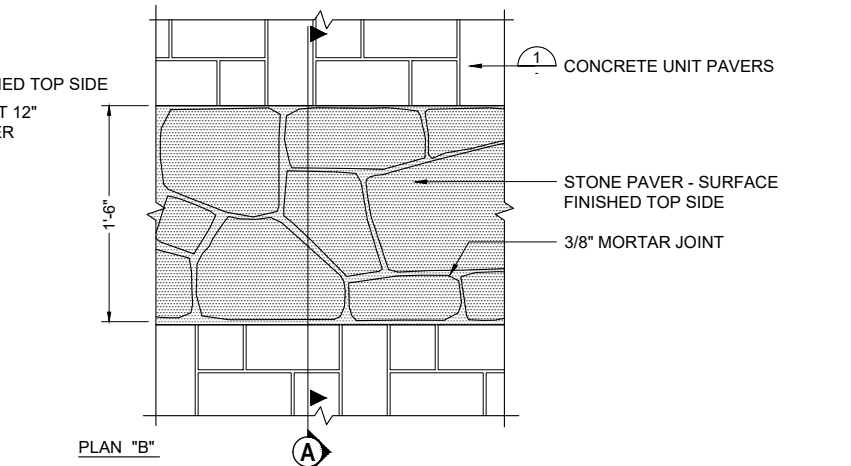
**GRAVEL MOW BAND**  
NOT TO SCALE



**CONCRETE JOINTS**  
NOT TO SCALE



**MORTAR-SET STONE PAVERS**  
SCALE: 1 1/2"=1'0"



**STONE VENEER WALL PATTERN**  
NOT TO SCALE

**SHEET B-074: LANDSCAPE ARCHITECTURAL SITE DETAILS 2**

DSGN	A HOLDER					
DR	A HOLDER					
CHK	D WALTERS					
APVD	M FAHA	NO.	DATE	REVISION	BY	APVD

VERIFY SCALE BAR IS ONE INCH ON ORIGINAL DRAWING. IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.

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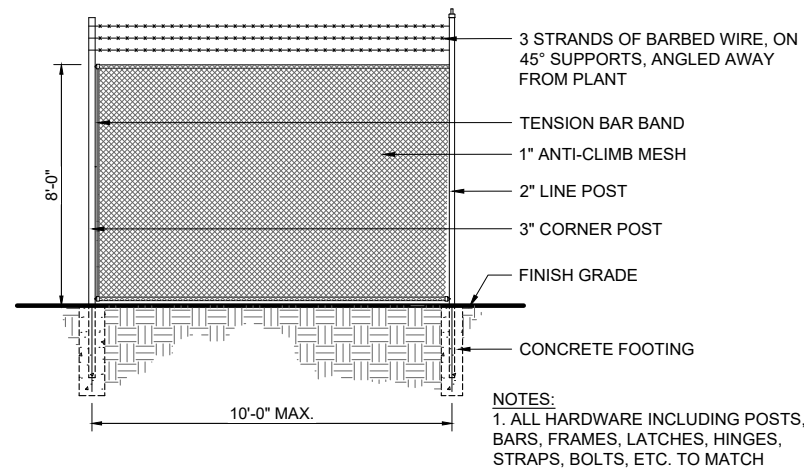
**CDM Smith**  
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STANDARD DETAILS  
LANDSCAPE ARCHITECTURE  
SITE DETAILS 2

SHEET	DWG # 90-L-50002
DATE	AUG 2020
PROJ	WTP_1.0

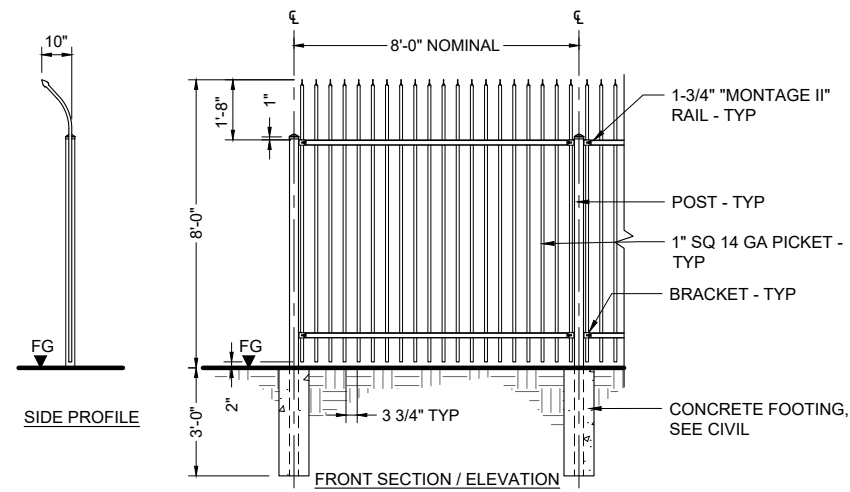
90% DESIGN - NOT FOR CONSTRUCTION

# FOR LAND USE PERMITTING (EXHIBIT A)



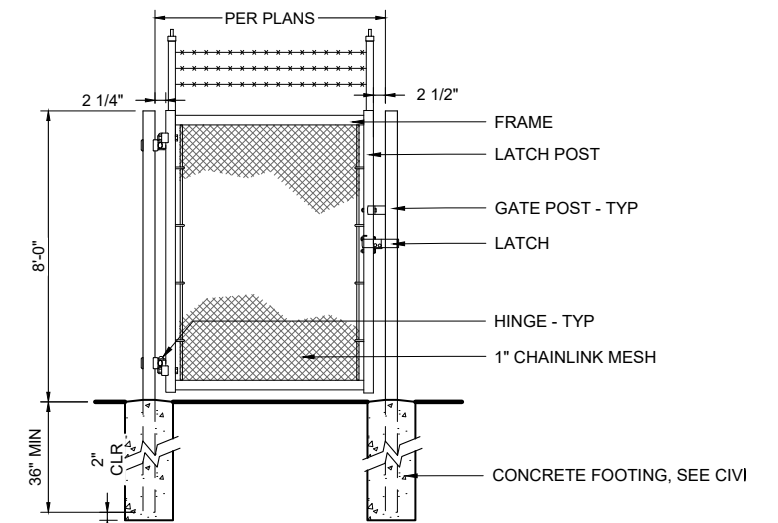
**CHAINLINK FENCE**  
NOT TO SCALE

1



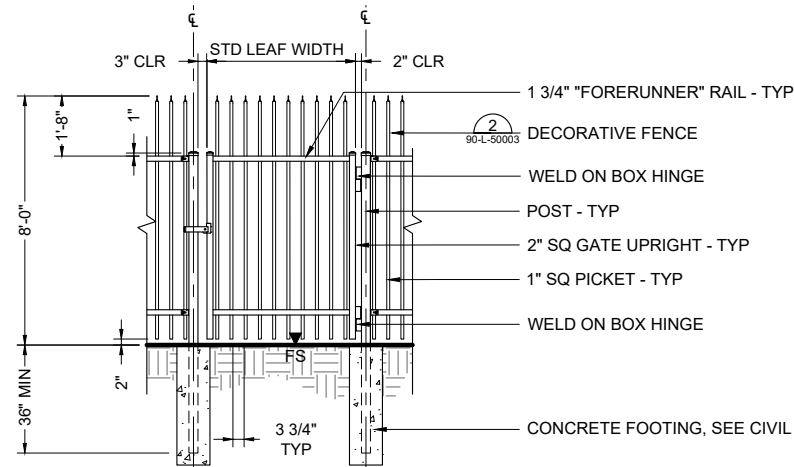
**DECORATIVE FENCE**  
NOT TO SCALE

2



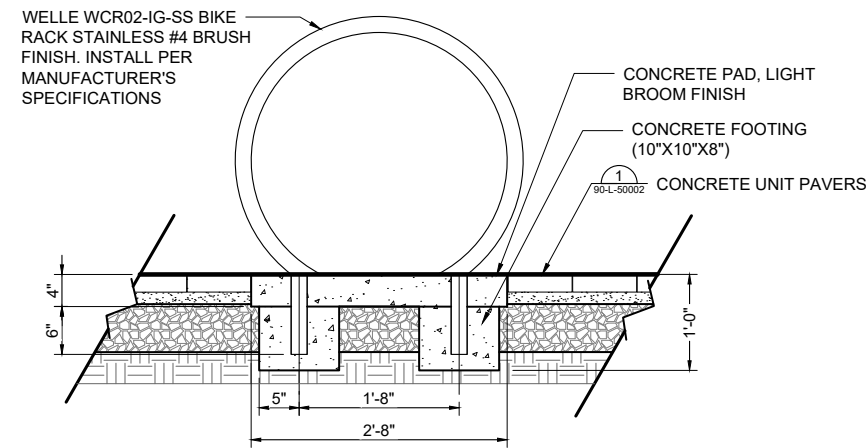
**PERSON GATE AT CHAINLINK FENCE**  
NOT TO SCALE

3



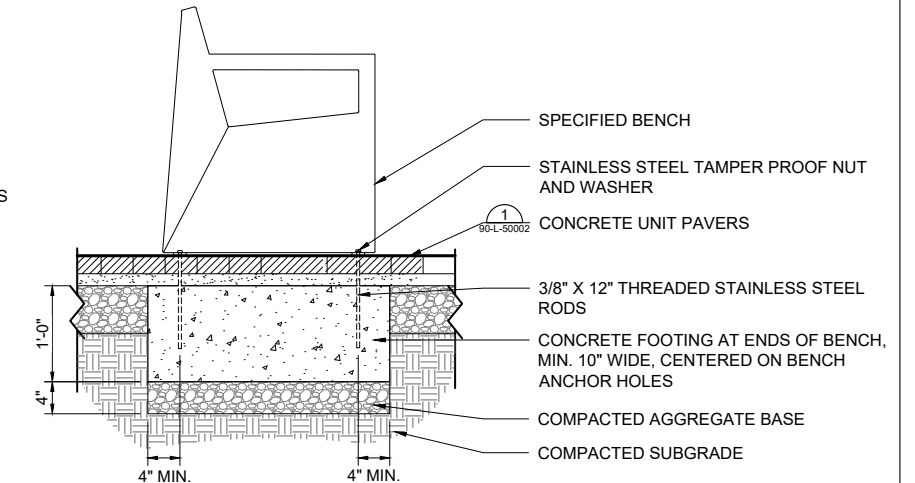
**PERSON GATE AT DECORATIVE FENCE**  
NOT TO SCALE

4



**BIKE RACK**  
NOT TO SCALE

5



**BENCH INSTALLATION IN PAVERS**  
NOT TO SCALE

7

**SHEET B-075: LANDSCAPE ARCHITECTURAL SITE DETAILS 3**

90% DESIGN - NOT FOR CONSTRUCTION

DSGN	A HOLDER					
DR	A HOLDER					
CHK	D WALTERS					
APVD	M FAHA	NO.	DATE	REVISION	BY	APVD

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STANDARD DETAILS  
LANDSCAPE ARCHITECTURE  
SITE DETAILS 3

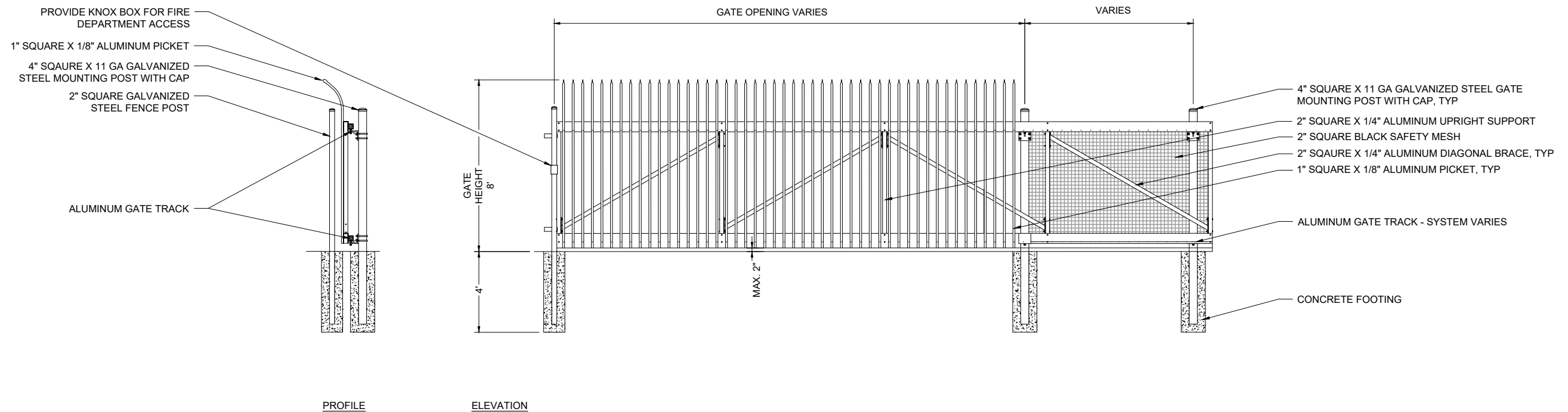
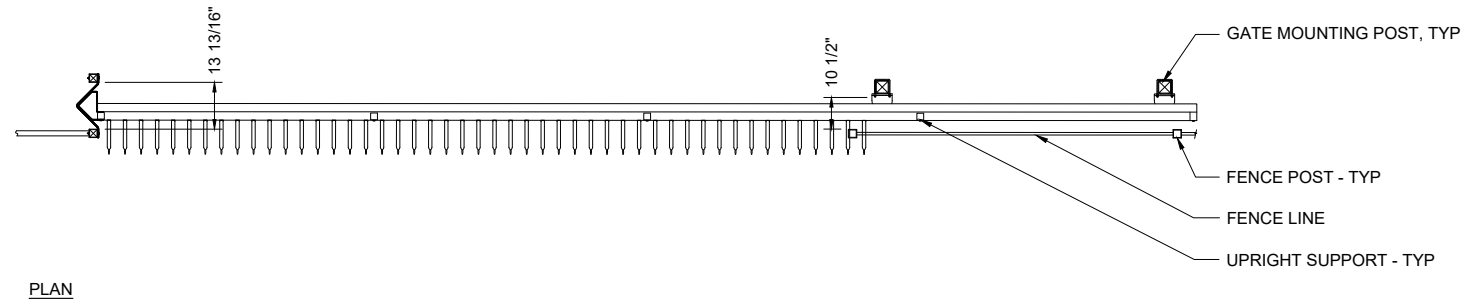
SHEET	
DWG #	90-L-50003
DATE	AUG 2020
PROJ	WTP_1.0

PLOT DATE AND TIME: 8/21/2020 1:10 PM

# FOR LAND USE PERMITTING (EXHIBIT A)

## SLIDING GATE NOTES

- CONTRACTOR SHALL PROVIDE COMPLETE LOCKING AUTOMATIC SLIDING GATE SYSTEM AT EACH LOCATION INDICATED ON PLANS.
- GATE PICKETS TO MATCH DECORATIVE FENCE PICKETS. SEE DETAIL 2/90-L-50003.
- PROVIDE SHOP DRAWINGS AND CUT SHEETS FOR APPROVAL BY OWNER'S REPRESENTATIVE. INCLUDE:
  - PLAN, SECTION, AND ELEVATION FOR EACH GATE
  - DETAILS AND ENLARGEMENTS TO DESCRIBE ALL COMPONENTS, WELDS, FASTENERS, COATINGS, AND FOOTINGS
  - ATTACHMENT OF ADJACENT FENCE TO GATE POSTS
  - STRUCTURAL CALCULATIONS AS REQUIRED
- GATES SHALL BE DURABLE AND SECURE FOR INDUSTRIAL USE IN A PUBLIC SETTING; CONTRACT DOCUMENT DETAILS SHOW DESIGN INTENT, AND THE SIZE, THICKNESS, OR SPACING OF SOME MEMBERS MAY NEED TO BE ADJUSTED FOR ADEQUATE STRENGTH.
- ALL GATE FRAME AND PANEL COMPONENTS SHALL BE POWDER COATED BLACK. STEEL GATE POSTS AND CAPS SHALL BE PAINTED BLACK TO MATCH PANELS.



CANTILEVER SLIDING GATE  
NOT TO SCALE

SHEET B-076: LANDSCAPE ARCHITECTURAL SITE DETAILS 4

90% DESIGN - NOT FOR CONSTRUCTION

DSGN	A HOLDER				
DR	A HOLDER				
CHK	D WALTERS				
APVD	M FAHA	NO.	DATE	REVISION	BY

VERIFY SCALE  
BAR IS ONE INCH ON ORIGINAL DRAWING.  
0 1"  
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.



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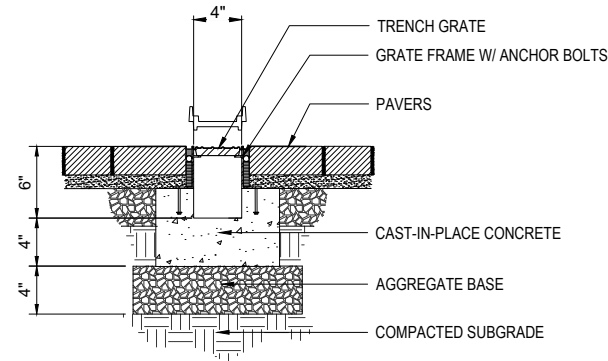
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STANDARD DETAILS  
LANDSCAPE ARCHITECTURE  
SITE DETAILS 4

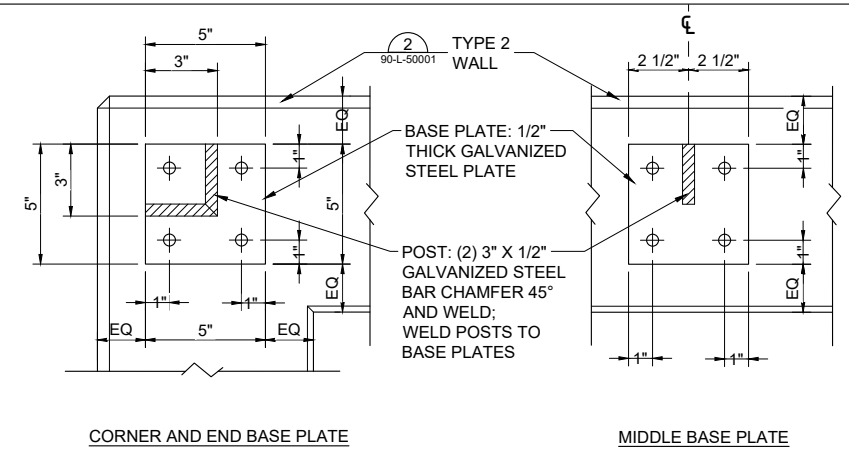
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DWG #	90-L-50004
DATE	AUG 2020
PROJ	WTP_1.0

PLOT DATE AND TIME: 8/21/2020 1:10 PM

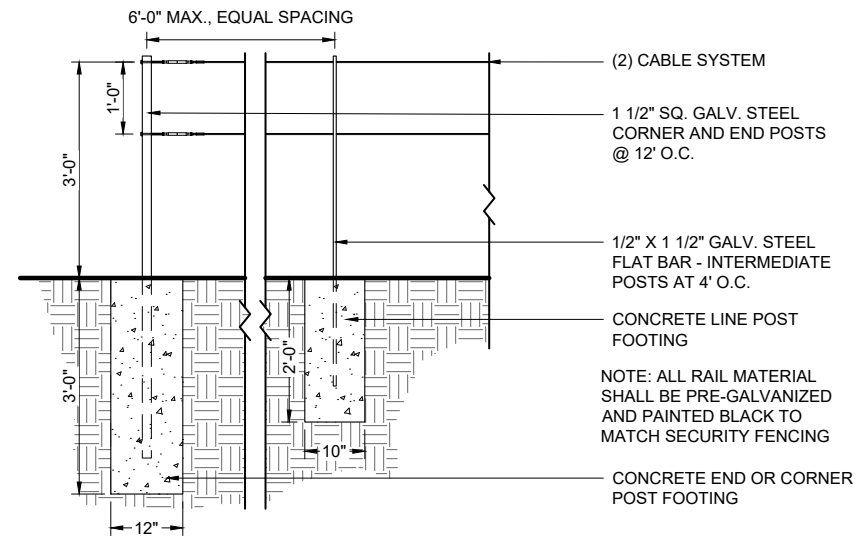
# FOR LAND USE PERMITTING (EXHIBIT A)



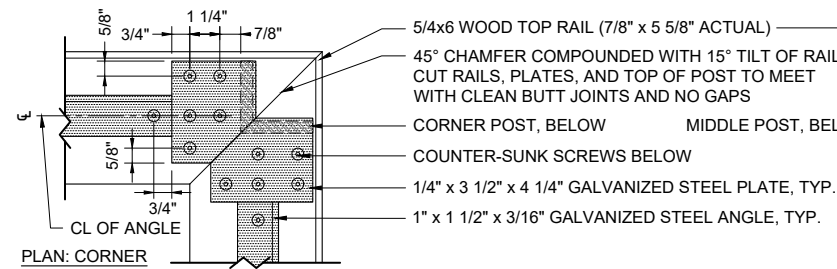
**TRENCH DRAIN**  
SCALE: 1 1/2"=10"



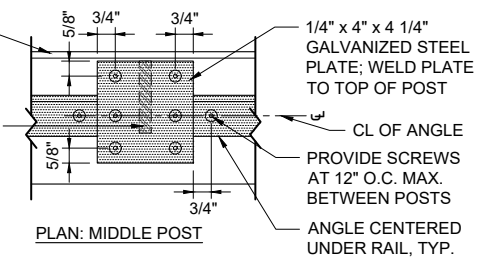
**GUARDRAIL BASEPLATES**  
NOT TO SCALE



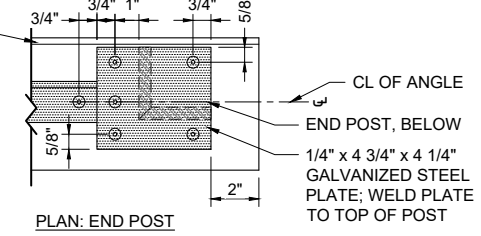
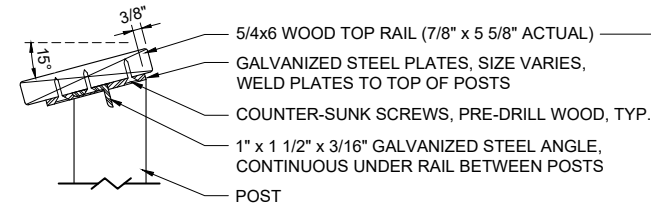
**TWO-STRAND CABLE RAIL**  
NOT TO SCALE



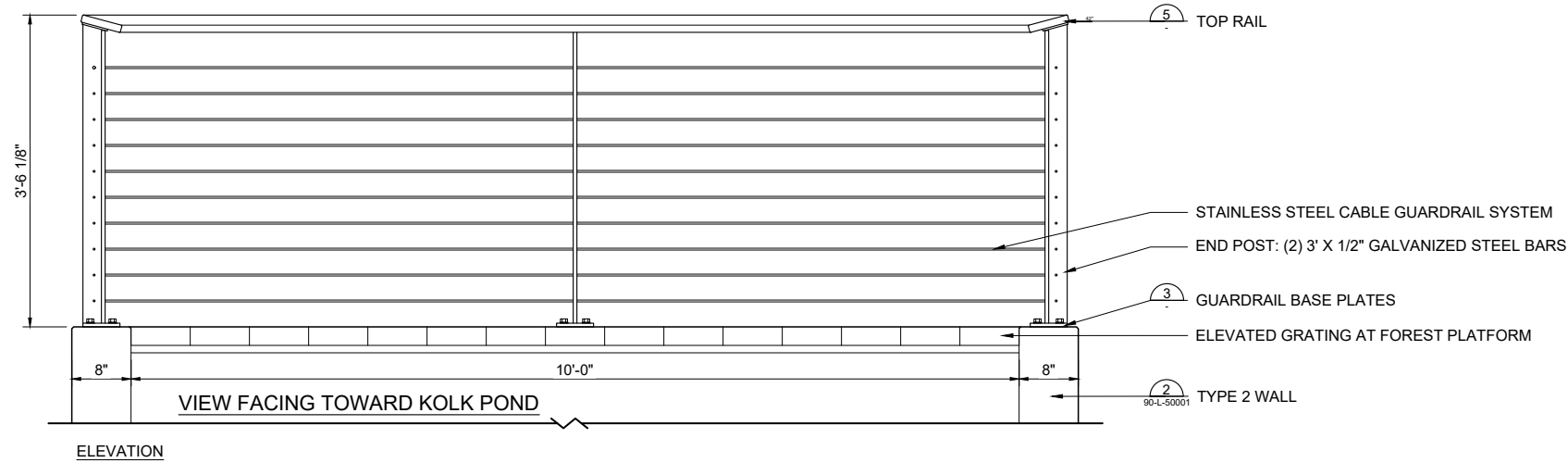
**TOP RAIL**  
NOT TO SCALE



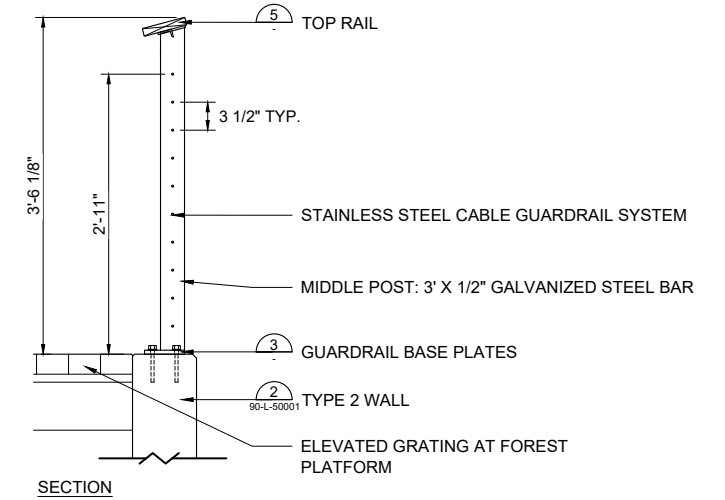
**TOP RAIL**  
NOT TO SCALE



**TOP RAIL**  
NOT TO SCALE



**GUARDRAIL AT FOREST PLATFORM**  
NOT TO SCALE



**GUARDRAIL AT FOREST PLATFORM**  
NOT TO SCALE

**SHEET B-077: LANDSCAPE ARCHITECTURAL SITE DETAILS 5**

90% DESIGN - NOT FOR CONSTRUCTION

DSGN	A HOLDER					
DR	A HOLDER					
CHK	D WALTERS					
APVD	M FAHA	NO.	DATE	REVISION	BY	APVD

VERIFY SCALE  
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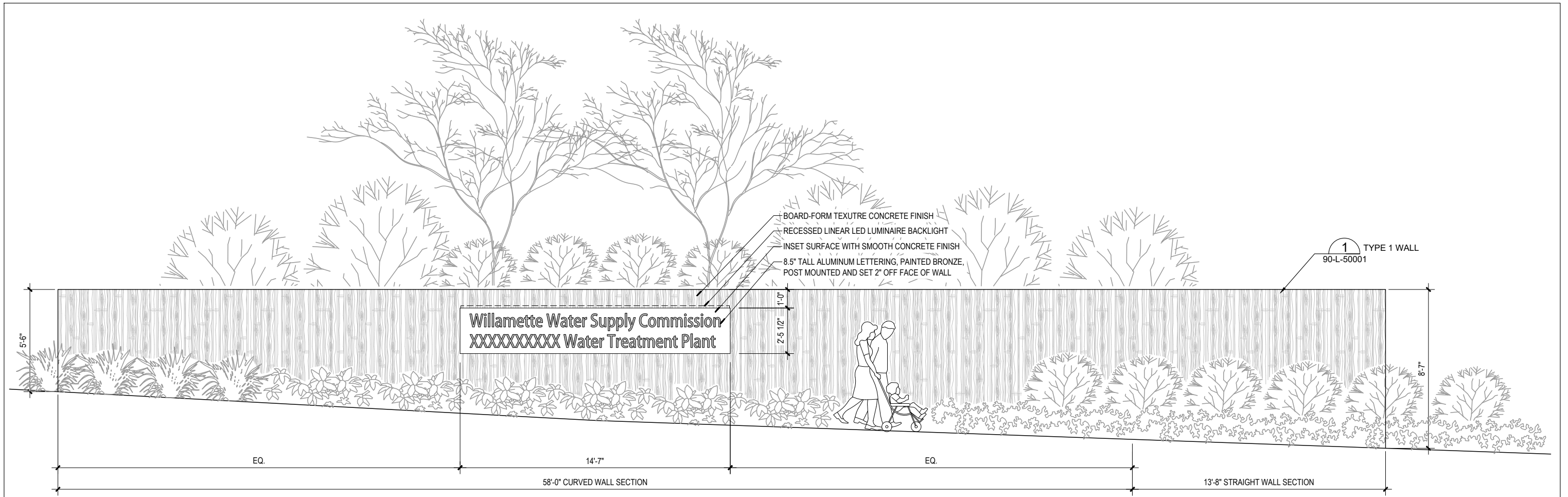
**CDM Smith**  
1220 SW Morrison Street, Suite 200  
Portland, OR 97205  
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STANDARD DETAILS  
LANDSCAPE ARCHITECTURE  
SITE DETAILS 5

SHEET	DWG # 90-L-50005
DATE	AUG 2020
PROJ	WTP_1.0

PLOT DATE AND TIME: 8/21/2020 1:10 PM

# FOR LAND USE PERMITTING (EXHIBIT A)



**MONUMENT SIGN ELEVATION**  
3/8" = 1'-0"

1

**SHEET B-078: LANDSCAPE ARCHITECTURAL SITE DETAILS 6**

90% DESIGN - NOT FOR CONSTRUCTION

DSGN	A HOLDER					
DR	A HOLDER					
CHK	D WALTERS					
APVD	M FAHA	NO.	DATE	REVISION	BY	APVD

VERIFY SCALE  
BAR IS ONE INCH ON ORIGINAL DRAWING.  
0 [redacted] 1"  
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.



**GreenWorks, P.C.**  
Landscape Architecture  
Environmental Design  
24 NW 2nd Avenue, Suite 100  
Portland, Oregon 97209  
Ph: 503.222.5810 / F: 503.222.2283  
Email: info@greenworkspc.com



**Willamette Water Supply**  
*Our Reliable Water*  
WILLAMETTE WATER SUPPLY PROGRAM  
WATER TREATMENT PLANT\_1.0

**CDM Smith**  
1220 SW Morrison Street, Suite 200  
Portland, OR 97205  
Tel: (503) 232-1800

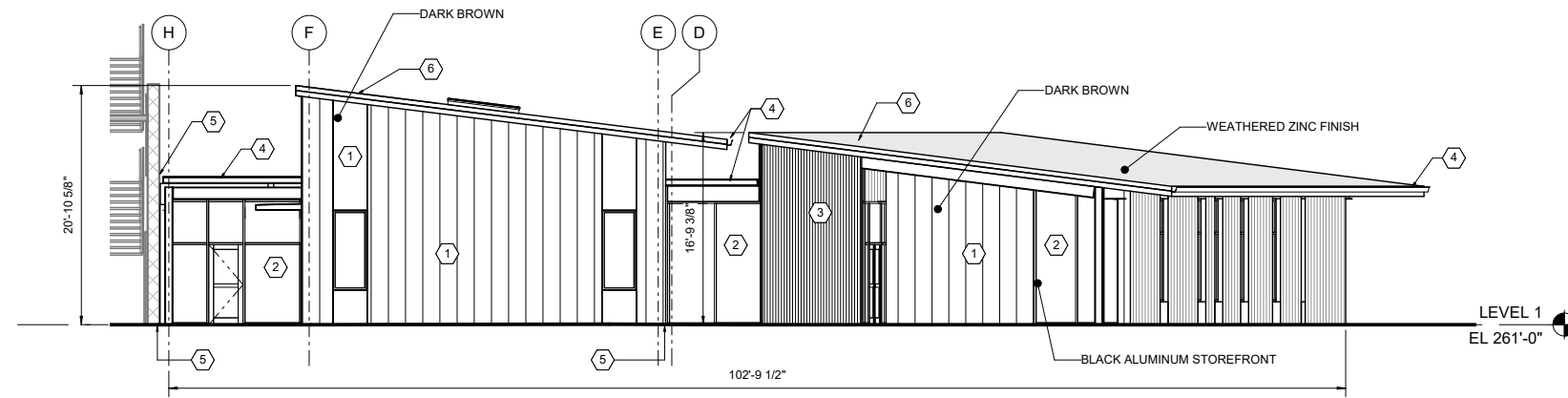
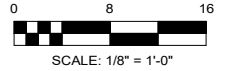
STANDARD DETAILS  
LANDSCAPE ARCHITECTURE  
SITE DETAILS 6

SHEET	
DWG #	90-L-50006
DATE	AUG 2020
PROJ	WTP_1.0

PLOT DATE AND TIME: 8/21/2020 1:10 PM

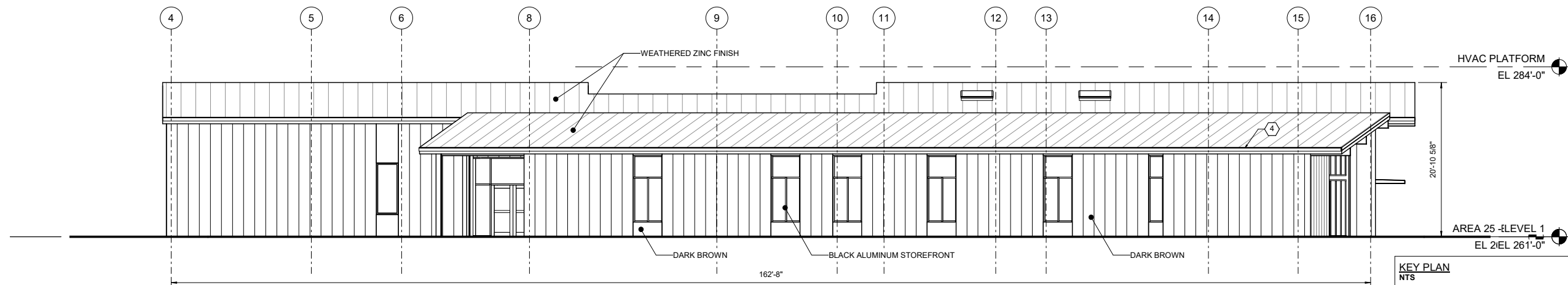


# FOR LAND USE PERMITTING (EXHIBIT A)

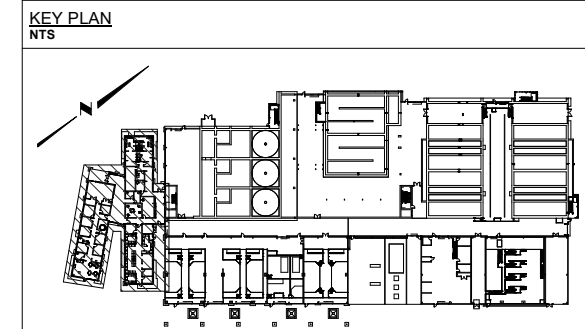


- KEYNOTES
- 1 ALUM METAL WALL PANEL
  - 2 ALUM STOREFRONT SYSTEM
  - 3 PERFORATED METAL PANEL
  - 4 METAL GUTTER
  - 5 SEISMIC JOINT EXPANSION COVER
  - 6 STANDING SEAM METAL ROOFING

NORTH  
ELEVATION  
1  
08-A-20001 SCALE: 1/8" = 1'-0"



WEST  
ELEVATION  
2  
08-A-20001 SCALE: 1/8" = 1'-0"



## SHEET B-079: BUILDING ELEVATION 1

DSGN	D MOOSMAN				
DR	E RUZICKA				
CHK	C HAGERMAN				
APVD	J MCGRAW	NO.	DATE	REVISION	BY

VERIFY SCALE  
BAR IS ONE INCH ON ORIGINAL DRAWING.  
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.



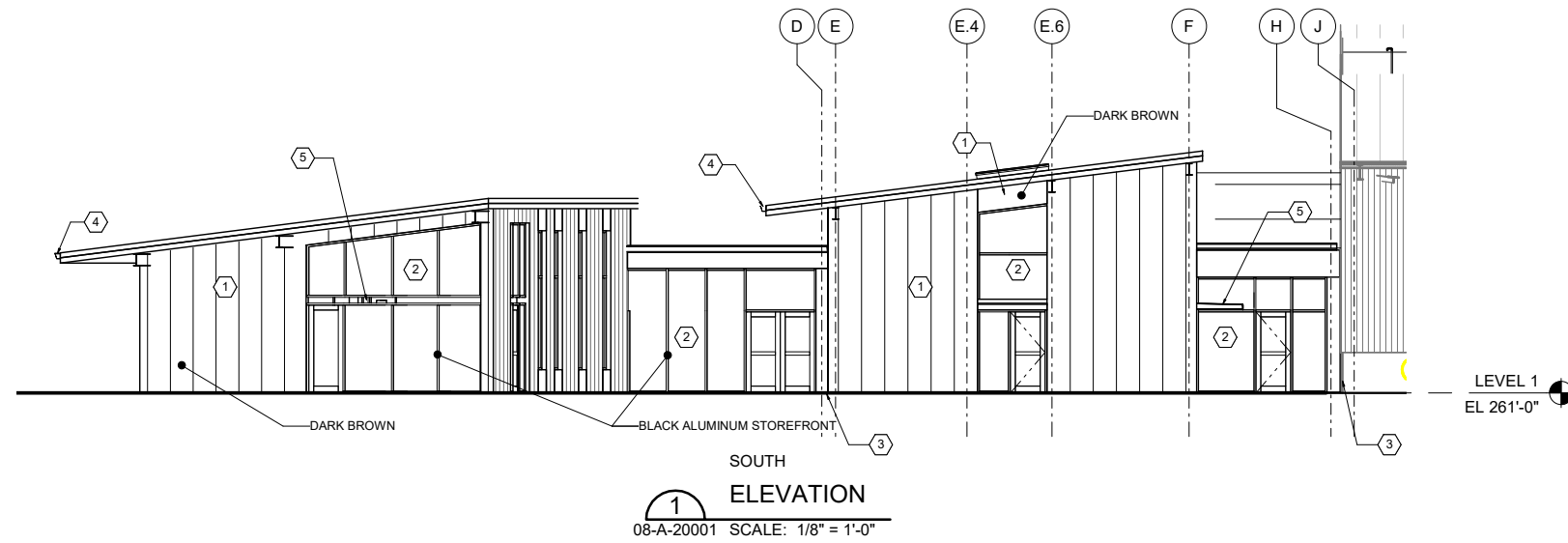
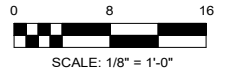
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Tel: (503) 232-1800

ADMINISTRATION  
ARCHITECTURAL  
BUILDING ELEVATIONS 1

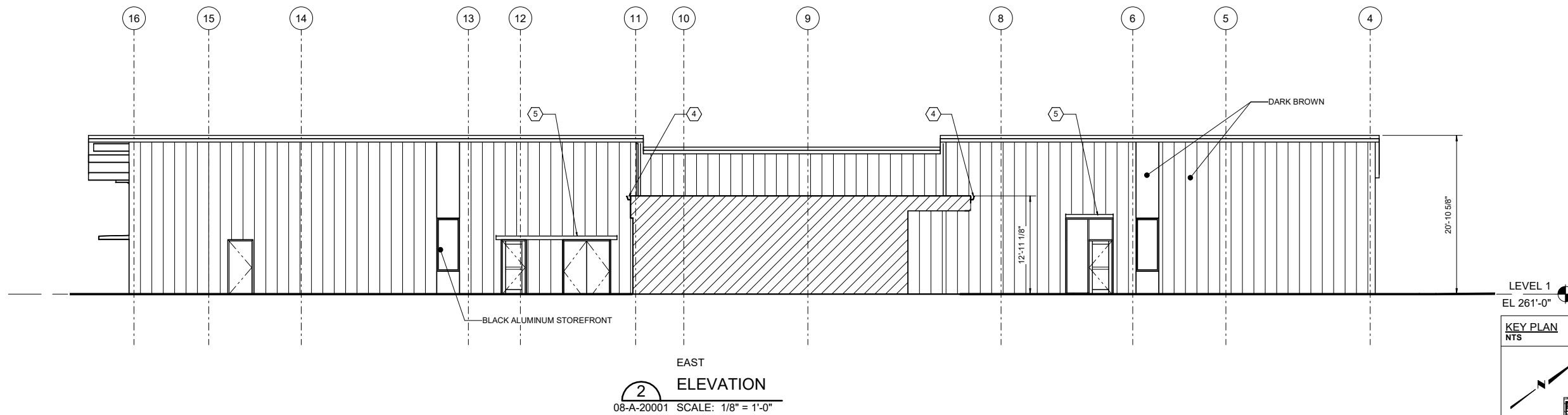
SHEET	
DWG	08-A-30001
DATE	AUG 2020
PROJ	WTP_1.0

# FOR LAND USE PERMITTING (EXHIBIT A)

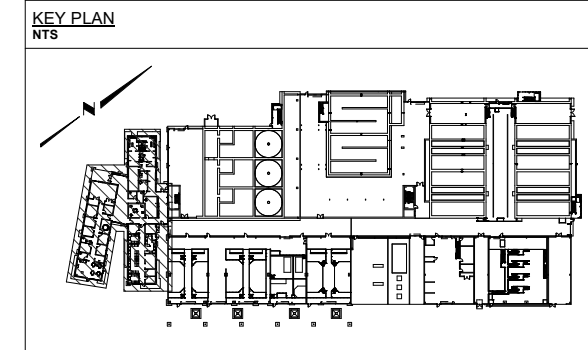


- KEYNOTES**
- 1 ALUM METAL WALL PANEL
  - 2 ALUM STOREFRONT SYSTEM
  - 3 SEISMIC JOINT EXPANSION COVER
  - 4 METAL GUTTER
  - 5 METAL CANOPY

**1**  
SOUTH  
ELEVATION  
08-A-20001 SCALE: 1/8" = 1'-0"



**2**  
EAST  
ELEVATION  
08-A-20001 SCALE: 1/8" = 1'-0"



60% DESIGN - NOT FOR CONSTRUCTION

## SHEET B-080: BUILDING ELEVATION 2

DSGN	D MOOSMAN				
DR	E RUZICKA				
CHK	C HAGERMAN				
APVD	J MCGRAW	NO.	DATE	REVISION	BY

VERIFY SCALE  
BAR IS ONE INCH ON ORIGINAL DRAWING.  
0 1"  
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.



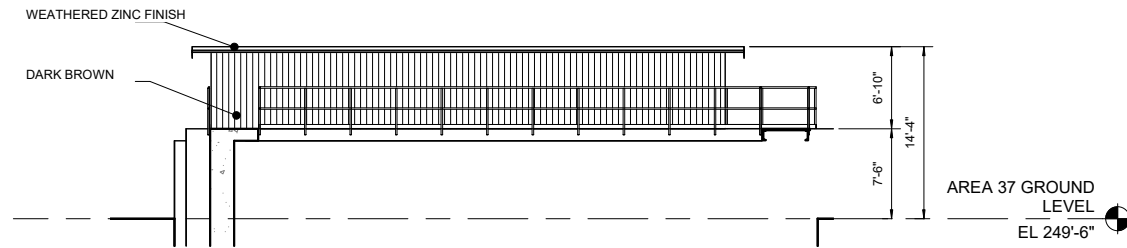
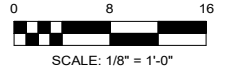
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WATER TREATMENT PLANT\_1.0

**CDM Smith**  
1220 SW Morrison Street, Suite 200  
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Tel: (503) 232-1800

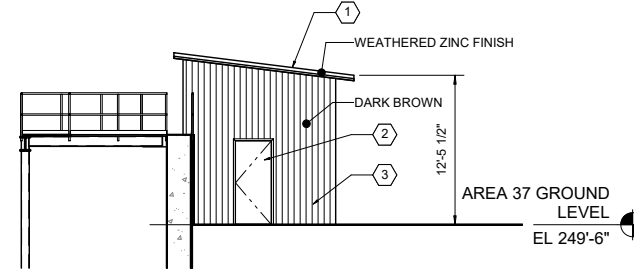
ADMINISTRATION  
ARCHITECTURAL  
BUILDING ELEVATIONS 2

SHEET	DWG 08-A-30002
DATE	AUG 2020
PROJ	WTP_1.0

# FOR LAND USE PERMITTING (EXHIBIT A)

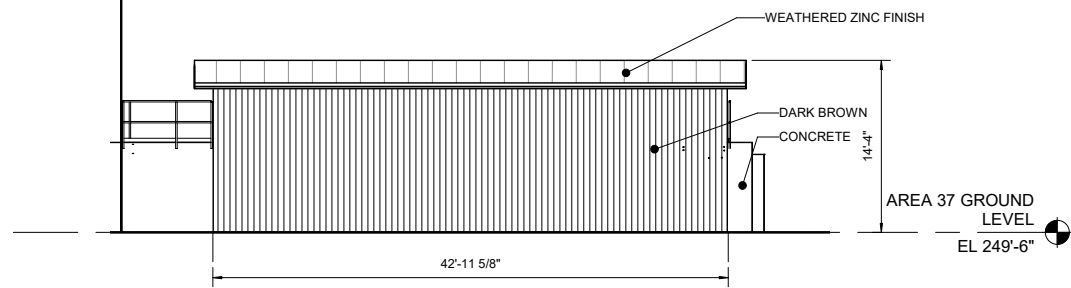


EQUALIZATION / OVERFLOW WEST  
ELEVATION  
1  
37-A-20001 SCALE: 1/8" = 1'-0"

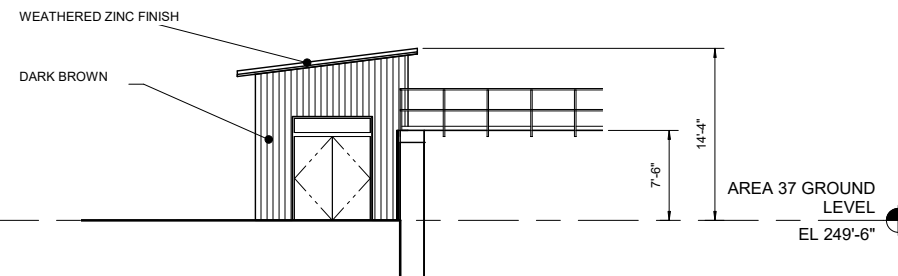


EQUALIZATION / OVERFLOW SOUTH  
ELEVATION  
2  
37-A-20001 SCALE: 1/8" = 1'-0"

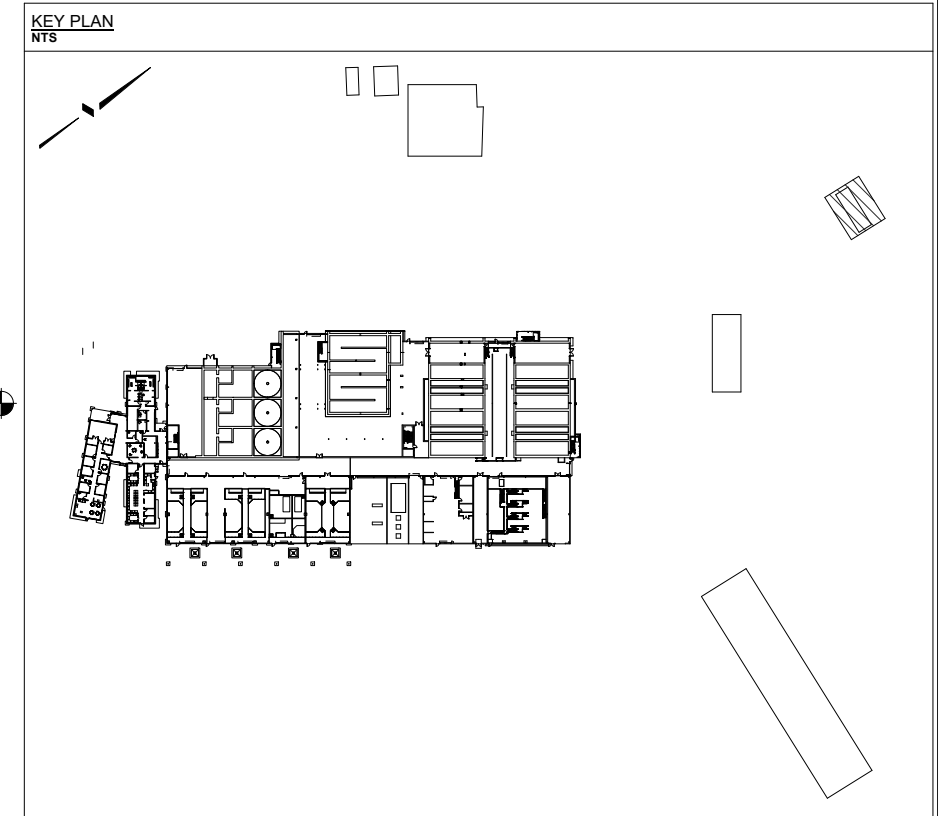
- KEYNOTES
- 1 STANDING SEAM ROOF
  - 2 HOLLOW METAL DOOR
  - 3 BOXRIB METAL SIDING



EQUALIZATION / OVERFLOW EAST  
ELEVATION  
3  
37-A-20001 SCALE: 1/8" = 1'-0"



EQUALIZATION / OVERFLOW NORTH  
ELEVATION  
4  
01-A-00107 SCALE: 1/8" = 1'-0"



60% DESIGN - NOT FOR CONSTRUCTION

## SHEET B-091: BUILDING ELEVATION 13

DSGN	D MOOSMAN				
DR	E RUZICKA				
CHK	C HAGERMAN				
APVD	J MCGRAW	NO.	DATE	REVISION	BY

VERIFY SCALE  
BAR IS ONE INCH ON ORIGINAL DRAWING.  
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.



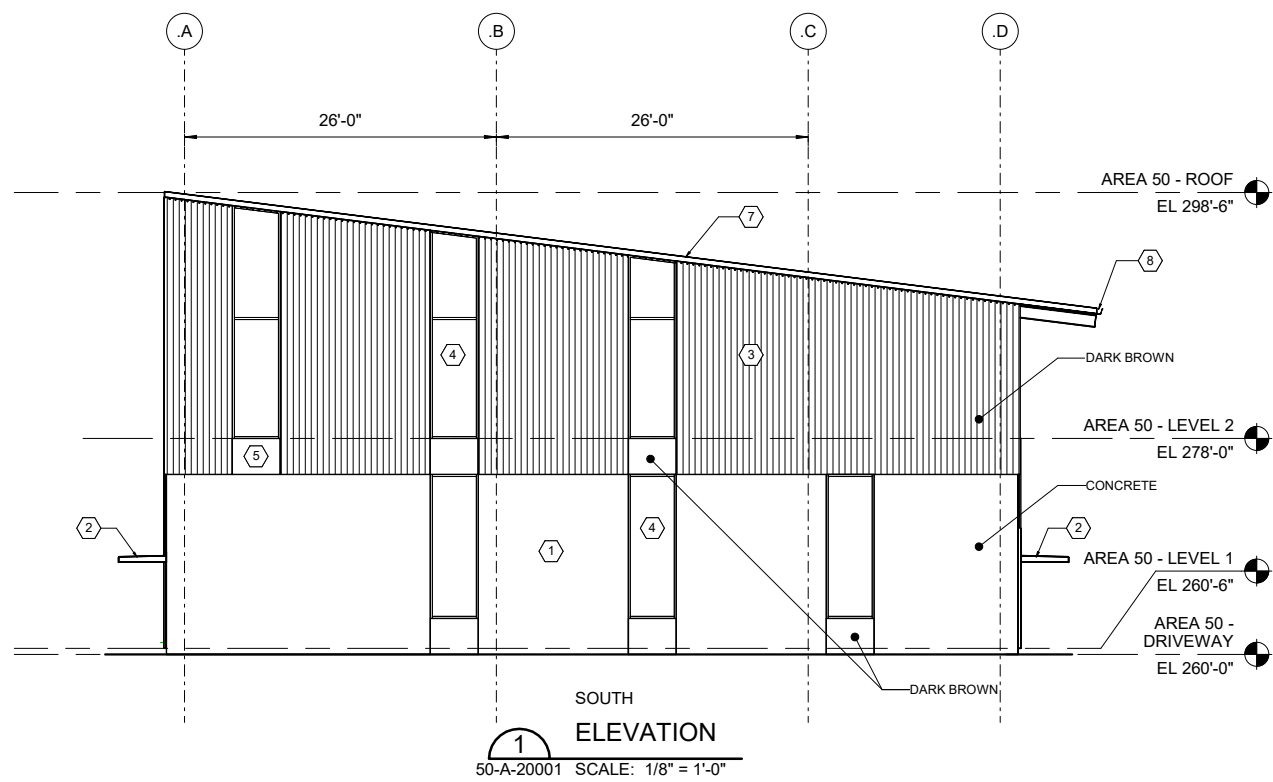
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WATER TREATMENT PLANT\_1.0

**CDM Smith**  
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Tel: (503) 232-1800

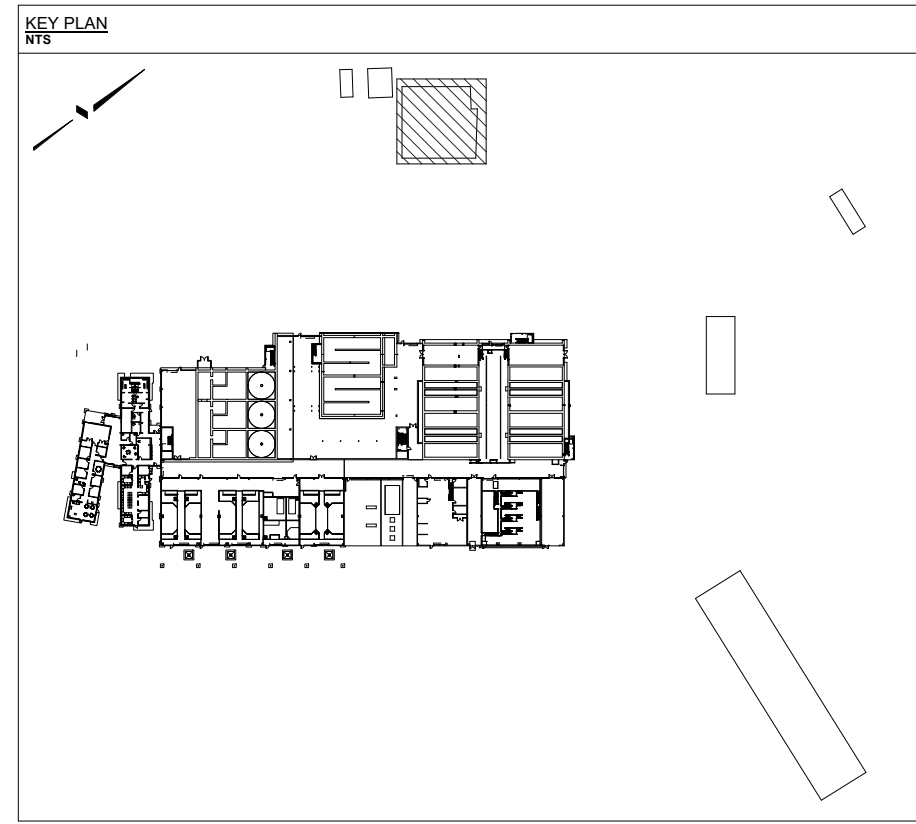
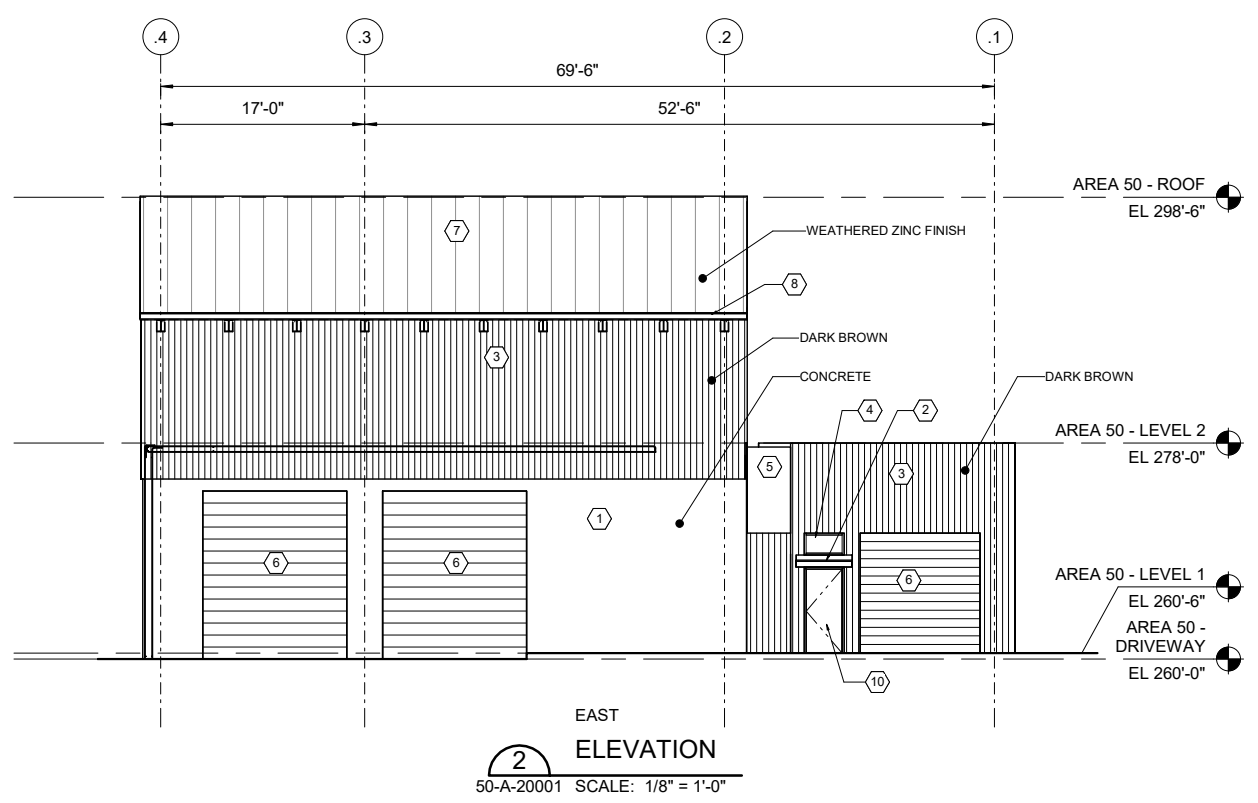
EQUALIZATION / OVERFLOW BASINS  
ARCHITECTURAL  
BUILDING ELEVATIONS

SHEET	
DWG	37-A-30001
DATE	AUG 2020
PROJ	WTP_1.0

# FOR LAND USE PERMITTING (EXHIBIT A)



- KEYNOTES**
- 1 CONCRETE WALL (CAST-IN-PLACE)
  - 2 METAL CANOPY
  - 3 BOXRIB METAL SIDING
  - 4 ALUM STOREFRONT WINDOW
  - 5 FLAT METAL PANEL SIDING
  - 6 OVERHEAD COILING DOOR
  - 7 STANDING SEAM METAL ROOF
  - 8 METAL GUTTER
  - 10 HOLLOW METAL DOOR



60% DESIGN - NOT FOR CONSTRUCTION

**SHEET B-092: BUILDING ELEVATION 14**

DSGN	D MOOSMAN				
DR	E RUZICKA				
CHK	C HAGERMAN				
APVD	J MCGRAW	NO.	DATE	REVISION	BY
					APVD

VERIFY SCALE  
BAR IS ONE INCH ON ORIGINAL DRAWING.  
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.



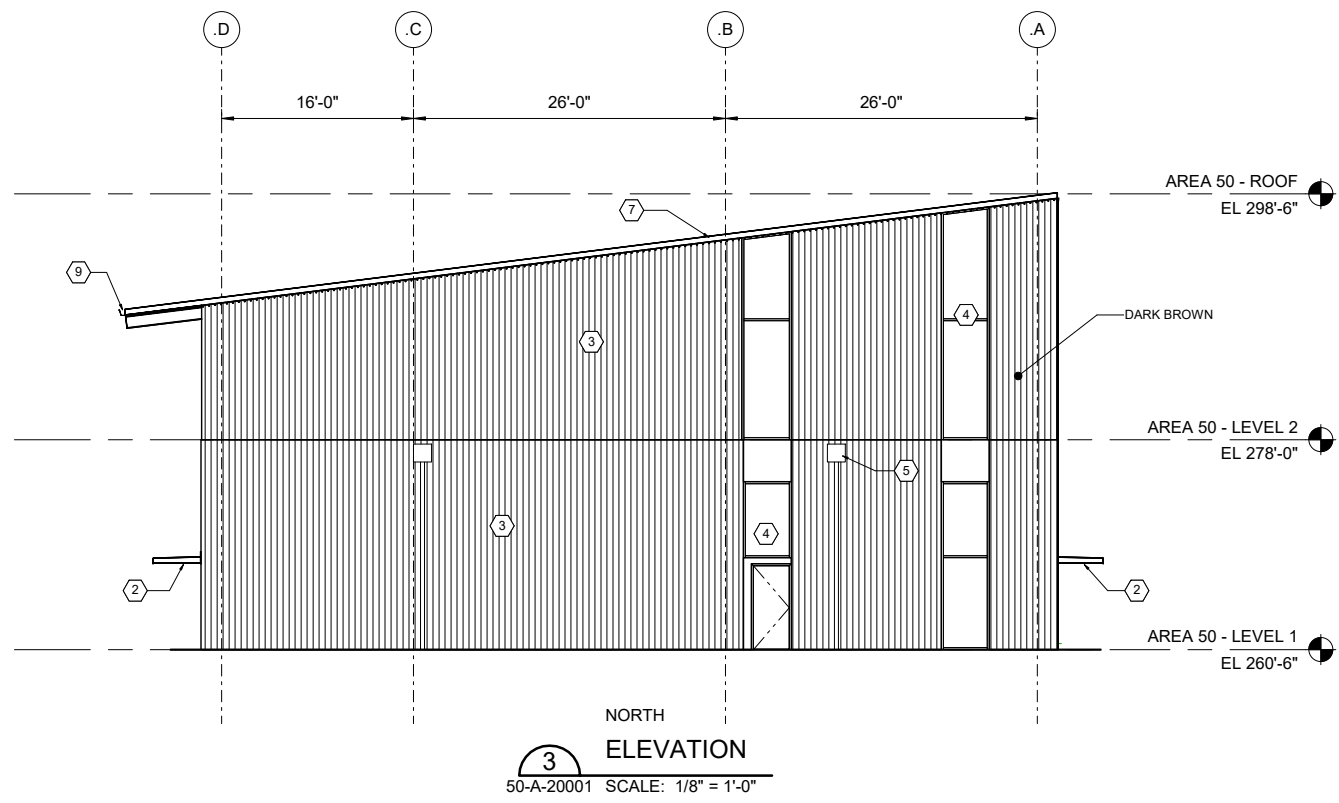
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**CDM Smith**  
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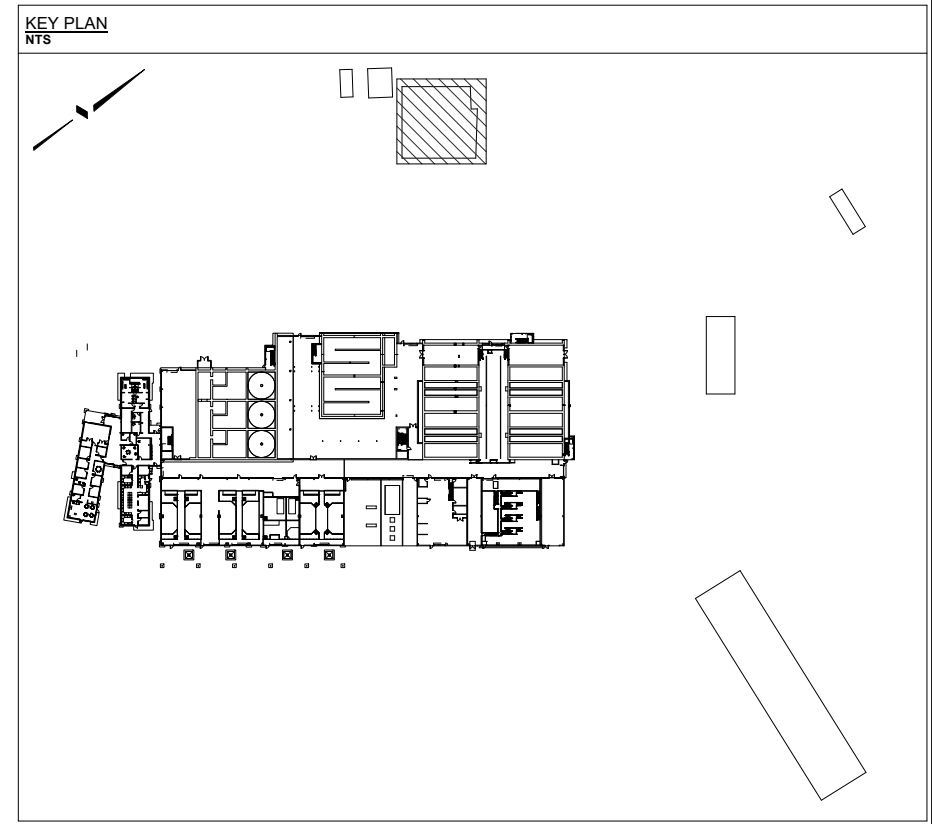
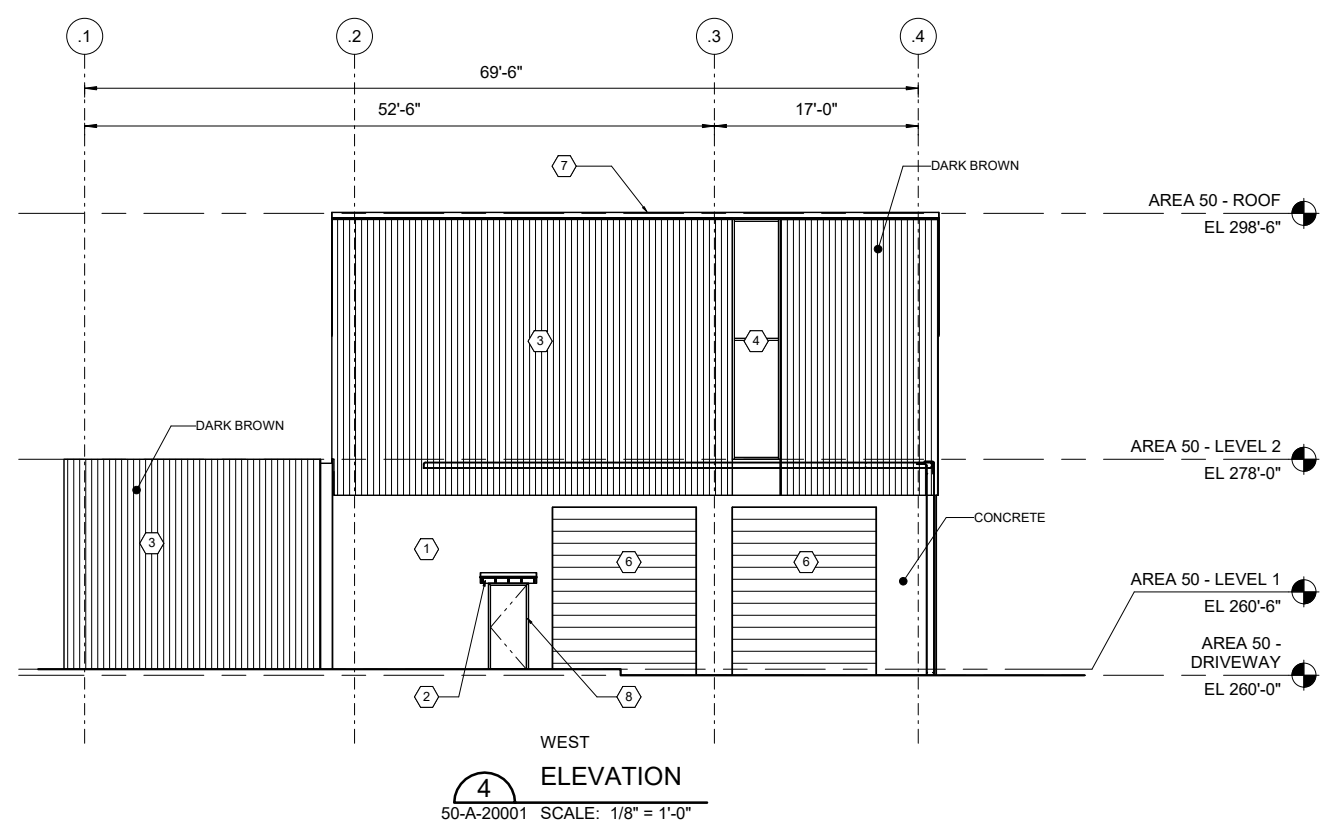
DEWATERING  
ARCHITECTURAL  
BUILDING ELEVATIONS 1

SHEET	DWG	50-A-30001
DATE		AUG 2020
PROJ		WTP_1.0

# FOR LAND USE PERMITTING (EXHIBIT A)



- KEYNOTES**
- 1 CONCRETE WALL (CAST-IN-PLACE)
  - 2 METAL CANOPY
  - 3 BOXRIB METAL SIDING
  - 4 ALUM STOREFRONT WINDOW
  - 5 SCUPPER AND DOWNSPOUT
  - 6 OVERHEAD COILING DOOR
  - 7 STANDING SEAM ROOF
  - 8 FIBERGLASS DOOR AND FRAME ASSEMBLY
  - 9 METAL GUTTER



60% DESIGN - NOT FOR CONSTRUCTION

**SHEET B-093: BUILDING ELEVATION 15**

DSGN	D MOOSMAN	NO.	DATE	REVISION	BY	APVD
DR	E RUZICKA					
CHK	C HAGERMAN					
APVD	J MCGRAW					

VERIFY SCALE  
 BAR IS ONE INCH ON ORIGINAL DRAWING.  
 IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.



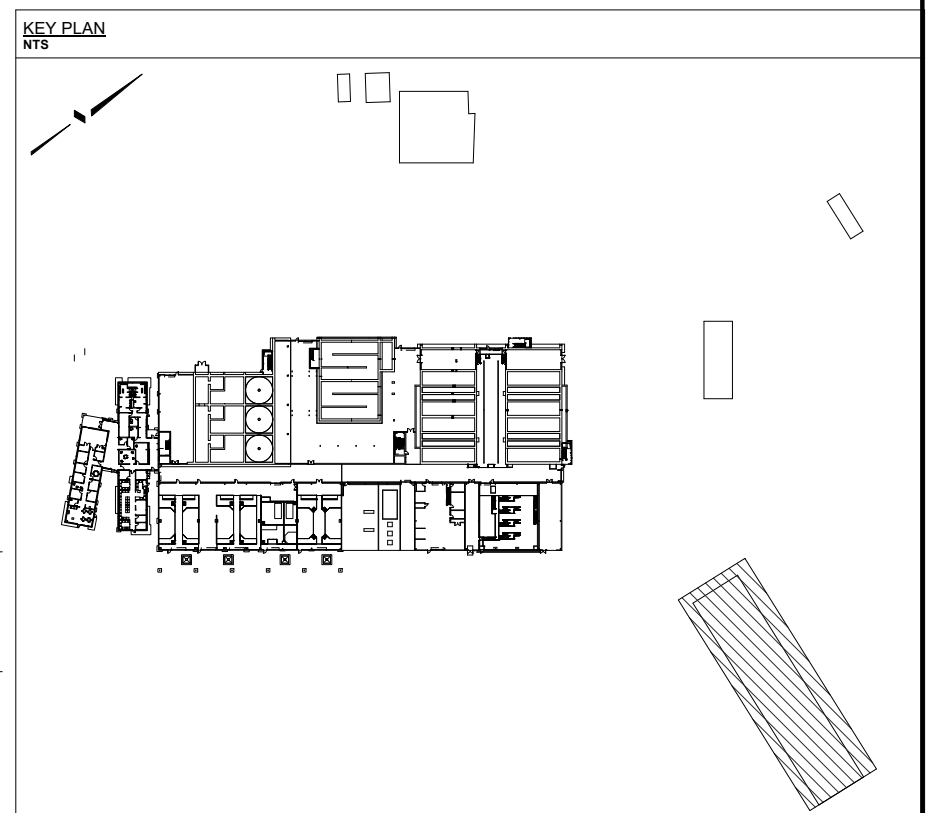
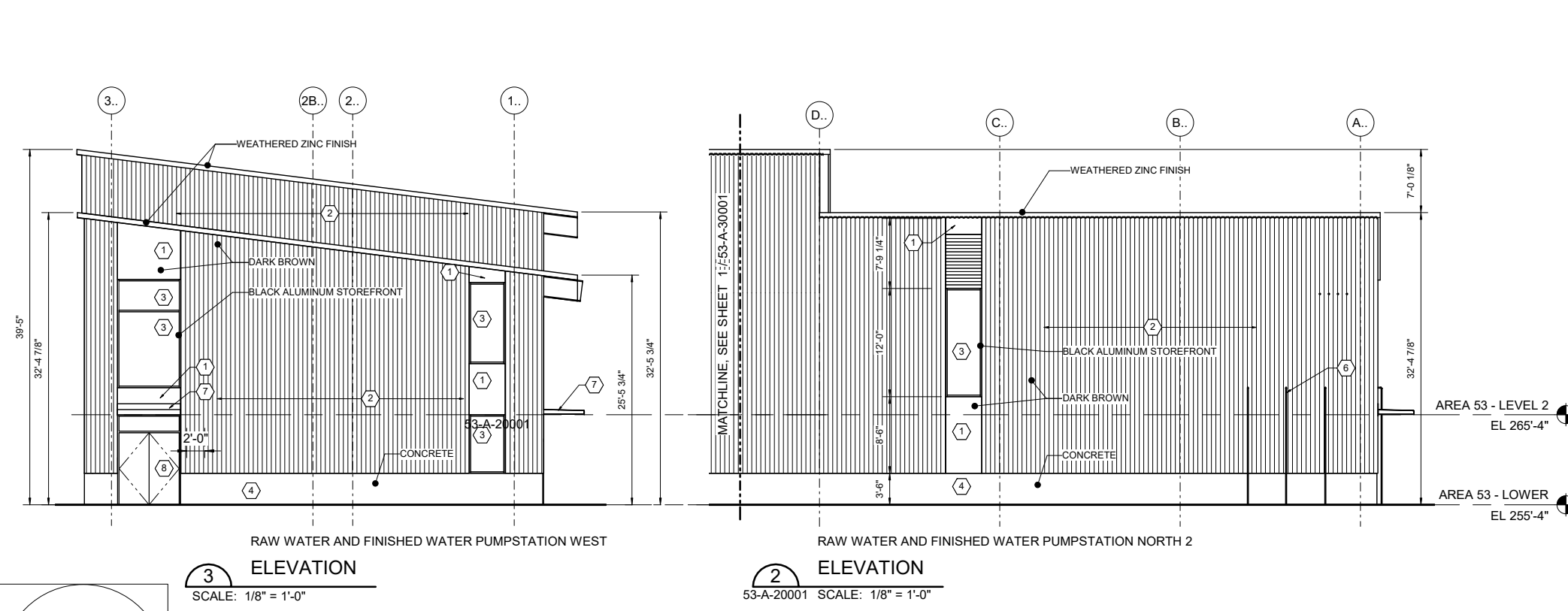
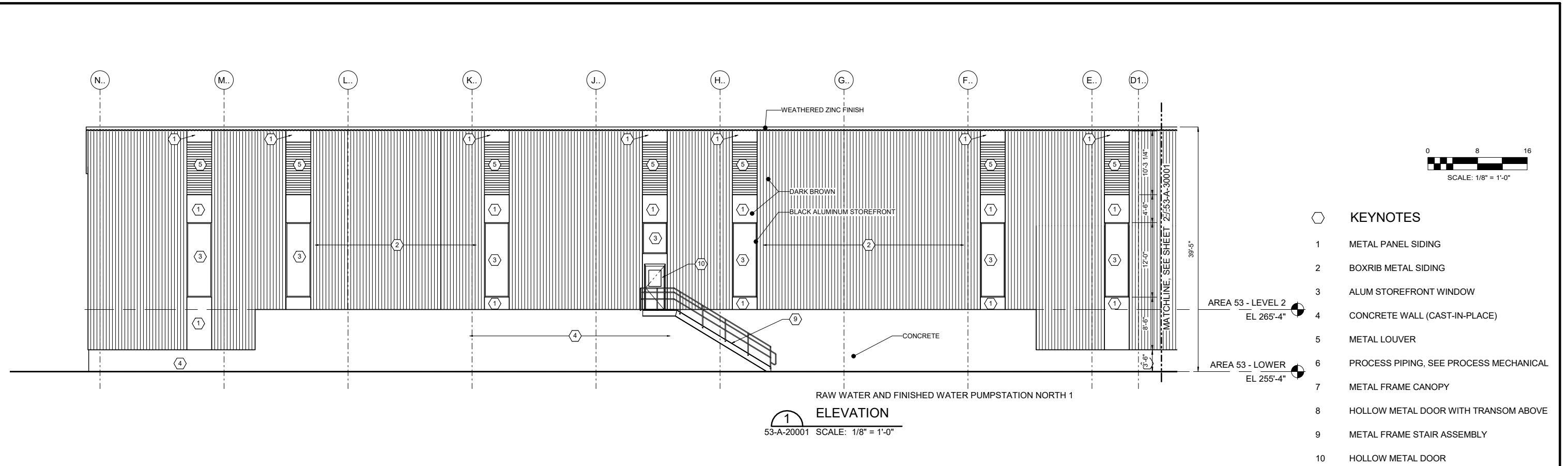
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 WATER TREATMENT PLANT\_1.0

**CDM Smith**  
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 Portland, OR 97205  
 Tel: (503) 232-1800

DEWATERING  
 ARCHITECTURAL  
 BUILDING ELEVATIONS 2

SHEET	
DWG	50-A-30002
DATE	AUG 2020
PROJ	WTP_1.0

# FOR LAND USE PERMITTING (EXHIBIT A)



## SHEET B-096: BUILDING ELEVATION 18

DSGN	D MOOSMAN	NO.	DATE	REVISION	BY	APVD
DR	R ROEPKE					
CHK	C HAGERMAN					
APVD	J MCGRAW					

VERIFY SCALE  
 BAR IS ONE INCH ON ORIGINAL DRAWING.  
 IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.



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 WATER TREATMENT PLANT\_1.0

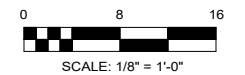
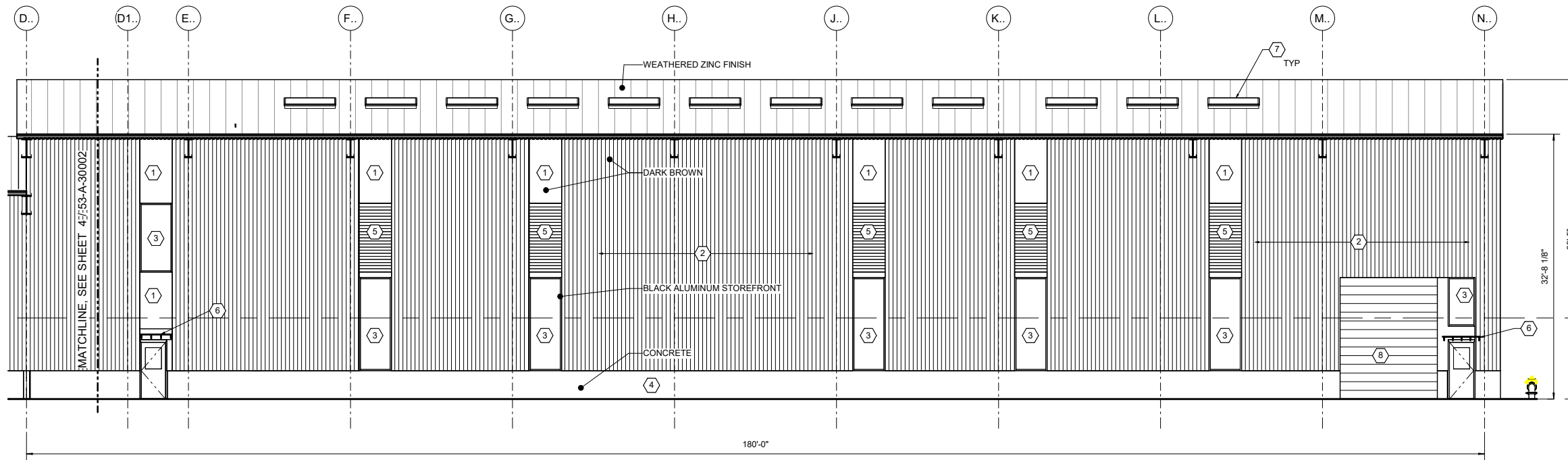
**CDM Smith**  
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 Portland, OR 97205  
 Tel: (503) 232-1800

RAW WATER METERING AND FINISHED WATER PUMP STATION  
 ARCHITECTURAL  
 BUILDING ELEVATIONS 1

SHEET	DWG	53-A-30001
DATE	AUG 2020	
PROJ	WTP_1.0	

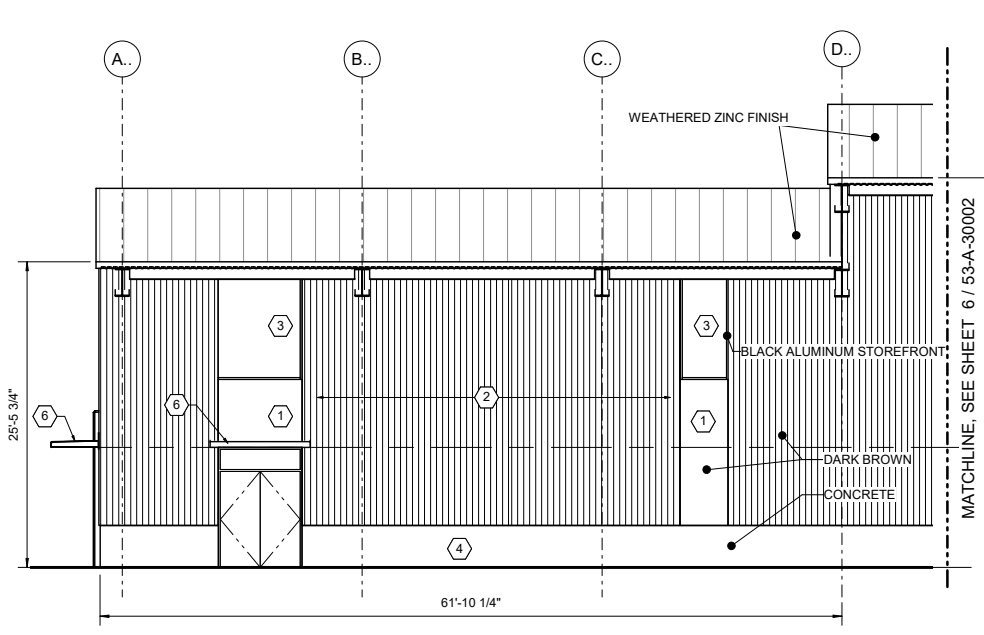
60% DESIGN - NOT FOR CONSTRUCTION

# FOR LAND USE PERMITTING (EXHIBIT A)

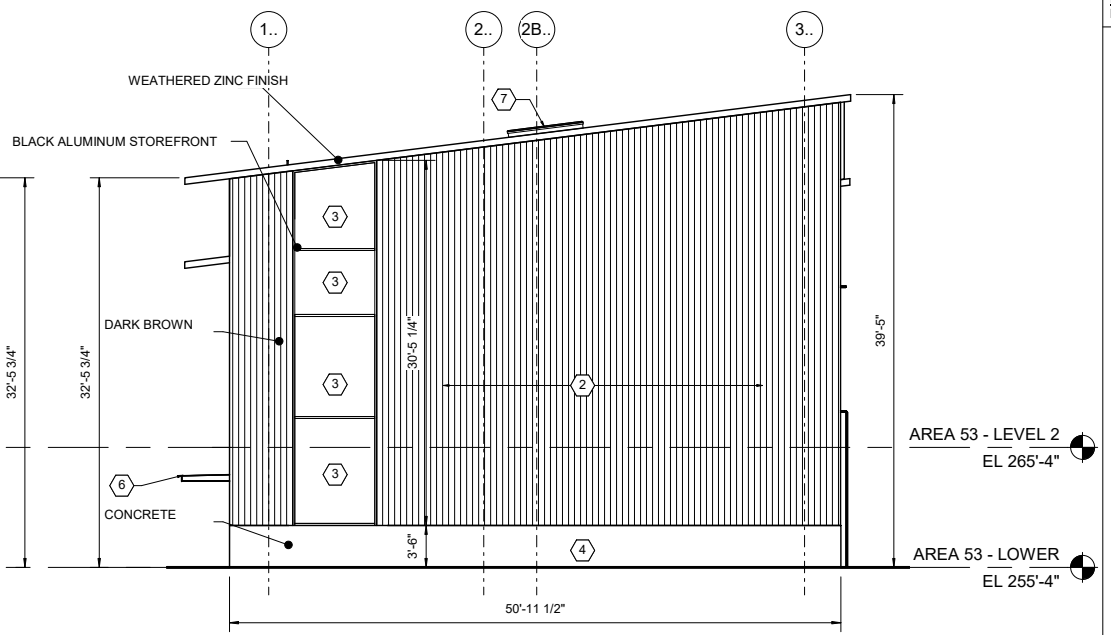


- KEYNOTES**
- 1 METAL PANEL SIDING
  - 2 BOXRIB METAL SIDING
  - 3 ALUM STOREFRONT WINDOW
  - 4 CONCRETE WALL (CAST-IN-PLACE)
  - 5 METAL LOUVER
  - 6 METAL FRAME CANOPY
  - 7 REMOVABLE SKYLIGHT
  - 8 OVERHEAD COILING DOOR

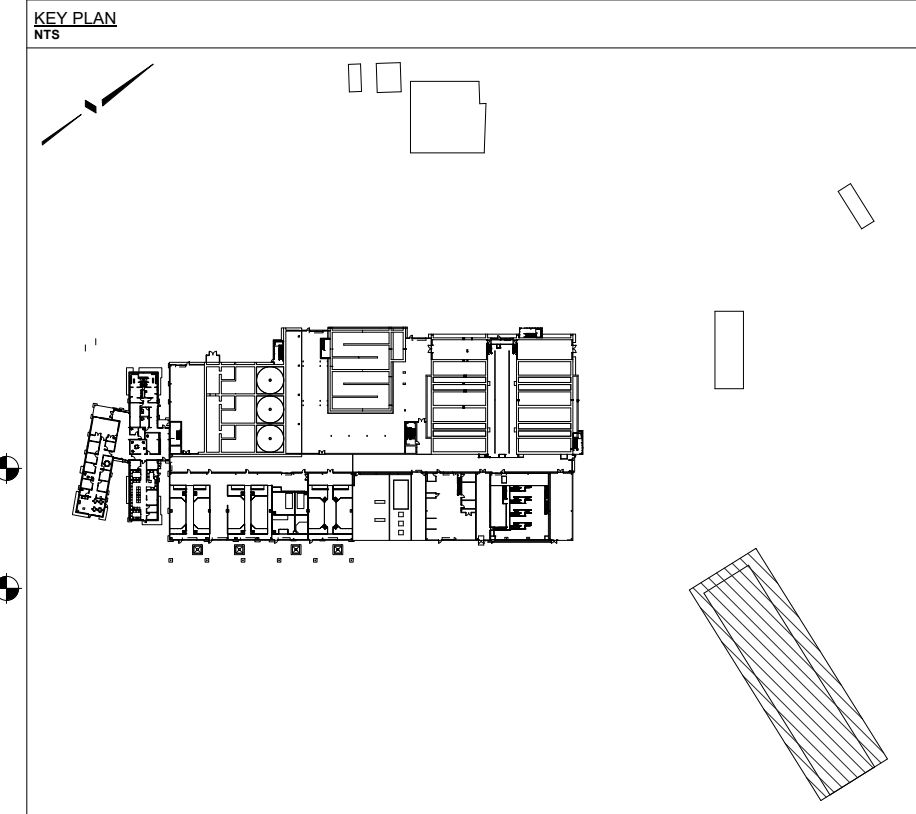
RAW WATER AND FINISHED WATER PUMPSTATION SOUTH 2  
**ELEVATION**  
 6  
 53-A-20001 SCALE: 1/8" = 1'-0"



RAW WATER AND FINISHED WATER PUMPSTATION SOUTH 1  
**ELEVATION**  
 4  
 53-A-20001 SCALE: 1/8" = 1'-0"



RAW WATER AND FINISHED WATER PUMPSTATION EAST  
**ELEVATION**  
 5  
 53-A-20001 SCALE: 1/8" = 1'-0"



**SHEET B-097: BUILDING ELEVATION 19**

DSGN	D MOOSMAN	NO.	DATE	REVISION	BY	APVD
DR	R ROEPKE					
CHK	C HAGERMAN					
APVD	J MCGRAW					

VERIFY SCALE  
 BAR IS ONE INCH ON ORIGINAL DRAWING.  
 IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.



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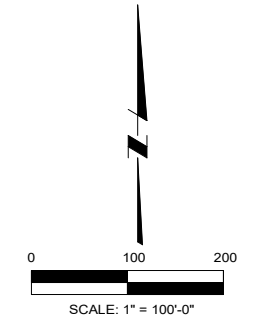
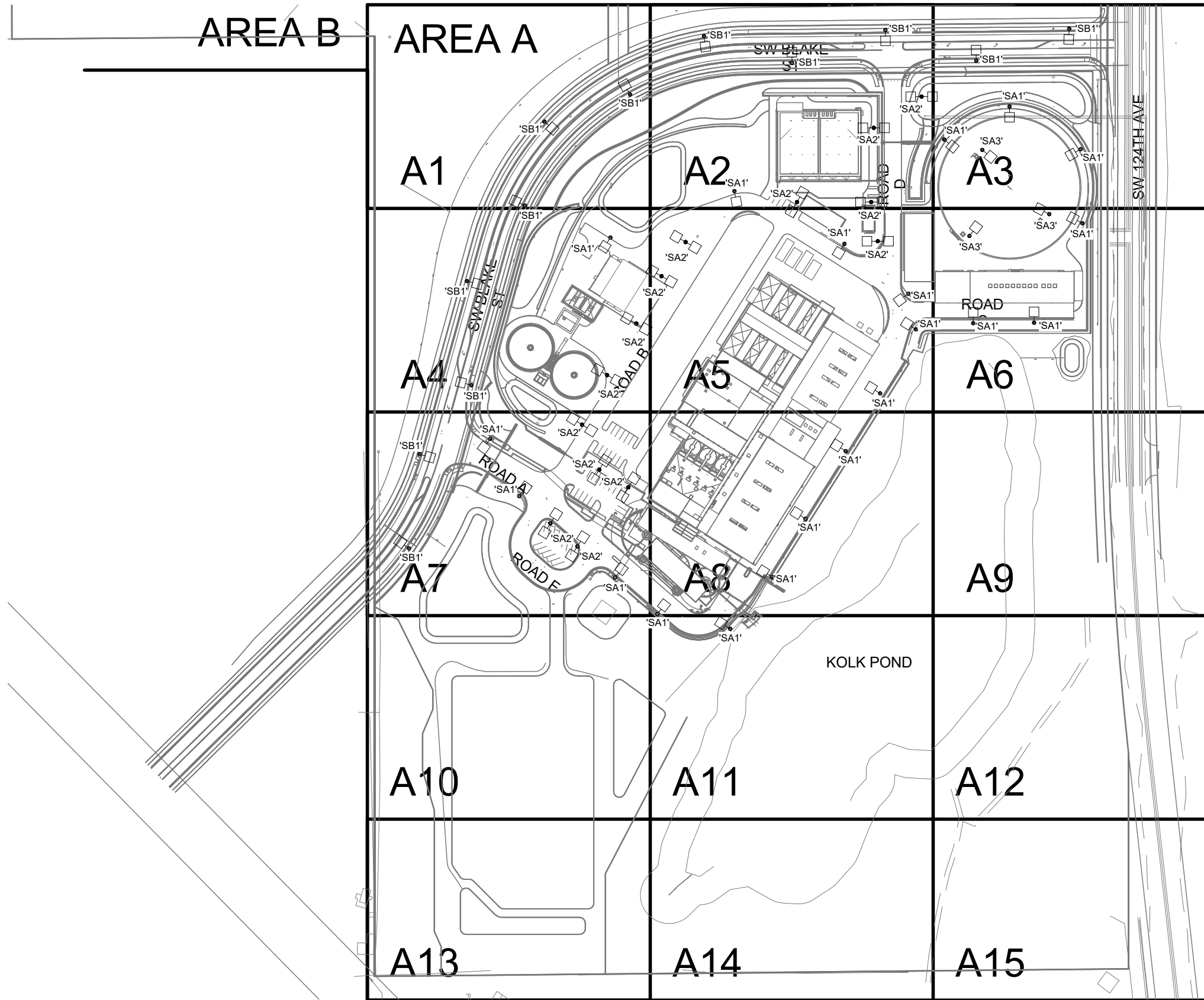


RAW WATER METERING AND FINISHED WATER PUMP STATION  
 ARCHITECTURAL  
 BUILDING ELEVATIONS 2

SHEET	DWG	53-A-30002
DATE	AUG 2020	
PROJ	WTP_1.0	

60% DESIGN - NOT FOR CONSTRUCTION

# FOR LAND USE PERMITTING (EXHIBIT A)



Calculation Summary				
Label	Units	Avg	Max	Min
Overall Site	Fc	0.12	11.9	0.0
Drive Aisle	Fc	1.26	8.7	0.0
Parking	Fc	2.16	4.3	0.8
Street lighting	Fc	0.43	1.4	0.0

### GENERAL SHEET NOTES

- A. SITE LUMINAIRES, TYPE SA1 AND SA2, ARE ON 22'-0" POLES AND ARE MOUNTED TO A 2'-6" ABOVE GRADE BASE. (LUMINAIRE MOUNTING HEIGHT OF 24'-6")
- B. SITE LUMINAIRES, TYPE SA3, ARE ON 10'-0" POLES AND ARE MOUNTED TO A FLUSH GRADE BASE.
- C. STREET LUMINAIRES, TYPE SB1, ARE ON 30'-0" POLES AND ARE MOUNTED TO A FLUSH GRADE BASE.
- D. WHERE TREES ARE PRESENT, LUMINAIRES ARE TO BE CENTERED IN BETWEEN TREES.
- E. PHOTOMETRIC CALCULATIONS ARE AT GRADE.
- F. CALCULATIONS ARE THE EXPECTED AVERAGE MAINTAINED ILLUMINATION DURING RATED NORMAL LIFE OF LIGHT SOURCE.
- G. ISO-ILLUMINANCE LINES INDICATE 1 FOOTCANDLE AND 0.5 FOOTCANDLE FOR OVERALL SITE LIGHT LEVELS.
- H. SEE LUMINAIRE SCHEDULE FOR COMPLETE LUMINAIRE INFORMATION.

HALF-STREET FRONTAGE AND RIGHT-OF-WAY (ROW) IMPROVEMENTS FOR SW 124TH AVE ARE STILL BEING COORDINATED AMONGST STAKEHOLDERS INCLUDING THE CITY AND COUNTY. THEREFORE, IMPROVEMENTS ARE NOT YET SHOWN BUT WILL BE SHOWN ON FUTURE VERSIONS OF THIS DRAWING

## SHEET B-098: PHOTOMETRICS SITE PLAN

60% DESIGN - NOT FOR CONSTRUCTION

DSGN	K WALL				
DR	Q BELOG				
CHK	T PHUONG				
APVD	T PHUONG	NO.	DATE	REVISION	BY

VERIFY SCALE  
 BAR IS ONE INCH ON ORIGINAL DRAWING.  
 IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.



SITE ELECTRICAL PHOTOMETRICS SITE PLAN

SHEET	DWG	03-E-23001
	DATE	AUG 2020
	PROJ	WTP_1.0



# FOR LAND USE PERMITTING (EXHIBIT A)

## GRADING, STREET AND UTILITY EROSION AND SEDIMENT CONSTRUCTION NOTES:

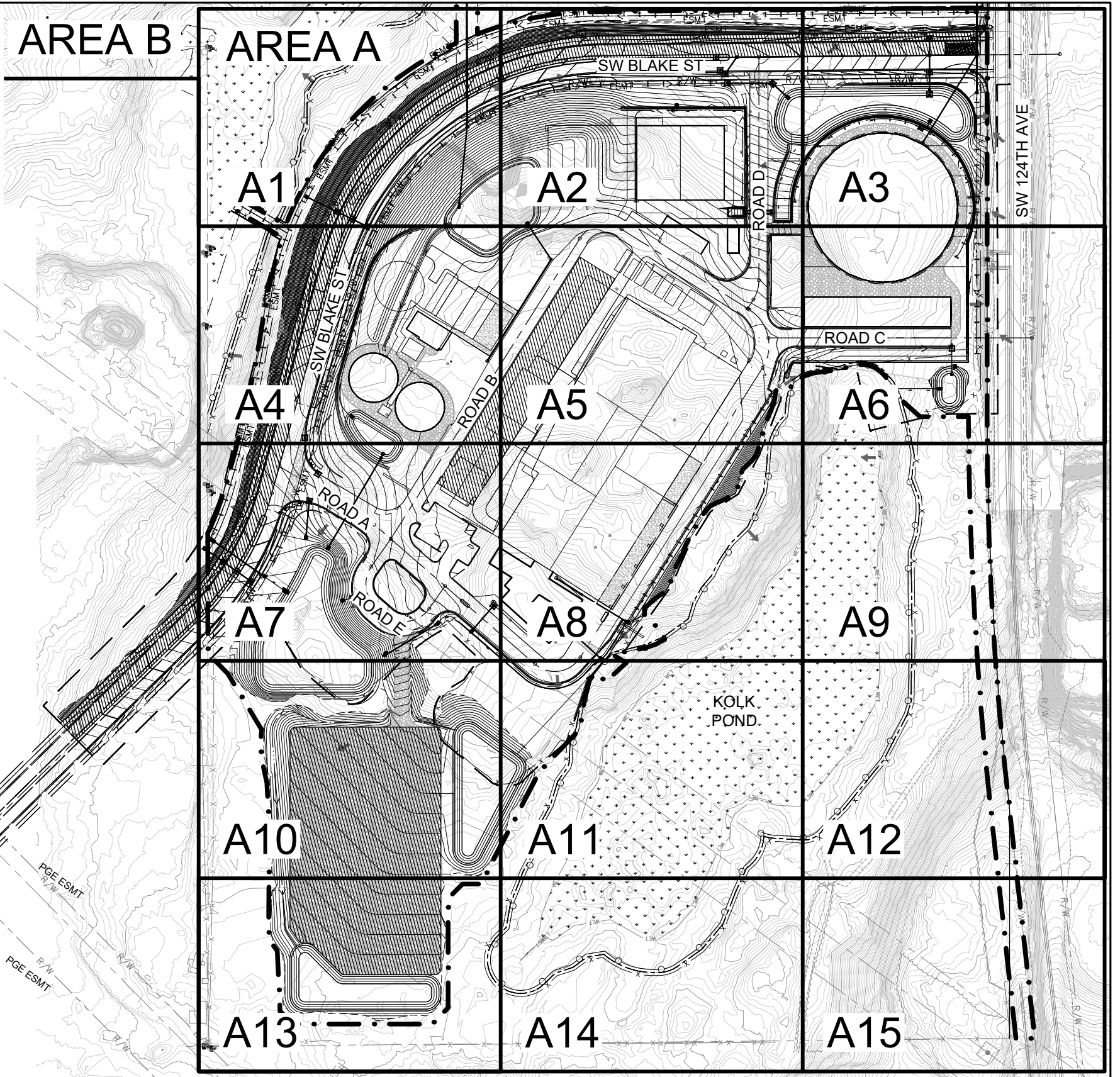
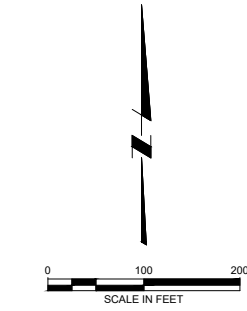
1. SEED USED FOR TEMPORARY OR PERMANENT SEEDING SHALL BE COMPOSED OF ONE OF THE FOLLOWING MIXTURES, UNLESS OTHERWISE AUTHORIZED:
  - A. VEGETATED CORRIDOR AREAS REQUIRE NATIVE SEED MIXES. SEE RESTORATION PLAN FOR APPROPRIATE SEED MIX.
  - B. DWARF GRASS MIX (MIN. 100 LB./AC.)
    1. DWARF PERENNIAL RYEGRASS (80% BY WEIGHT)
    2. CREEPING RED FESCUE (20% BY WEIGHT)
  - C. STANDARD HEIGHT GRASS MIX (MIN. 100LB./AC.)
    1. ANNUAL RYEGRASS (40% BY WEIGHT)
    2. TURF-TYPE FESCUE (60% BY WEIGHT)
2. SLOPE TO RECEIVE TEMPORARY OR PERMANENT SEEDING SHALL HAVE THE SURFACE ROUGHENED BY MEANS OF TRACK-WALKING OR THE USE OF OTHER APPROVED IMPLEMENTS. SURFACE ROUGHENING IMPROVES SEED BEDDING AND REDUCES RUN-OFF VELOCITY.
3. LONG TERM SLOPE STABILIZATION MEASURES SHALL INCLUDE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER VIA SEEDING WITH APPROVED MIX AND APPLICATION RATE.
4. TEMPORARY SLOPE STABILIZATION MEASURES SHALL INCLUDE: COVERING EXPOSED SOIL WITH PLASTIC SHEETING, STRAW MULCHING, WOOD CHIPS, OR OTHER APPROVED MEASURES.
5. STOCKPILED SOIL OR STRIPPINGS SHALL BE PLACED IN A STABLE LOCATION AND CONFIGURATION. DURING "WET WEATHER" PERIODS, STOCKPILES SHALL BE COVERED WITH PLASTIC SHEETING OR STRAW MULCH. SEDIMENT FENCE IS REQUIRED AROUND THE PERIMETER OF THE STOCKPILE.
6. EXPOSED CUT OR FILL AREAS SHALL BE STABILIZED THROUGH THE USE OF TEMPORARY SEEDING AND MULCHING, EROSION CONTROL BLANKETS OR MATS, MID-SLOPE SEDIMENT FENCES OR WATTLES, OR OTHER APPROPRIATE MEASURES. SLOPES EXCEEDING 25% MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES.
7. AREAS SUBJECT TO WIND EROSION SHALL USE APPROPRIATE DUST CONTROL MEASURES INCLUDING THE APPLICATION OF A FINE SPRAY OF WATER, PLASTIC SHEETING, STRAW MULCHING, OR OTHER APPROVED MEASURES.
8. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES INCLUDING, BUT NOT LIMITED TO, TIRE WASHES, STREET SWEEPING, AND VACUUMING MAY BE REQUIRED TO INSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
9. ACTIVE INLETS TO STORM WATER SYSTEMS SHALL BE PROTECTED THROUGH THE USE OF APPROVED INLET PROTECTION MEASURES. ALL INLET PROTECTION MEASURES ARE TO BE REGULARLY INSPECTED AND MAINTAINED AS NEEDED.
10. SATURATED MATERIALS THAT ARE HAULED OFF-SITE MUST BE TRANSPORTED IN WATER-TIGHT TRUCKS TO ELIMINATE SPILLAGE OF SEDIMENT AND SEDIMENT-LADEN WATER.
11. AN AREA SHALL BE PROVIDED FOR THE WASHING OUT OF CONCRETE TRUCKS IN A LOCATION THAT DOES NOT PROVIDE RUN-OFF THAT CAN ENTER THE STORM WATER SYSTEM. IF THE CONCRETE WASH-OUT AREA CAN NOT BE CONSTRUCTED GREATER THAN 50' FROM ANY DISCHARGE POINT, SECONDARY MEASURES SUCH AS BERMS OR TEMPORARY SETTLING PITS MAY BE REQUIRED. THE WASH-OUT SHALL BE LOCATED WITHIN SIX FEET OF TRUCK ACCESS AND BE CLEANED WHEN IT REACHES 50% OF THE CAPACITY.
12. SWEEPINGS FROM EXPOSED AGGREGATE CONCRETE SHALL NOT BE TRANSFERRED TO THE STORM WATER SYSTEM. SWEEPINGS SHALL BE PICKED UP AND DISPOSED IN THE TRASH.
13. AVOID PAVING IN WET WEATHER WHEN PAVING CHEMICALS CAN RUN-OFF INTO THE STORM WATER SYSTEM.
14. USE BMPs SUCH AS CHECK-DAMS, BERMS, AND INLET PROTECTION TO PREVENT RUN-OFF FROM REACHING DISCHARGE POINTS.
15. COVER CATCH BASINS, MANHOLES, AND OTHER DISCHARGE POINTS WHEN APPLYING SEAL COAT, TACK COAT, ETC. TO PREVENT INTRODUCING THESE MATERIALS TO THE STORM WATER SYSTEM.

## EROSION AND SEDIMENT CONTROL BMP IMPLEMENTATION:

1. ALL BASE ESC MEASURES (INLET PROTECTION, PERIMETER SEDIMENT CONTROL, GRAVEL CONSTRUCTION ENTRANCES, ETC.) MUST BE IN PLACE, FUNCTIONAL, AND APPROVED IN AN INITIAL INSPECTION, PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
2. "STOCK PILE AREA 1" SHALL BE MOVED TO "STOCK PILE AREA 2" FOLLOWING THE EXCAVATION CUT ACTIVITIES.
3. THE "STAGING, EQUIPMENT MAINTENANCE, FUELING, PORTA-POTTY, AND SOLID WASTE AREA 1" SHALL BE MOVED TO "STAGING, EQUIPMENT MAINTENANCE, FUELING, PORTA-POTTY, AND SOLID WASTE AREA 2" FOLLOWING EXCAVATION "CUT" ACTIVITIES.
4. ALL "SEDIMENT BARRIERS (TO BE INSTALLED AFTER GRADING)" SHALL BE INSTALLED IMMEDIATELY FOLLOWING ESTABLISHMENT OF FINISHED GRADE AS SHOWN ON THESE PLANS.
5. LONG TERM SLOPE STABILIZATION MEASURES "INCLUDING MATTING" SHALL BE IN PLACE OVER ALL EXPOSED SOILS BY OCTOBER 1.
6. THE STORM WATER FACILITY SHALL BE CONSTRUCTED AND LANDSCAPED PRIOR TO THE STORM WATER SYSTEM FUNCTIONING AND SITE PAVING.
7. INLET PROTECTION SHALL BE IN-PLACE IMMEDIATELY FOLLOWING PAVING ACTIVITIES.

THESE EROSION AND SEDIMENT CONTROL PLANS ASSUME "DRY WEATHER" CONSTRUCTION. "WET WEATHER" CONSTRUCTION MEASURES NEED TO BE APPLIED BETWEEN OCTOBER 1ST AND MAY 31ST.

HALF-STREET FRONTAGE AND RIGHT-OF-WAY (ROW) IMPROVEMENTS FOR SW 124TH AVE ARE STILL BEING COORDINATED AMONGST STAKEHOLDERS INCLUDING THE CITY AND COUNTY. THEREFORE, IMPROVEMENTS ARE NOT YET SHOWN BUT WILL BE SHOWN ON FUTURE VERSIONS OF THIS DRAWING



BY: CHRIS JAIN  
PLOT DATE: Wednesday, May 25, 2016 1:37:44 PM  
DWG FILE: C:\cdm\christis.jain@murray-smith.us\d024278\WTP1-03-EC-20001.dwg

### SHEET B-108: EROSION CONTROL AREA A

DSGN	McMURTREY					
DR	A ROBERTS					
CHK	NA					
APVD	NA	NO.	DATE	REVISION	BY	APVD

VERIFY SCALE  
BAR IS ONE INCH ON ORIGINAL DRAWING.  
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.



SITE  
EROSION CONTROL  
EROSION AND STORMWATER QUALITY CONTROL  
PLAN AREA A

SHEET	DWG 03-EC-20001
DATE	AUG 3030
PROJ	WTP_1.0

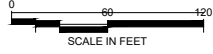
90% DESIGN - NOT FOR CONSTRUCTION

PLOT DATE AND TIME: 8/24/2020 5:03:32 PM

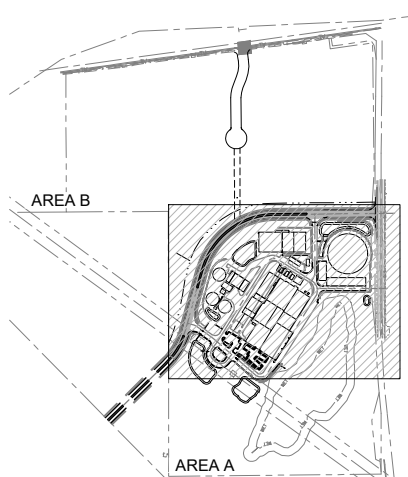
1 PLAN

# FOR LAND USE PERMITTING (EXHIBIT A)

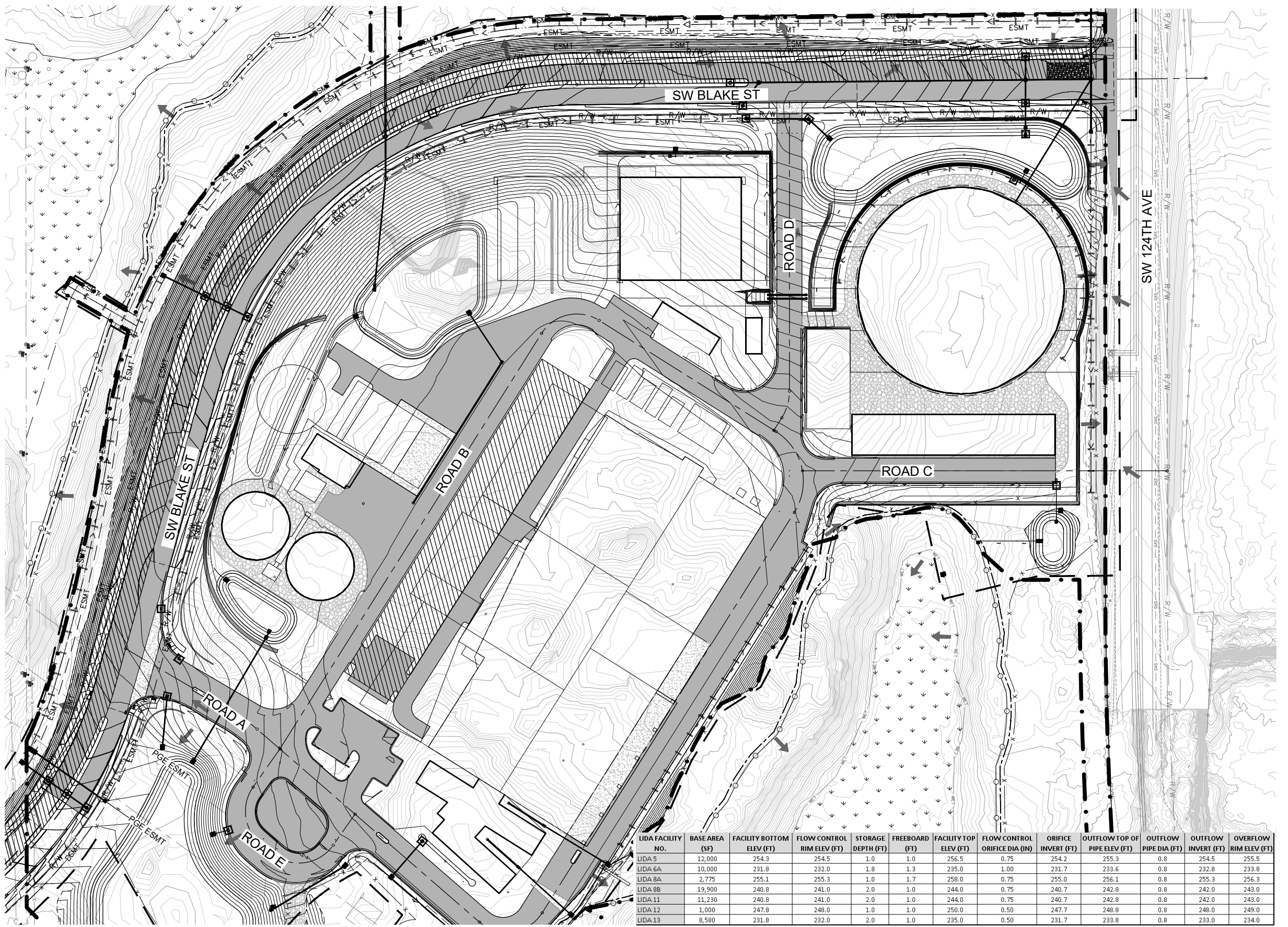
HALF-STREET FRONTAGE AND RIGHT-OF-WAY (ROW) IMPROVEMENTS FOR SW 124TH AVE ARE STILL BEING COORDINATED AMONGST STAKEHOLDERS INCLUDING THE CITY AND COUNTY. THEREFORE, IMPROVEMENTS ARE NOT YET SHOWN BUT WILL BE SHOWN ON FUTURE VERSIONS OF THIS DRAWING



- LEGEND**
- PROPOSED SEDIMENT FENCE
  - LIMITS OF DISTURBANCE
  - DRAINAGE FLOW ARROW
  - EXISTING CONTOURS
  - FINISHED CONTOURS
  - PROPOSED STAGING AREA
  - CONSTRUCTION ENTRANCE
  - WETLAND
  - CWS VEGETATED CORRIDOR
  - CHECK DAM
  - INLET PROTECTION
  - OUTLET PROTECTION



**KEY MAP**  
NTS



LIDA FACILITY NO.	BASE AREA (SF)	FACILITY BOTTOM ELEV (FT)	FLOW CONTROL RIM ELEV (FT)	STORAGE DEPTH (FT)	FREEBOARD (FT)	FACILITY TOP ELEV (FT)	FLOW CONTROL ORIFICE DIA (IN)	ORIFICE INVERT (FT)	OUTFLOW TOP OF PIPE ELEV (FT)	OUTFLOW PIPE DIA (FT)	OUTFLOW INVERT (FT)	OVERFLOW RIM ELEV (FT)
LIDA 5	12,000	254.3	254.5	1.0	1.0	256.5	0.75	254.2	255.3	0.8	254.5	255.5
LIDA 6A	10,000	231.8	232.0	1.8	1.3	235.0	1.00	231.7	233.6	0.8	232.8	233.8
LIDA 8A	2,775	255.1	255.3	1.0	1.7	258.0	0.75	255.0	256.1	0.8	255.3	256.3
LIDA 8B	19,900	240.8	241.0	2.0	1.0	244.0	0.75	240.7	242.8	0.8	242.0	243.0
LIDA 11	11,230	240.8	241.0	2.0	1.0	244.0	0.75	240.7	242.8	0.8	242.0	243.0
LIDA 12	1,000	247.8	248.0	1.0	1.0	250.0	0.50	247.7	248.8	0.8	248.0	249.0
LIDA 13	8,580	231.8	232.0	2.0	1.0	235.0	0.50	231.7	233.8	0.8	233.0	234.0

**SHEET B-109: LIDA STORMWATER FACILITY SUMMARY**

90% DESIGN - NOT FOR CONSTRUCTION

DSGN	McMURTREY				
DR	M ESTEP				
CHK	NA				
APVD	NA	NO.	DATE	REVISION	BY

VERIFY SCALE BAR IS ONE INCH ON ORIGINAL DRAWING. IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.

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WATER TREATMENT PLANT\_1.0

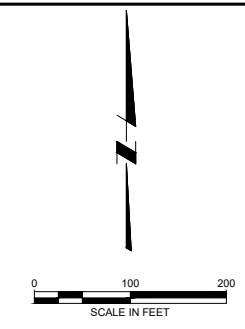
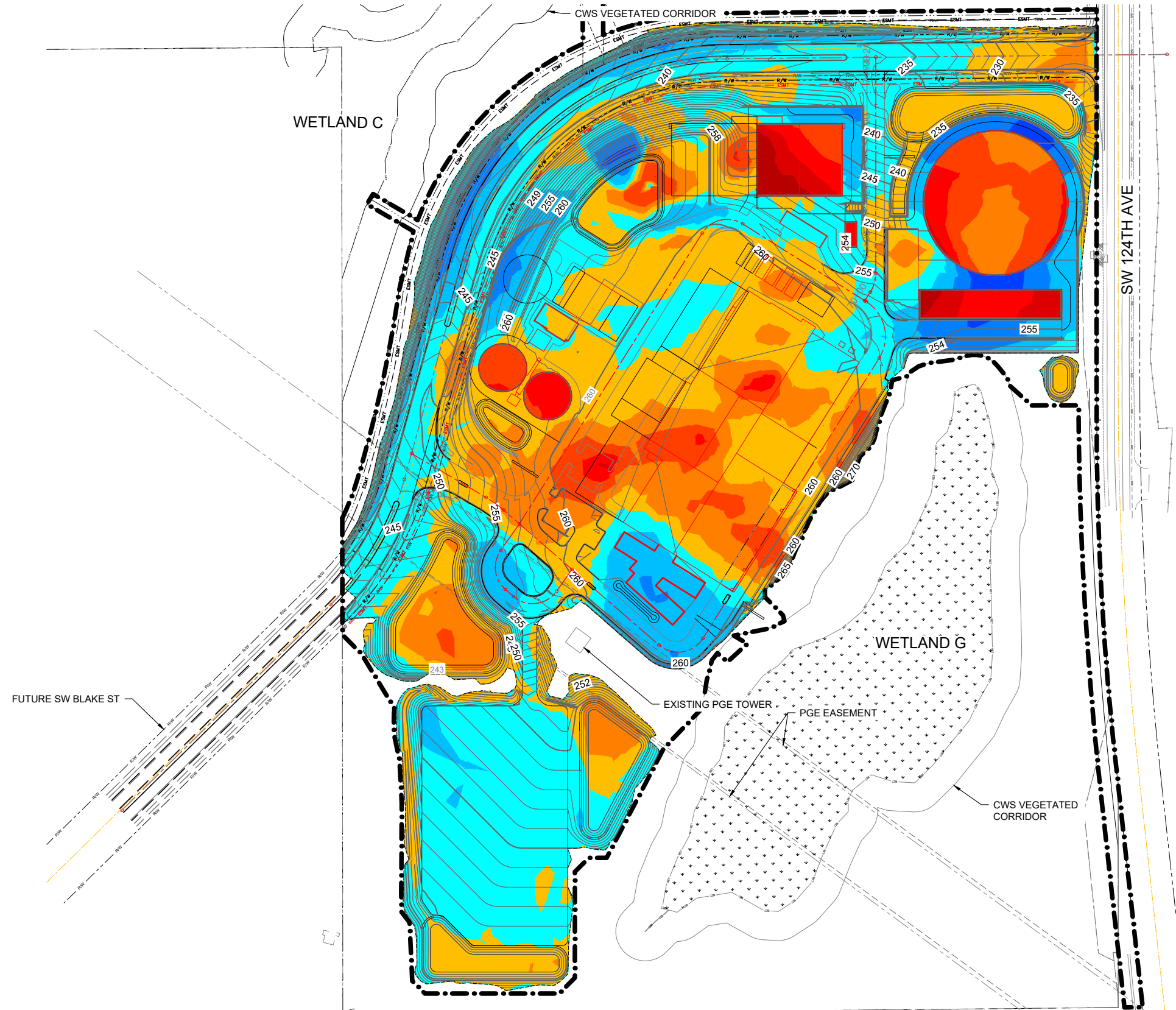
**CDM Smith**  
1220 SW Morrison Street, Suite 200  
Portland, OR 97205  
Tel: (503) 232-1800

SITE  
EROSION CONTROL  
EROSION AND STORMWATER QUALITY CONTROL  
LAYOUT PLAN AREA A

SHEET	DWG	03-EC-20002
DATE	AUG 2020	
PROJ	WTP_1.0	

BY: CHRIS JAIN PLOT DATE: Wednesday, May 25, 2016 1:37:44 PM DWG FILE: C:\cdm\christis.jain@murraysmith.us\d0274278\WTP1-03-EC-20001.dwg

# FOR LAND USE PERMITTING (EXHIBIT A)



Elevations Table				
NUMBER	MINIMUM ELEVATION (FT)	MAXIMUM ELEVATION (FT)	COLOR	AREA (FT)
1	-30.000	-25.000		5851.2
2	-25.000	-20.000		10455.0
3	-20.000	-15.000		26181.8
4	-15.000	-10.000		68217.1
5	-10.000	-5.000		147033.8
6	-5.000	0.000		351859.7
7	0.000	5.000		393651.3
8	5.000	10.000		128253.9
9	10.000	15.000		32034.0
10	15.000	20.000		5418.5

**NOTES:**

- ELEVATIONS TABLE REPRESENTS CUT AND FILL DEPTHS BELOW OR ABOVE THE EXISTING GROUND SURFACE. FOR EXAMPLE NUMBER 1 ( DARK RED) REPRESENTS CUTS DOWN TO FINISHED GRADES BETWEEN 25 AND 30 FEET BELOW THE EXISTING GROUND SURFACE. NUMBER 10 (DARK BLUE) REPRESENTS FILLS TO FINISHED GRADE BETWEEN 15 AND 20 FEET ABOVE EXISTING GROUND SURFACE.

HALF-STREET FRONTAGE AND RIGHT-OF-WAY (ROW) IMPROVEMENTS FOR SW 124TH AVE ARE STILL BEING COORDINATED AMONGST STAKEHOLDERS INCLUDING THE CITY AND COUNTY. THEREFORE, IMPROVEMENTS ARE NOT YET SHOWN BUT WILL BE SHOWN ON FUTURE VERSIONS OF THIS DRAWING

**SHEET B-125: EARTHWORK HEAT MAP (CUT AND FILL)**

90% DESIGN - NOT FOR CONSTRUCTION

DSGN	B FOSTER					
DR	M ESTEP					
CHK	B FOSTER					
APVD	M HICKEY	NO.	DATE	REVISION	BY	APVD

VERIFY SCALE  
 BAR IS ONE INCH ON ORIGINAL DRAWING.  
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SITE  
 GRADING, PAVING AND DRAINAGE  
 OVERALL PLAN AREA A  
 EARTHWORK

SHEET	
DWG	
DATE	AUG 2020
PROJ	WTP_1.0

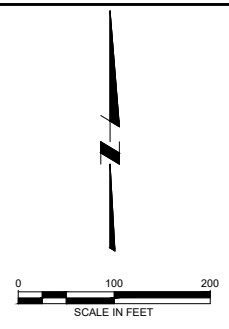
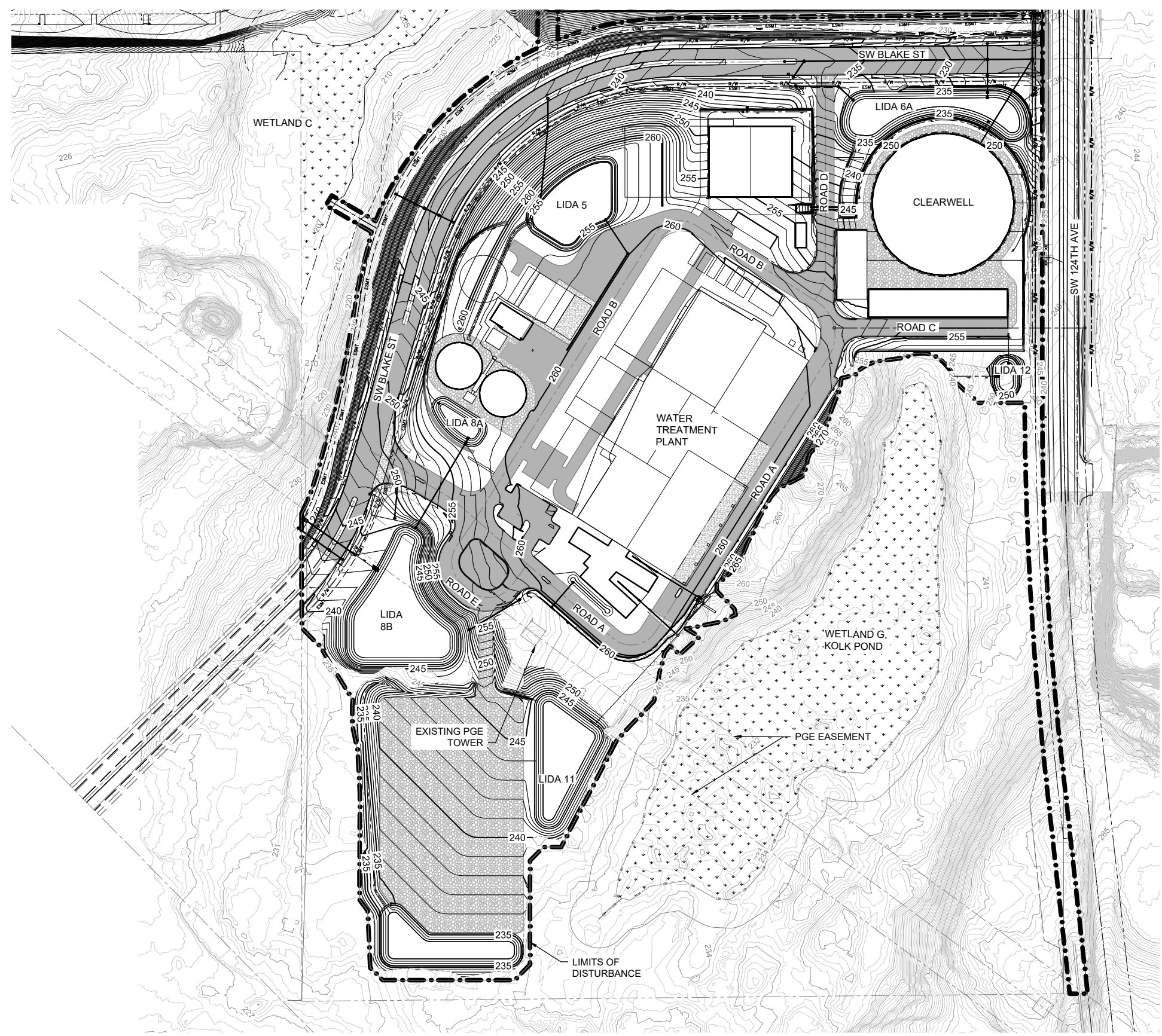
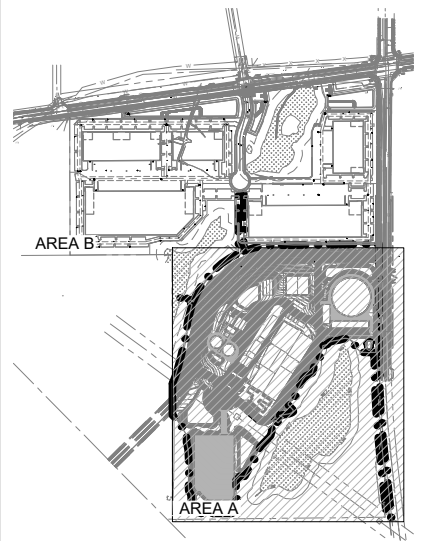
PLOT DATE AND TIME: 8/24/2020 3:03:36 PM

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 PLOT DATE: Wednesday, May 25, 2016 1:37:44 PM  
 BY: BEN FOSTER

# FOR LAND USE PERMITTING (EXHIBIT A)

BY: KELSEY VANDEBERGH  
PLOT DATE: Wednesday, May 25, 2016 1:37:44 PM  
DWG FILE: C:\cdm\kelsey.vandeborgh@murraysmith.us\40274278\WTP1-03-GR-20001.dwg

- LEGEND**
- CUT-FILL SLOPE
  - FLOW ARROW
  - WATER LEVEL
  - FIRE HYD
  - EXISTING AND PROPOSED
  - WATER METER
  - WATER VALVE
  - EXISTING AND PROPOSED
  - SEWER MANHOLE
  - STORM DRAIN MANHOLE
  - UTILITY POLE
  - SLOPE
  - STORM DRAIN INLET, TYPE CURB
  - STORM DRAIN INLET, TYPE BEEHIVE
  - SEWER CLEANOUT
  - TELEPHONE PEDESTAL
  - MAILBOX
  - R/W RIGHT OF WAY
  - PROPERTY LINE
  - SECTION LINE
  - TOE TEMPORARY CONSTRUCTION EASEMENT
  - ESMT PERMANENT EASEMENT
  - FENCE LINE
  - 1200+00 FLOOD PLAIN LINE
  - OR NEW PIPELINE W/ STATIONING
  - DITCH



HALF-STREET FRONTAGE AND RIGHT-OF-WAY (ROW) IMPROVEMENTS FOR SW 124TH AVE ARE STILL BEING COORDINATED AMONGST STAKEHOLDERS INCLUDING THE CITY AND COUNTY. THEREFORE, IMPROVEMENTS ARE NOT YET SHOWN BUT WILL BE SHOWN ON FUTURE VERSIONS OF THIS DRAWING

**SHEET B-126: GRADING PLAN AREA A**

90% DESIGN - NOT FOR CONSTRUCTION

DSGN	K USAGAWA					
DR	M ESTEP					
CHK	B FOSTER					
APVD	M HICKEY	NO.	DATE	REVISION	BY	APVD

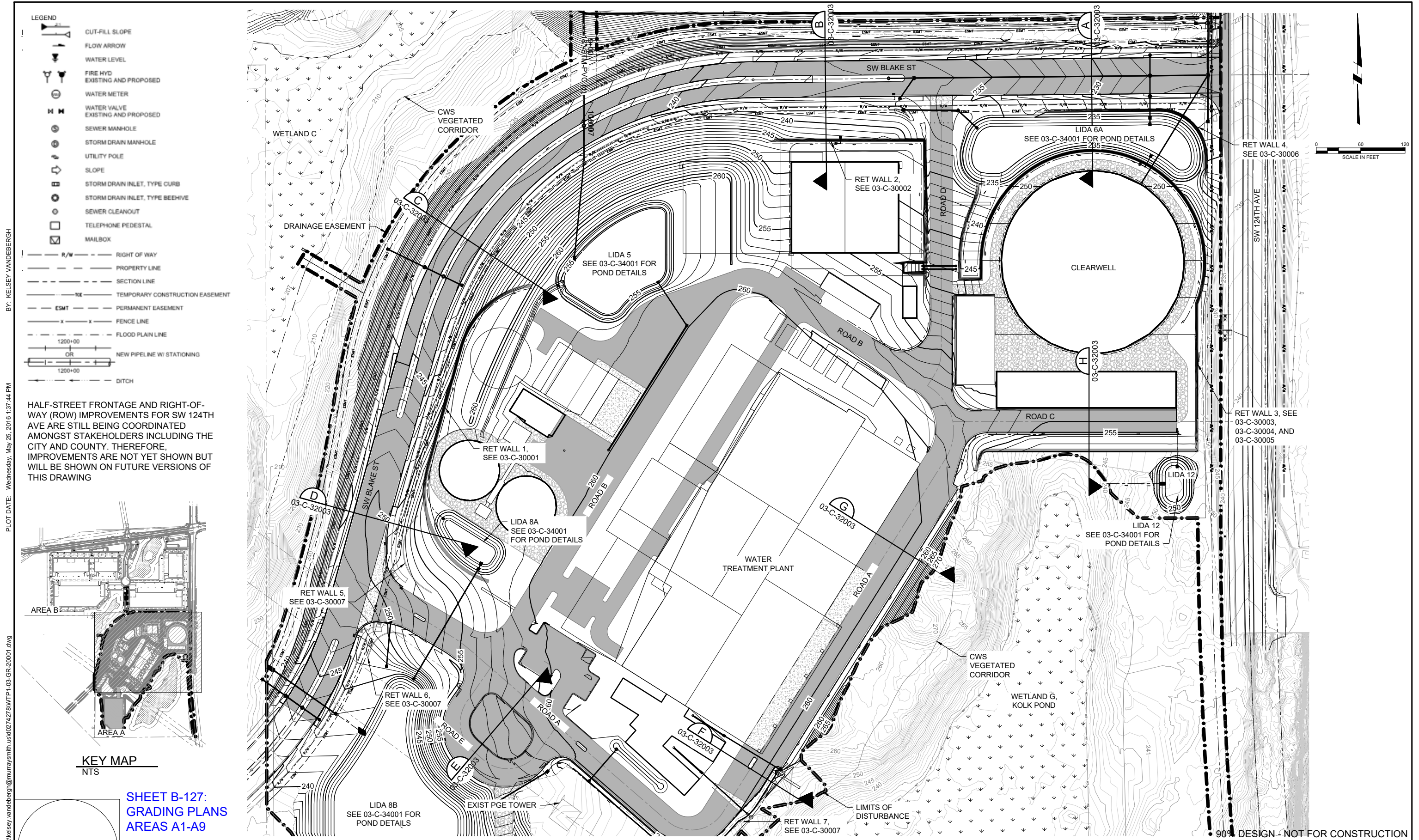
VERIFY SCALE  
BAR IS ONE INCH ON ORIGINAL DRAWING.  
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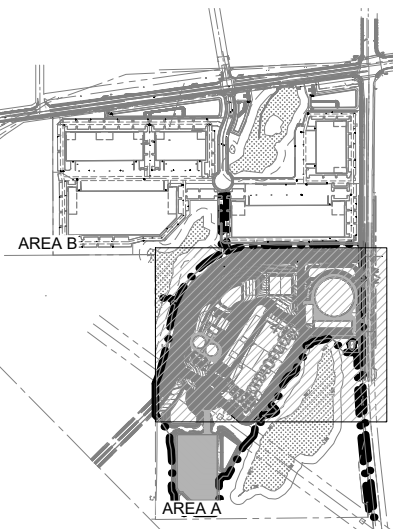
SITE  
GRADING  
GRADING, PAVING AND DRAINAGE OVERALL PLAN  
AREA A

SHEET	DWG	03-GR-20001
DATE	AUG 2020	
PROJ	WTP_1.0	

# FOR LAND USE PERMITTING (EXHIBIT A)



HALF-STREET FRONTAGE AND RIGHT-OF-WAY (ROW) IMPROVEMENTS FOR SW 124TH AVE ARE STILL BEING COORDINATED AMONGST STAKEHOLDERS INCLUDING THE CITY AND COUNTY. THEREFORE, IMPROVEMENTS ARE NOT YET SHOWN BUT WILL BE SHOWN ON FUTURE VERSIONS OF THIS DRAWING



**SHEET B-127:  
GRADING PLANS  
AREAS A1-A9**

DSGN	K USAGAWA	NO.	DATE	REVISION	BY	APVD
DR	M ESTEP					
CHK	B FOSTER					
APVD	M HICKEY					

VERIFY SCALE  
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Tel: (503) 232-1800

SITE GRADING		SHEET
GRADING, PAVING AND DRAINAGE LAYOUT PLAN AREA A		DWG 03-GR-20002
		DATE AUG 2020
		PROJ WTP_1.0

DWG FILE: C:\cdm\kelsey.vandenberg\us40274278\WTP1-03-GR-20001.dwg  
 PLOT DATE: Wednesday, May 25, 2016 1:37:44 PM  
 BY: KELSEY VANDEBERGH

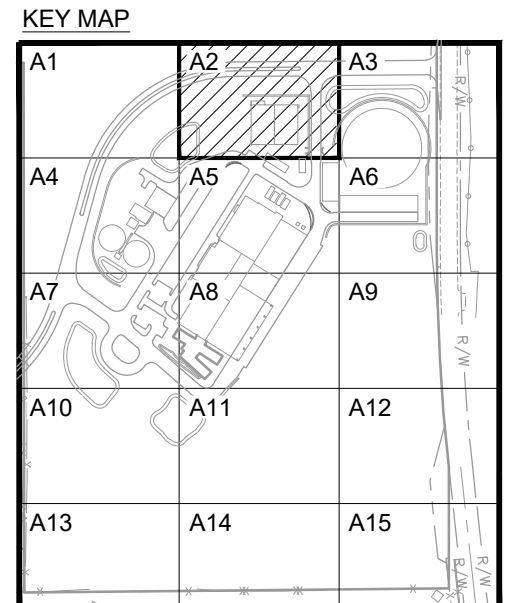
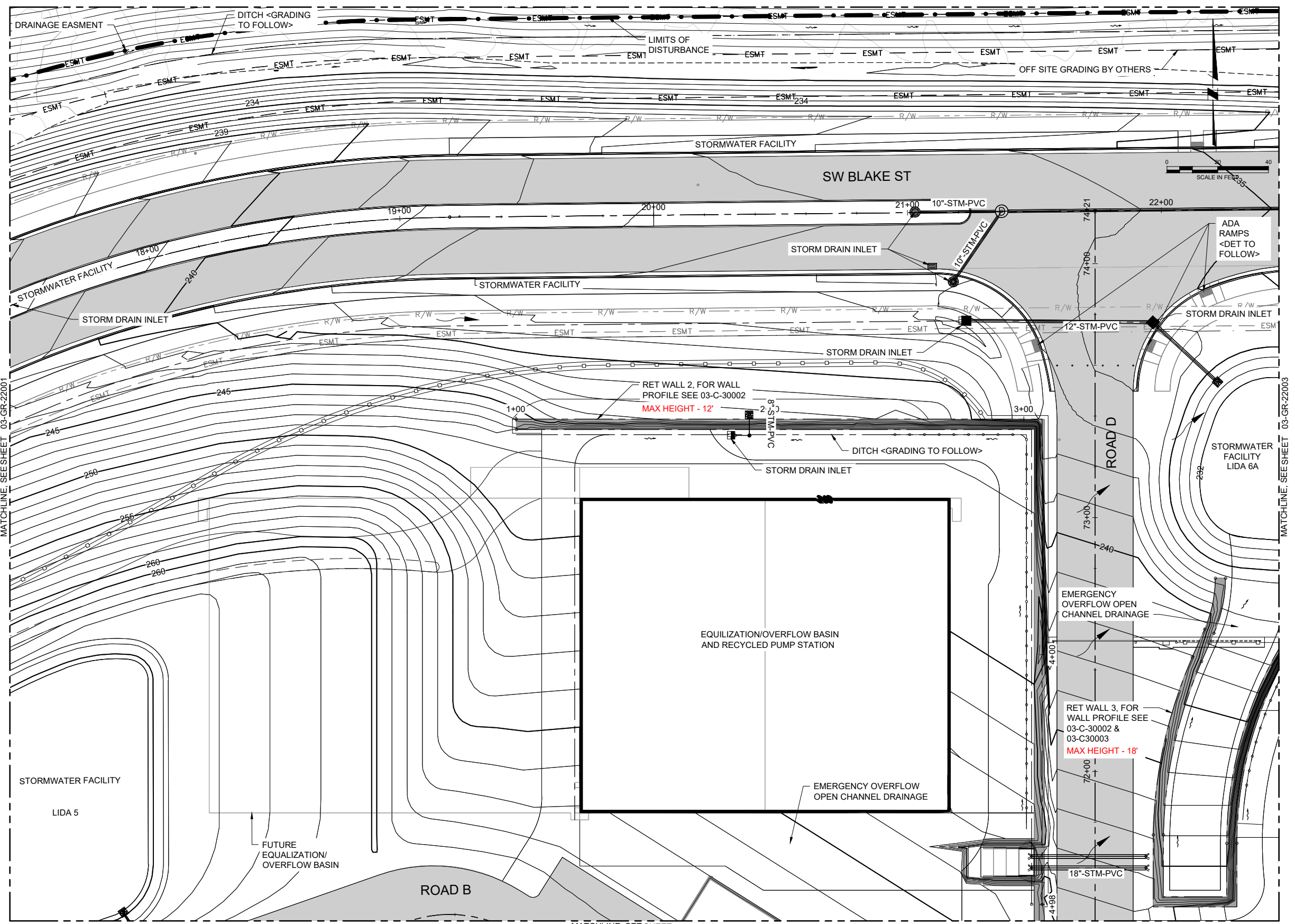
# FOR LAND USE PERMITTING (EXHIBIT A)

BY: BEN FOSTER

PLOT DATE: Tuesday, December 17, 2019 11:17:53 AM

DWG FILE: C:\cdm\ben.foster@murraysmith.us\d274278\WTP1-03-GR-22001.dwg

- LEGEND**
- CUT-FILL SLOPE
  - FLOW ARROW
  - WATER LEVEL
  - FIRE HYD EXISTING AND PROPOSED
  - WATER METER
  - WATER VALVE EXISTING AND PROPOSED
  - SEWER MANHOLE
  - STORM DRAIN MANHOLE
  - UTILITY POLE
  - SLOPE
  - STORM DRAIN INLET, TYPE CURB
  - STORM DRAIN INLET, TYPE BEEHIVE
  - SEWER CLEANOUT
  - TELEPHONE PEDESTAL
  - MAILBOX
  - R/W RIGHT OF WAY
  - PROPERTY LINE
  - SECTION LINE
  - TEMPORARY CONSTRUCTION EASEMENT
  - PERMANENT EASEMENT
  - FENCE LINE
  - FLOOD PLAIN LINE
  - NEW PIPELINE W/ STATIONING
  - DITCH



**SHEET B-129: GRADING PLAN AREA A2**

MATCHLINE, SEE SHEET 03-GR-22005

90% DESIGN - NOT FOR CONSTRUCTION

DSGN	K USAGAWA				
DR	M ESTEP				
CHK	B FOSTER				
APVD	M HICKEY	NO.	DATE	REVISION	BY

VERIFY SCALE  
 BAR IS ONE INCH ON  
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 SCALES ACCORDINGLY.



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 WATER TREATMENT PLANT\_1.0

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 Tel: (503) 232-1800

SITE GRADING  
 GRADING, PAVING AND DRAINAGE PLAN AREA A2

SHEET	DWG	03-GR-22002
DATE	AUG 2020	
PROJ	WTP_1.0	

PLOT DATE AND TIME: 8/14/2020 4:27:38 PM

# FOR LAND USE PERMITTING (EXHIBIT A)

BY: BEN FOSTER

PLOT DATE: Tuesday, December 17, 2019 11:18:20 AM

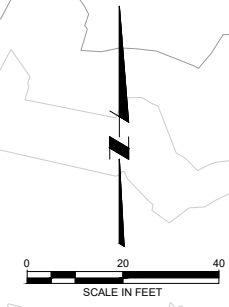
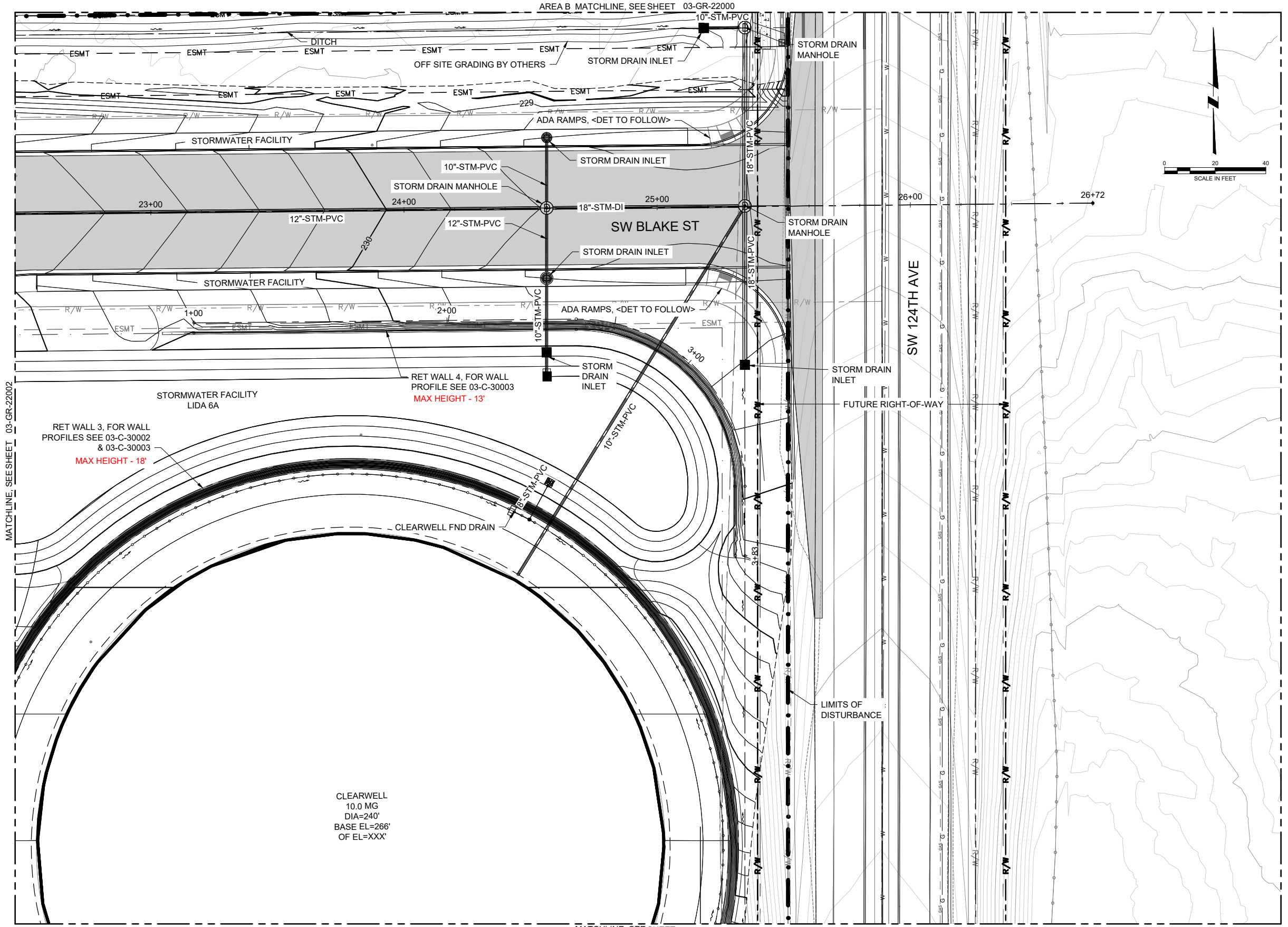
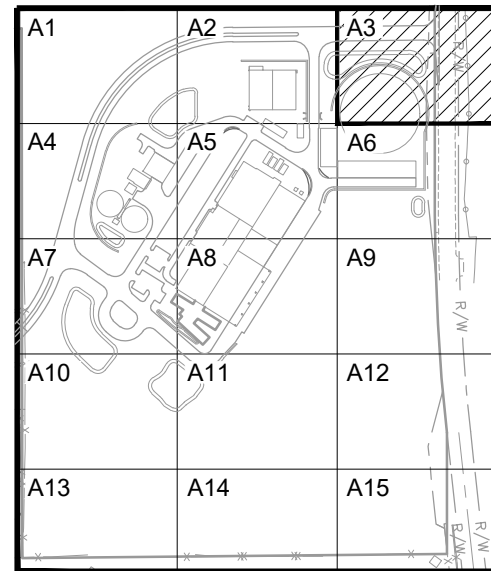
DWG FILE: C:\cdm\ben.foster@murraysmith.us\0274278\WTP1-03-GR-22001.dwg

**LEGEND**

- CUT-FILL SLOPE
- FLOW ARROW
- WATER LEVEL
- FIRE HYD
- EXISTING AND PROPOSED
- WATER METER
- WATER VALVE
- EXISTING AND PROPOSED
- SEWER MANHOLE
- STORM DRAIN MANHOLE
- UTILITY POLE
- SLOPE
- STORM DRAIN INLET, TYPE CURB
- STORM DRAIN INLET, TYPE BEEHIVE
- SEWER CLEANOUT
- TELEPHONE PEDESTAL
- MAILBOX
- RIGHT OF WAY
- PROPERTY LINE
- SECTION LINE
- TEMPORARY CONSTRUCTION EASEMENT
- PERMANENT EASEMENT
- FENCE LINE
- FLOOD PLAIN LINE
- NEW PIPELINE W/ STATIONING
- DITCH

HALF-STREET FRONTAGE AND RIGHT-OF-WAY (ROW) IMPROVEMENTS FOR SW 124TH AVE ARE STILL BEING COORDINATED AMONGST STAKEHOLDERS INCLUDING THE CITY AND COUNTY. THEREFORE, IMPROVEMENTS ARE NOT YET SHOWN BUT WILL BE SHOWN ON FUTURE VERSIONS OF THIS DRAWING

**KEY MAP**



**SHEET B-130: GRADING PLAN AREA A3**

MATCHLINE, SEE SHEET 03-GR-22006

90% DESIGN - NOT FOR CONSTRUCTION

DSGN	K USAGAWA				
DR	M ESTEP				
CHK	B FOSTER				
APVD	M HICKEY	NO.	DATE	REVISION	BY

VERIFY SCALE  
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WATER TREATMENT PLANT\_1.0

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Portland, OR 97205  
Tel: (503) 232-1800

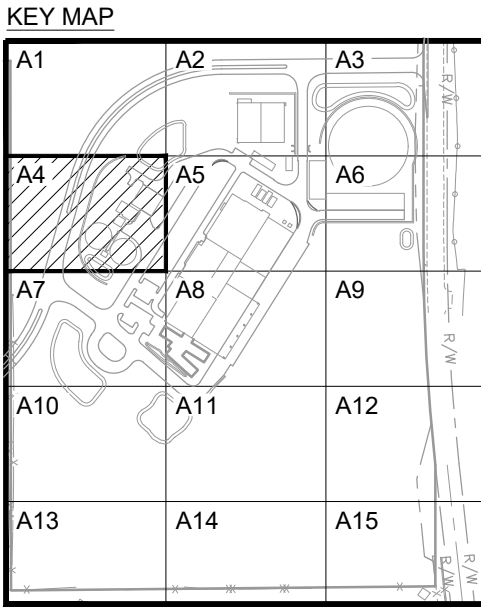
SITE GRADING  
GRADING, PAVING AND DRAINAGE PLAN AREA A3

SHEET	DWG	03-GR-22003
DATE	AUG 2020	
PROJ	WTP_1.0	

PLOT DATE AND TIME: 8/14/2020 4:27:38 PM

# FOR LAND USE PERMITTING (EXHIBIT A)

- LEGEND**
- CUT-FILL SLOPE
  - FLOW ARROW
  - WATER LEVEL
  - FIRE HYD
  - EXISTING AND PROPOSED
  - WATER METER
  - WATER VALVE
  - EXISTING AND PROPOSED
  - SEWER MANHOLE
  - STORM DRAIN MANHOLE
  - UTILITY POLE
  - SLOPE
  - STORM DRAIN INLET, TYPE CURB
  - STORM DRAIN INLET, TYPE BEEHIVE
  - SEWER CLEANOUT
  - TELEPHONE PEDESTAL
  - MAILBOX
  - R/W RIGHT OF WAY
  - PROPERTY LINE
  - SECTION LINE
  - TEMPORARY CONSTRUCTION EASEMENT
  - ESMT PERMANENT EASEMENT
  - FENCE LINE
  - FLOOD PLAIN LINE
  - NEW PIPELINE W/ STATIONING
  - DITCH



**SHEET B-131: GRADING PLAN AREA A4**

DSGN	K USAGAWA					
DR	M ESTEP					
CHK	B FOSTER					
APVD	M HICKEY	NO.	DATE	REVISION	BY	APVD

VERIFY SCALE  
 BAR IS ONE INCH ON ORIGINAL DRAWING.  
 IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.



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**CDM Smith**  
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 Portland, OR 97205  
 Tel: (503) 232-1800

SITE GRADING  
 GRADING, PAVING AND DRAINAGE PLAN AREA A4

SHEET	DWG	03-GR-22004
DATE	AUG 2020	
PROJ	WTP_1.0	

DWG FILE: C:\cdm\ben.foster@murraysmith.us\0274278\WTP1-03-GR-22001.dwg  
 PLOT DATE: Tuesday, December 17, 2019 11:18:42 AM  
 BY: BEN FOSTER

MATCHLINE, SEE SHEET 03-GR-22001

MATCHLINE, SEE SHEET 03-GR-22005

MATCHLINE, SEE SHEET 03-GR-22007



# FOR LAND USE PERMITTING (EXHIBIT A)

BY: BEN FOSTER

PLOT DATE: Tuesday, December 17, 2019 11:19:06 AM

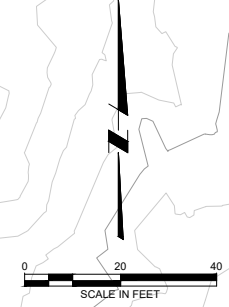
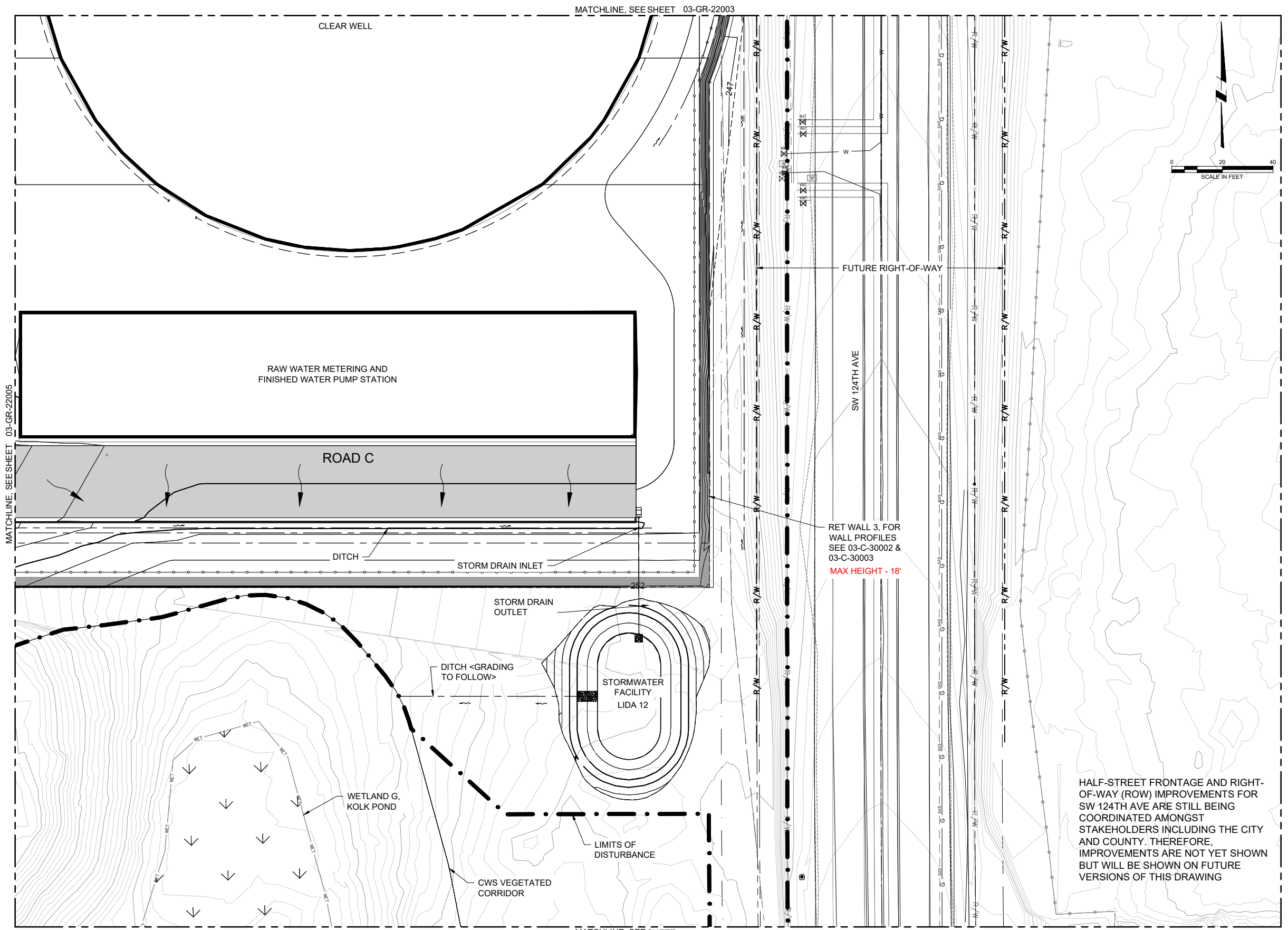
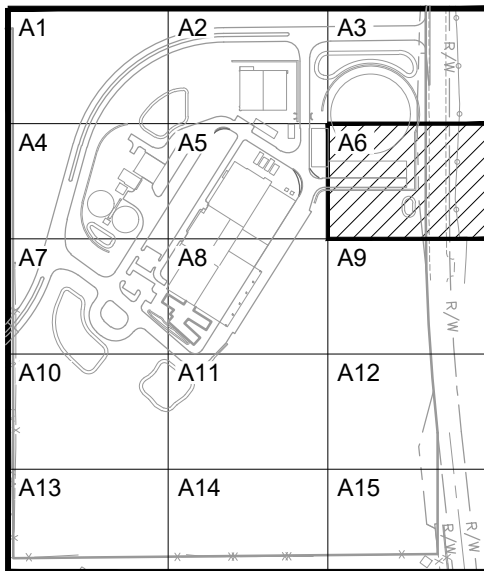
DWG FILE: C:\cdm\ben.foster@murraysmith.us\0274278\WTP1-03-GR-22001.dwg

- LEGEND**
- CUT-FILL SLOPE
  - FLOW ARROW
  - WATER LEVEL
  - FIRE HYD EXISTING AND PROPOSED
  - WATER METER
  - WATER VALVE EXISTING AND PROPOSED
  - SEWER MANHOLE
  - STORM DRAIN MANHOLE
  - UTILITY POLE
  - SLOPE
  - STORM DRAIN INLET, TYPE CURB
  - STORM DRAIN INLET, TYPE BEEHIVE
  - SEWER CLEANOUT
  - TELEPHONE PEDESTAL
  - MAILBOX
- R/W --- RIGHT OF WAY  
 --- PROPERTY LINE  
 --- SECTION LINE  
 --- TEMPORARY CONSTRUCTION EASEMENT  
 --- ESMT --- PERMANENT EASEMENT  
 --- FENCE LINE  
 --- FLOOD PLAIN LINE  
 1200+00 OR 1200+00 NEW PIPELINE W/ STATIONING  
 --- DITCH

NOTES:  
<NOTES TO FOLLOW>

KEY NOTES  
<KEY NOTES TO FOLLOW>

**KEY MAP**



RET WALL 3, FOR WALL PROFILES SEE 03-C-30002 & 03-C-30003  
MAX HEIGHT - 18'

HALF-STREET FRONTAGE AND RIGHT-OF-WAY (ROW) IMPROVEMENTS FOR SW 124TH AVE ARE STILL BEING COORDINATED AMONGST STAKEHOLDERS INCLUDING THE CITY AND COUNTY. THEREFORE, IMPROVEMENTS ARE NOT YET SHOWN BUT WILL BE SHOWN ON FUTURE VERSIONS OF THIS DRAWING

**SHEET B-133: GRADING PLAN AREA A6**

DSGN	K USAGAWA	NO.	DATE	REVISION	BY	APVD
DR	M ESTEP					
CHK	B FOSTER					
APVD	M HICKEY					

VERIFY SCALE  
BAR IS ONE INCH ON ORIGINAL DRAWING.  
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.



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WATER TREATMENT PLANT\_1.0

**CDM Smith**  
1220 SW Morrison Street, Suite 200  
Portland, OR 97205  
Tel: (503) 232-1800

SITE GRADING  
GRADING, PAVING AND DRAINAGE PLAN AREA A6

SHEET	DWG	03-GR-22006
DATE	AUG 2020	
PROJ	WTP_1.0	

90% DESIGN - NOT FOR CONSTRUCTION

PLOT DATE AND TIME: 8/14/2020 5:23:03 PM

# FOR LAND USE PERMITTING (EXHIBIT A)

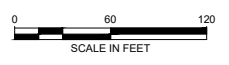
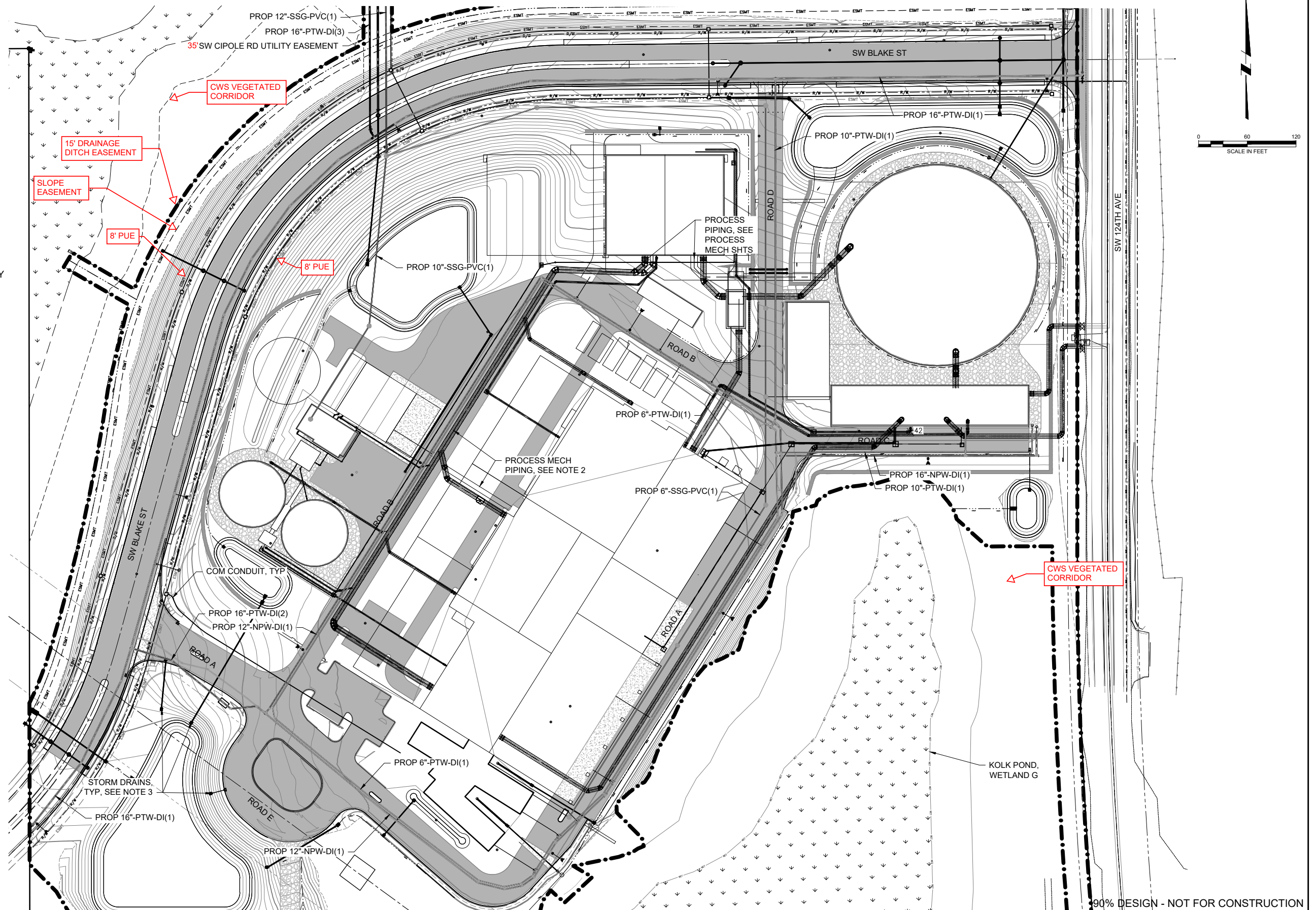
**NOTES:**

- FOR SHEET VIEW FRAMES ONLY, SEE GENERAL SHEET 01-G-02003.
- FOR PROCESS PIPING, SEE PROCESS MECHANICAL SHEETS.
- FOR STORM DRAIN PIPING, SEE GRADING, PAVING AND DRAINAGE PLANS, 03-GR-20001.

**ABBREVIATIONS:**

SOG = SANITARY SEWER (GRAVITY)  
 PVC = POLYVINYL CHLORIDE  
 PTW = POTABLE WATER  
 DI = DUCTILE IRON  
 RD = ROAD  
 PUE = PUBLIC UTILITY EASEMENT  
 CWS = CLEAN WATER SERVICES  
 NPW = NON-POTABLE WATER

HALF-STREET FRONTAGE AND RIGHT-OF-WAY (ROW) IMPROVEMENTS FOR SW 124TH AVE ARE STILL BEING COORDINATED AMONGST STAKEHOLDERS INCLUDING THE CITY AND COUNTY. THEREFORE, IMPROVEMENTS ARE NOT YET SHOWN BUT WILL BE SHOWN ON FUTURE VERSIONS OF THIS DRAWING



BY: KELSEY VANDEBERGH  
 PLOT DATE: Tuesday, February 26, 2019 2:43:59 PM  
 DWG FILE: C:\cdm\kelsey.vandenberg@murraysmith.us\40274278\WTP1-03-PP-70101.dwg

**SHEET B-144:  
 SITE UTILITIES  
 PLAN LAYOUT  
 AREA A**

DSGN	B FOSTER					
DR	M ESTEP					
CHK	C JAIN					
APVD	M HICKEY	NO.	DATE	REVISION	BY	APVD

VERIFY SCALE  
 BAR IS ONE INCH ON  
 ORIGINAL DRAWING.  
 IF NOT ONE INCH ON  
 THIS SHEET, ADJUST  
 SCALES ACCORDINGLY.



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 Tel: (503) 232-1800

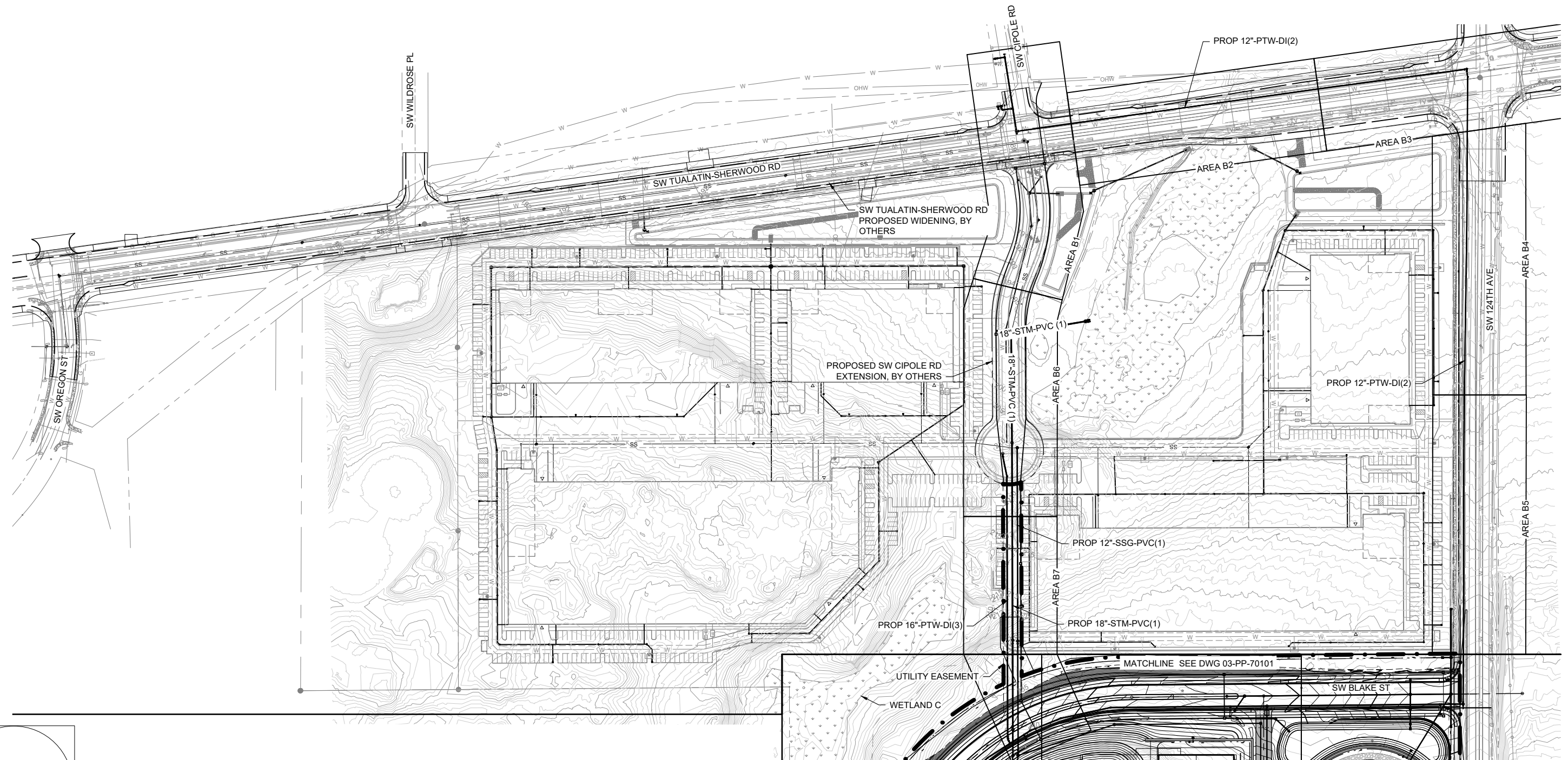
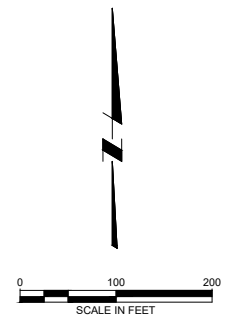
SITE  
 PIPELINE PLAN AND PROFILE  
 SITE UTILITIES LAYOUT PLAN AREA A

SHEET	
DWG	03-PP-70101
DATE	AUG 2020
PROJ	WTP_1.0

# FOR LAND USE PERMITTING (EXHIBIT A)

**NOTES:**

- FOR SHEET VIEW FRAMES ONLY, SEE GENERAL SHEET 01-G-02003.



DWG FILE: C:\cdm\ben.foster@murraysmith.us\0274278\WTP1-04-PP-70001.dwg  
 PLOT DATE: Wednesday, May 25, 2016 1:37:44 PM  
 BY: BEN FOSTER

**SHEET B-154: OFF-SITE UTILITIES PLAN LAYOUT AREA B**

DSGN	E RODRIGUEZ				
DR	M ESTEP				
CHK	B FOSTER				
APVD	M HICKEY	NO.	DATE	REVISION	BY

VERIFY SCALE  
 BAR IS ONE INCH ON  
 ORIGINAL DRAWING.  
 IF NOT ONE INCH ON  
 THIS SHEET, ADJUST  
 SCALES ACCORDINGLY.



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 Tel: (503) 232-1800

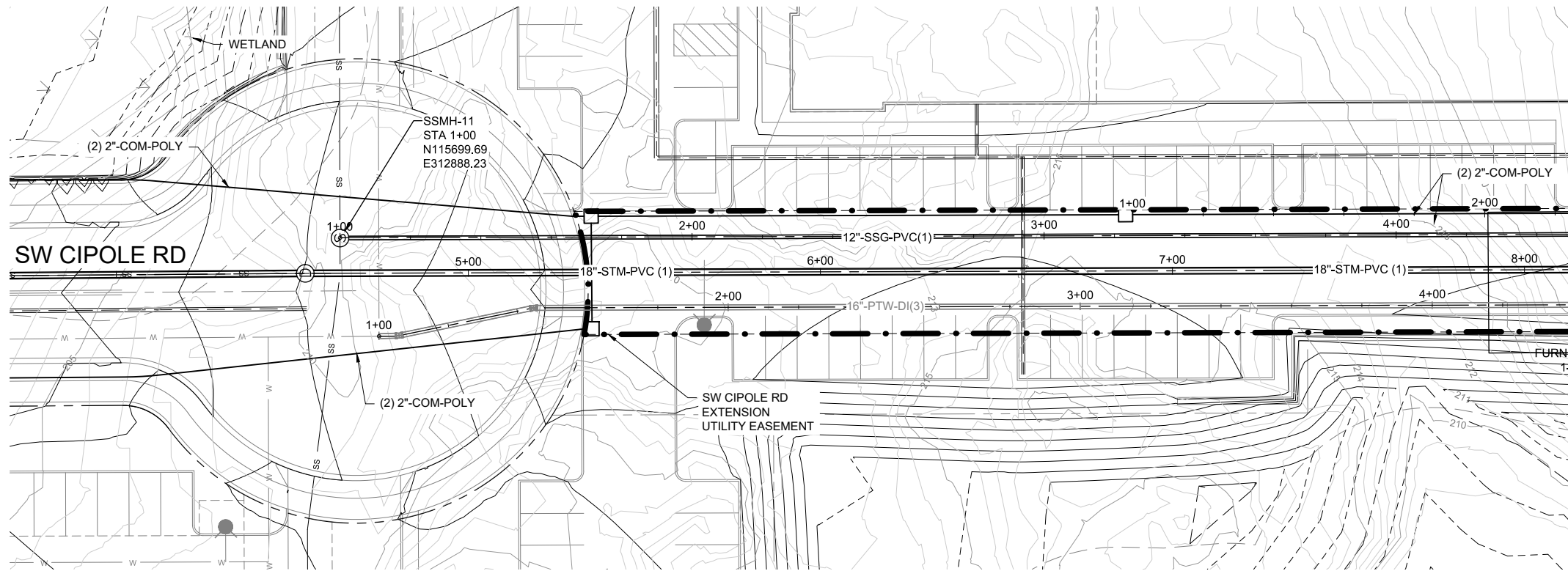
OFF-SITE  
 PIPELINE PLAN AND PROFILE  
 UTILITY LAYOUT PLAN AREA B

SHEET	
DWG	04-PP-70001
DATE	AUG 2020
PROJ	WTP_1.0

90% DESIGN - NOT FOR CONSTRUCTION

PLOT DATE AND TIME: 8/25/2020 9:41:36 AM

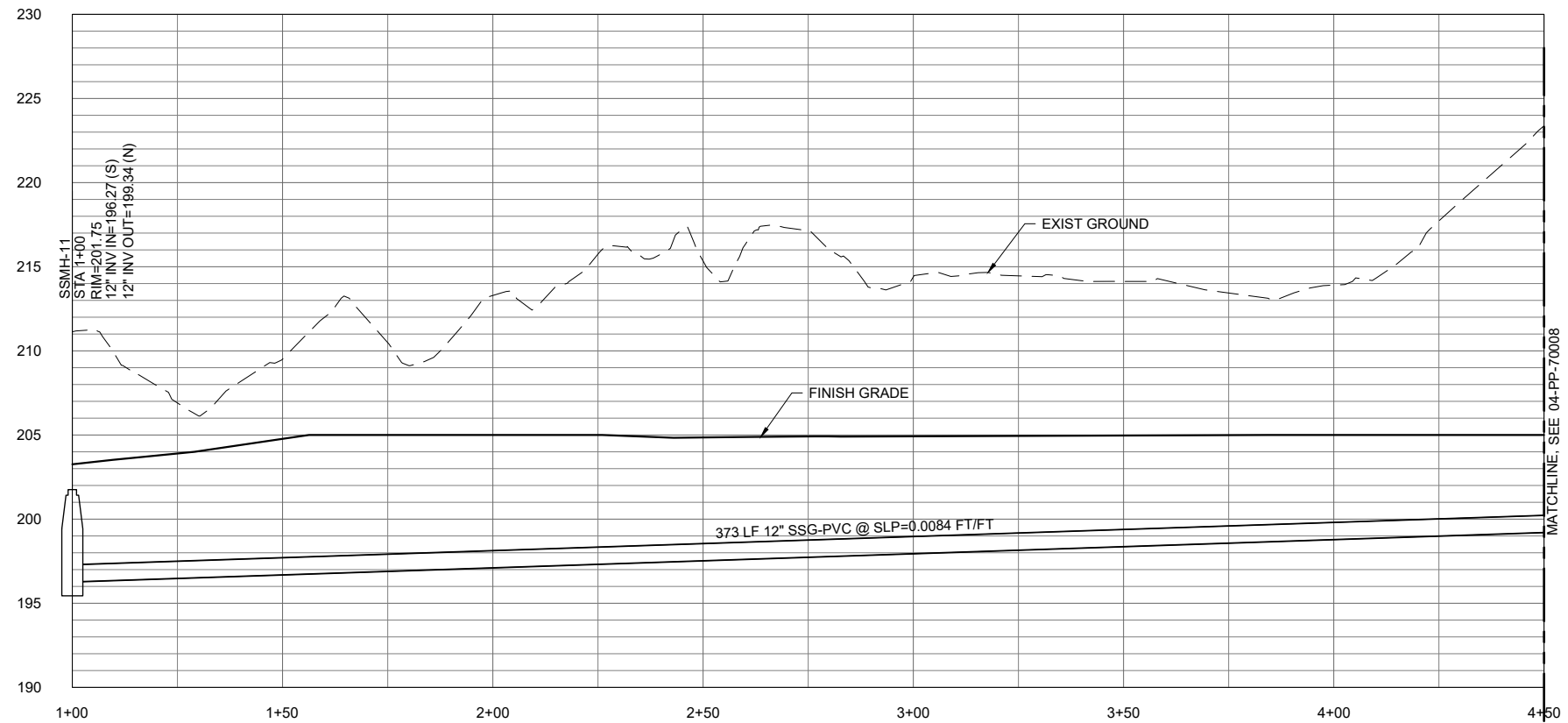
# FOR LAND USE PERMITTING (EXHIBIT A)



1 PLAN 12" - SSG - PVC(1)

**NOTES:**

1. CONTRACTOR TO POTHOLE AND VERIFY EXACT DEPTHS AND LOCATIONS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION ACTIVITIES.
2. CONSTRUCT PER SINGLE PIPE TRENCH DETAIL, DETAIL X, SHEET X.
3. ROTATE MANHOLE CONE AND COVERS TO AVOID WHEEL PATH.



2 PROFILE 12" - SSG - PVC(1)

**SHEET B-155: OFF-SITE UTILITIES PLAN AREA B6**

90% DESIGN - NOT FOR CONSTRUCTION

DSGN	E RODRIGUEZ						
DR	M ESTEP						
CHK	B FOSTER						
APVD	M HICKEY	NO.	DATE	REVISION	BY	APVD	

VERIFY SCALE  
 BAR IS ONE INCH ON  
 ORIGINAL DRAWING.  
 IF NOT ONE INCH ON  
 THIS SHEET, ADJUST  
 SCALES ACCORDINGLY.



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 Tel: (503) 232-1800

OFF-SITE  
 PIPELINE PLAN AND PROFILE  
 SANITARY SEWER - AREA B6

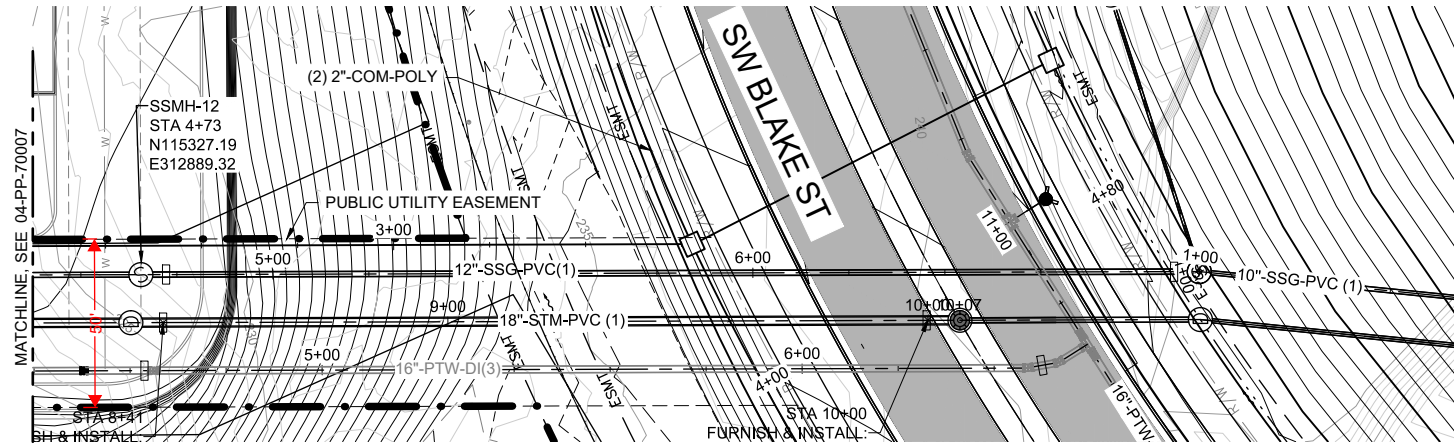
SHEET	04-PP-70007
DATE	AUG 2020
PROJ	WTP_1.0

BY: BEN FOSTER

PLOT DATE: Monday, December 30, 2019 10:32:55 AM

DWG FILE: C:\cdm\ben.foster@murraysmith.us\0274278\WTP1-04-PP-70001.dwg

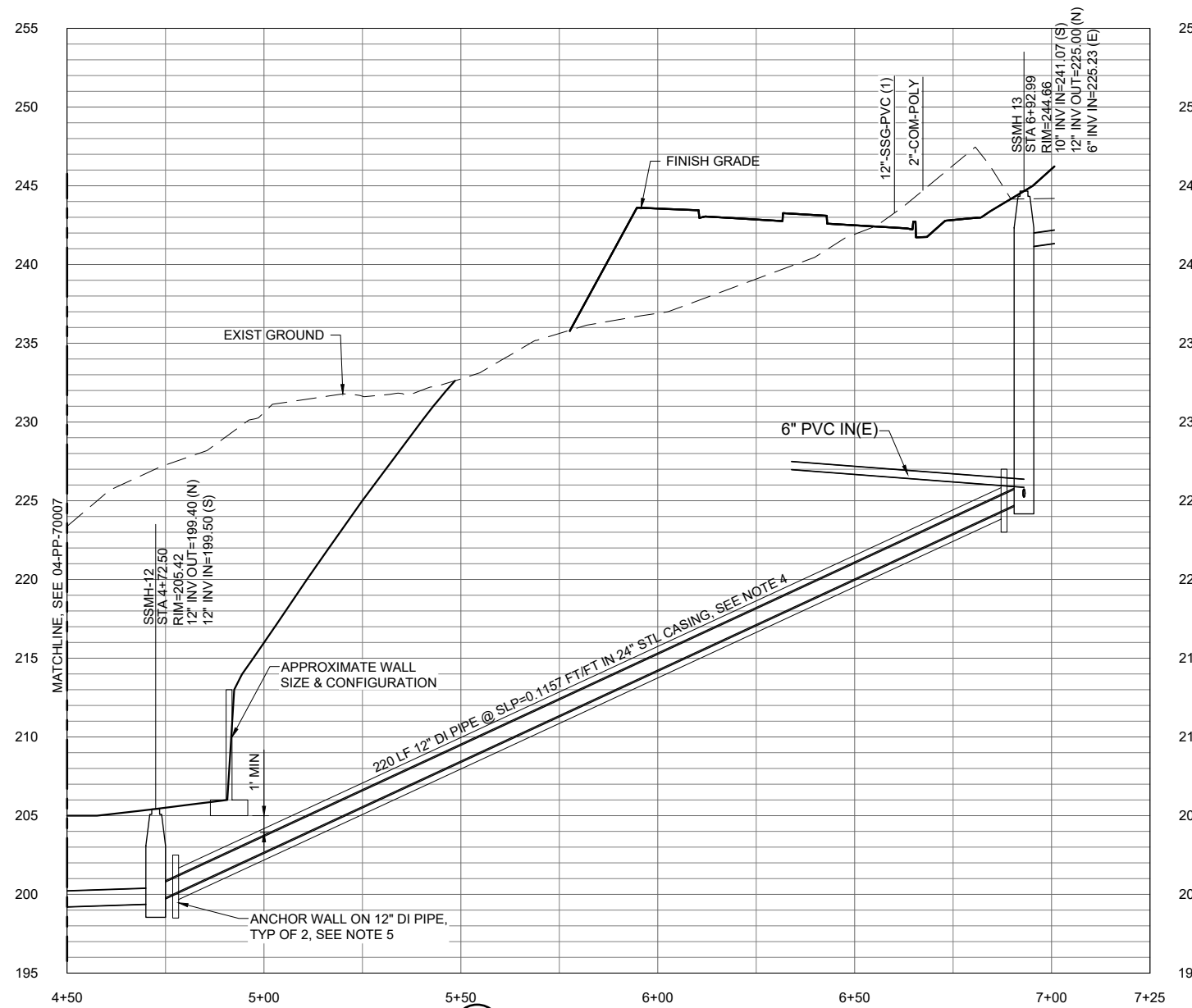
# FOR LAND USE PERMITTING (EXHIBIT A)



1 PLAN 12"-SSG-PVC(1)

**NOTES:**

1. CONTRACTOR TO POTHOLE AND VERIFY EXACT DEPTHS AND LOCATIONS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION ACTIVITIES.
2. CONSTRUCT PER SINGLE PIPE TRENCH DETAIL, DETAIL X, SHEET X.
3. ROTATE MANHOLE CONE AND COVERS TO AVOID WHEEL PATH.
4. SANITARY SEWER PIPING AND PIPING STATION 4+72.50 TO STATION 6+92.99 SHALL BE RESTRAINED JOINT DUCTILE IRON PIPE WITH PROTECTED 401 LINING OR APPROVED EQUAL.
5. END CASING 2 FEET OUTSIDE OF MANHOLES AND INSTALL ANCHOR WALL ON CARRIER PIPE.



2 PROFILE 12"-SSG-PVC(1)

**SHEET B-156: OFF-SITE UTILITIES PLAN AREA B7**

90% DESIGN - NOT FOR CONSTRUCTION

DSGN	E RODRIGUEZ				
DR	M ESTEP				
CHK	B FOSTER				
APVD	M HICKEY	NO.	DATE	REVISION	BY

VERIFY SCALE  
 BAR IS ONE INCH ON  
 ORIGINAL DRAWING.  
 IF NOT ONE INCH ON  
 THIS SHEET, ADJUST  
 SCALES ACCORDINGLY.



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 Portland, OR 97205  
 Tel: (503) 232-1800

OFF-SITE  
 PIPELINE PLAN AND PROFILE  
 SANITARY SEWER - AREA B7

SHEET	
DWG	04-PP-70008
DATE	AUG 2020
PROJ	WTP_1.0

PLOT DATE AND TIME: 8/25/2020 9:41:36 AM

BY: BEN FOSTER

PLOT DATE: Sunday, December 29, 2019 12:56:26 PM

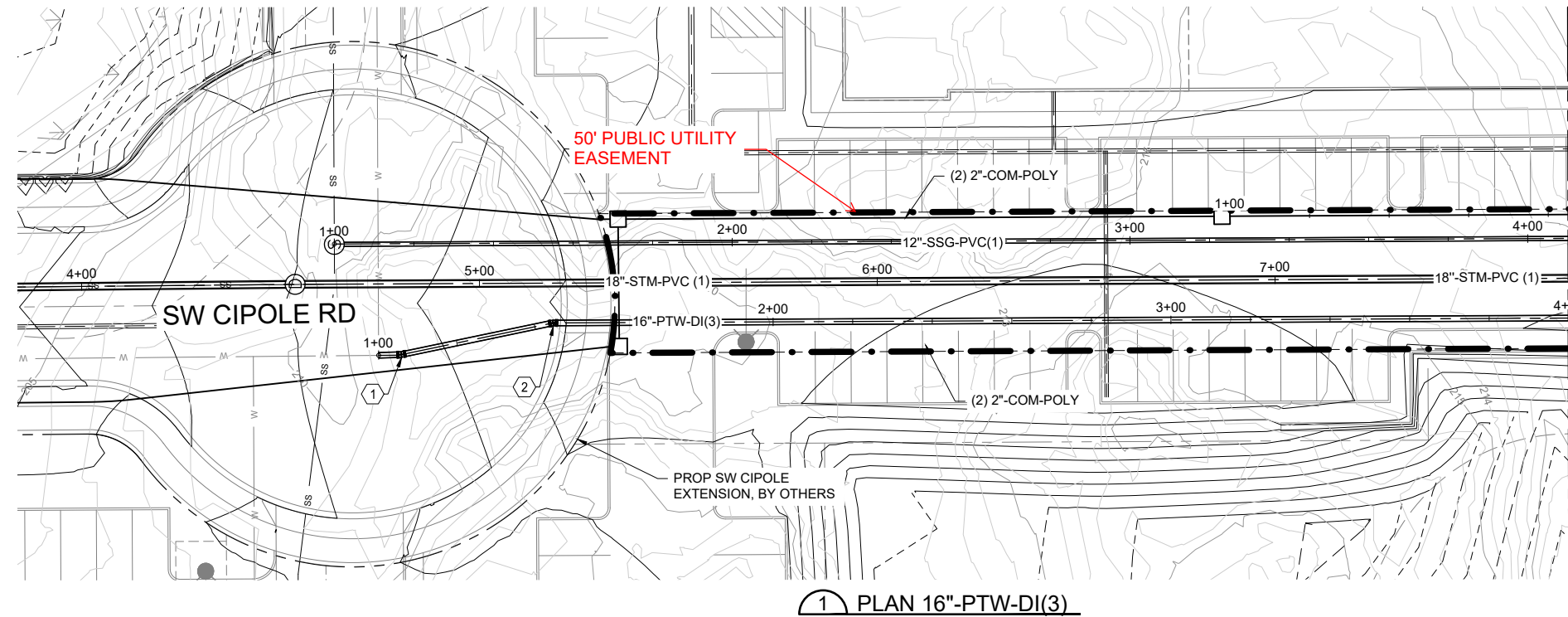
DWG FILE: C:\cdm\ben.foster@murraysmith.us\0274278\WTP1-04-PP-70001.dwg

# FOR LAND USE PERMITTING (EXHIBIT A)

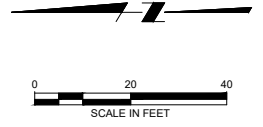
BY: BEN FOSTER

PLOT DATE: Wednesday, May 25, 2016 1:37:44 PM

DWG FILE: C:\cdm\ben.foster@murraysmith.us\0274278\WTP1-04-PP-70001.dwg



1 PLAN 16"-PTW-DI(3)

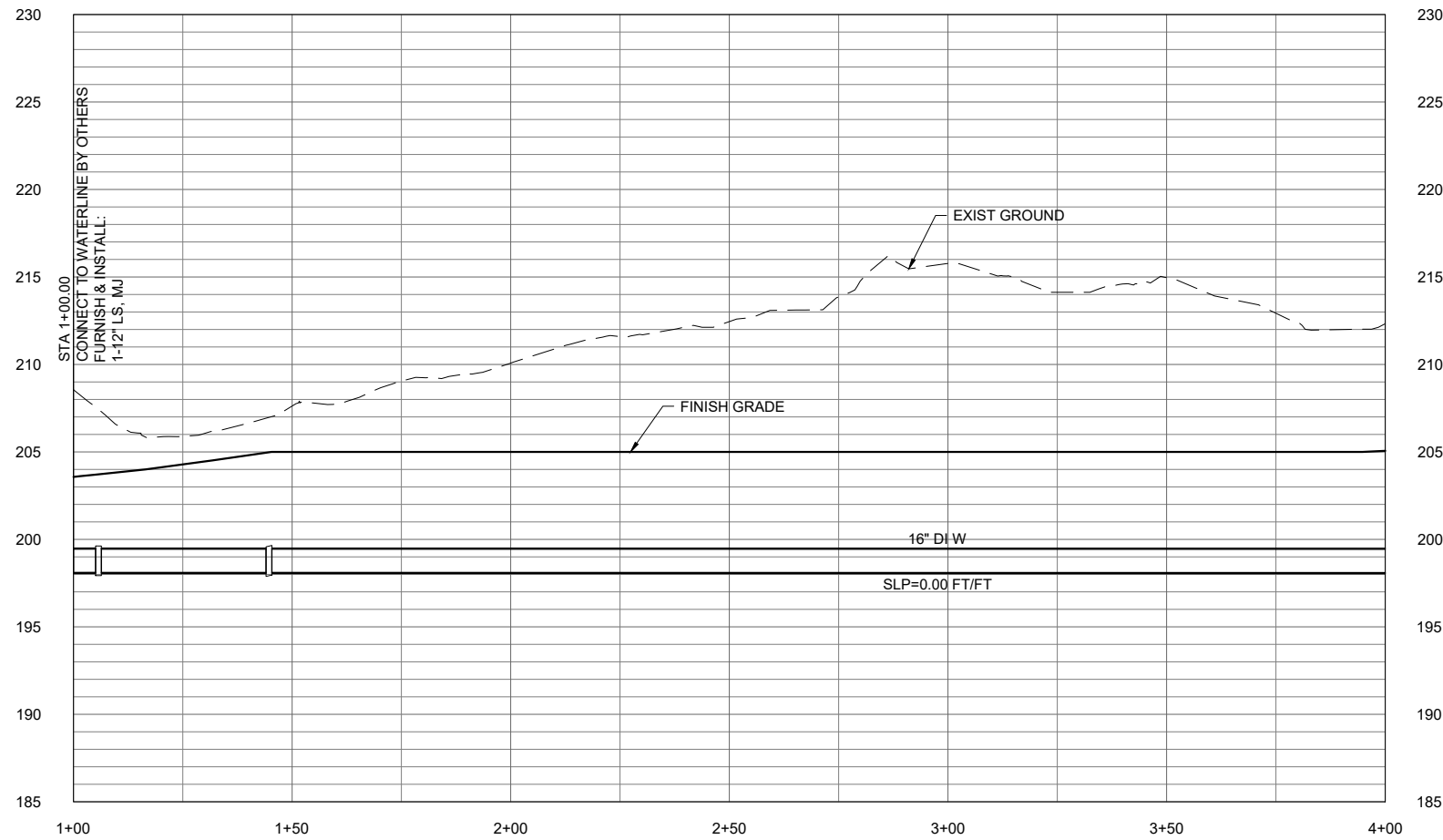


**NOTES:**

1. CONTRACTOR TO POTHOLE AND VERIFY EXACT DEPTHS AND LOCATIONS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION ACTIVITIES.
2. CONSTRUCT PER SINGLE PIPE TRENCH DETAIL, DETAIL X, SHEET X.

**KEY NOTES:**

- 1 STA 1+05  
NXXXX, EXXXX  
FURNISH AND INSTALL:  
1-16" DI 11.25° HORIZ BEND, MJ
- 2 STA 1+45  
NXXXX, EXXXX  
FURNISH AND INSTALL:  
1-16" DI 11.25° HORIZ BEND, MJ



2 PROFILE 16"-PTW-DI(3)

**SHEET B-158: OFF-SITE WATER PLAN AREA B6**

90% DESIGN - NOT FOR CONSTRUCTION

DSGN	E RODRIGUEZ				
DR	M ESTEP				
CHK	B FOSTER				
APVD	M HICKEY	NO.	DATE	REVISION	BY

VERIFY SCALE  
BAR IS ONE INCH ON  
ORIGINAL DRAWING.  
IF NOT ONE INCH ON  
THIS SHEET, ADJUST  
SCALES ACCORDINGLY.



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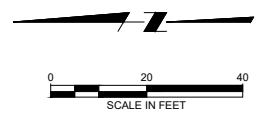
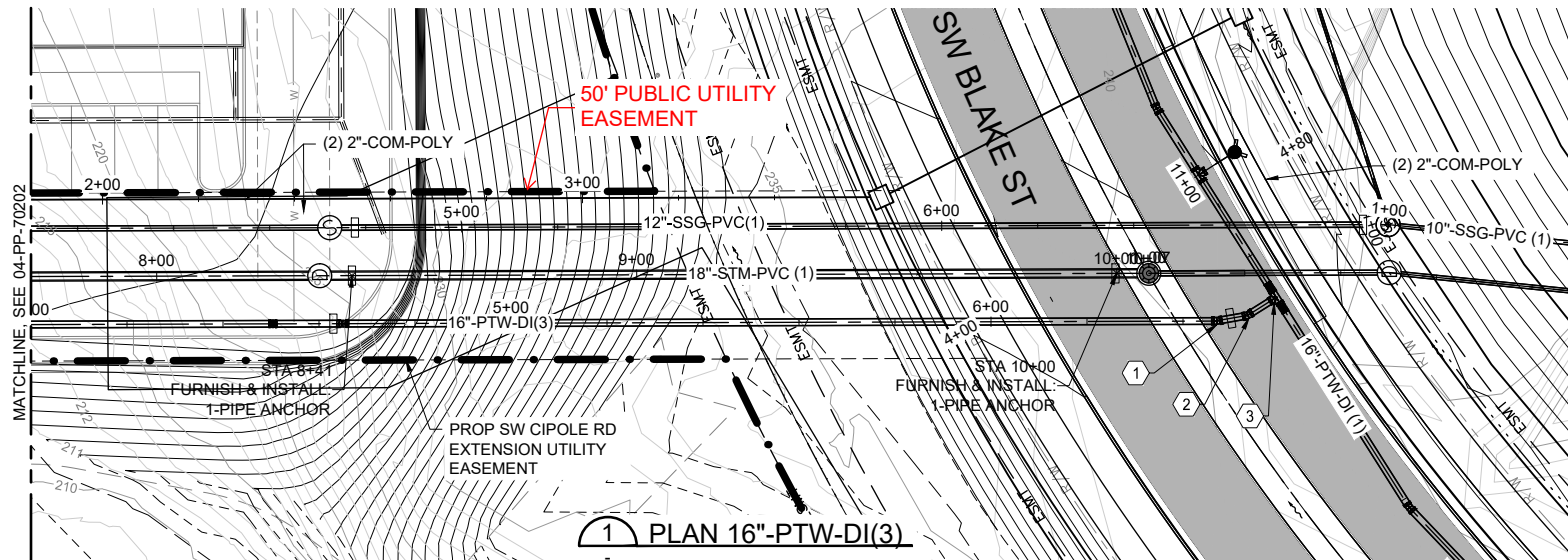
**CDM Smith**  
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Portland, OR 97205  
Tel: (503) 232-1800

OFF-SITE  
PIPELINE PLAN AND PROFILE  
WATER - AREA B6

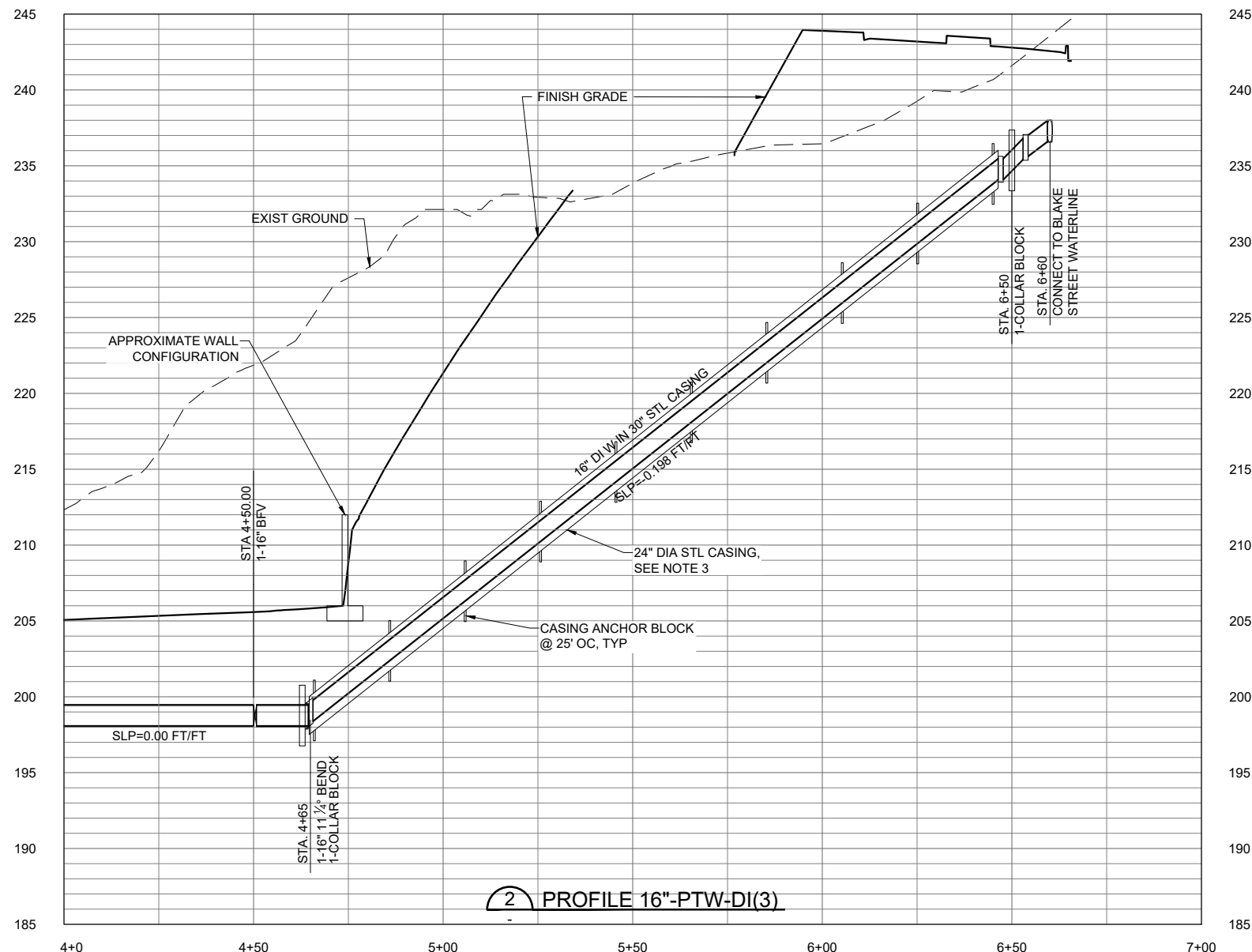
SHEET	DWG 04-PP-70202
DATE	AUG 2020
PROJ	WTP_1.0

PLOT DATE AND TIME: 8/25/2020 9:41:36 AM

# FOR LAND USE PERMITTING (EXHIBIT A)



- NOTES:**
1. CONTRACTOR TO POTHOLE AND VERIFY EXACT DEPTHS AND LOCATIONS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION ACTIVITIES.
  2. CONSTRUCT PER SINGLE PIPE TRENCH DETAIL, DETAIL X, SHEET X.
  3. STEEL CASING SHALL BE 5/8" THICK AND ALL JOINTS SHALL BE WELDED. FURNISH AND INSTALL 3"x1/2" THICK WELDED ANCHOR RINGS AND ANCHOR BLOCKS AT 25' OC.
  4. ALL DUCTILE IRON PIPE SHALL BE RESTRAINED JOINT.



- KEY NOTES:**
- 1 STA 6+47  
NXXXX, EXXXX  
FURNISH AND INSTALL:  
1-16" DI 11.25° HORIZ BEND, MJ
  - 2 STA 6+54  
NXXXX, EXXXX  
FURNISH AND INSTALL:  
1-16" DI 22.5° HORIZ BEND, MJ, ROLLED DN
  - 3 STA 6+59 = STA X+XX [16"-PTW-DI(1)]  
NXXXX, EXXXX  
CONNECT TO PROP 16"-PTW-DI(1)  
FURNISH AND INSTALL:  
1-16" BFV, MJ

**SHEET B-159: OFF-SITE WATER PLAN AREA B7**

DSGN	E RODRIGUEZ				
DR	M ESTEP				
CHK	B FOSTER				
APVD	M HICKEY	NO.	DATE	REVISION	BY

VERIFY SCALE  
BAR IS ONE INCH ON  
ORIGINAL DRAWING.  
IF NOT ONE INCH ON  
THIS SHEET, ADJUST  
SCALES ACCORDINGLY.



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Tel: (503) 232-1800

OFF-SITE  
PIPELINE PLAN AND PROFILE  
WATER - AREA B7

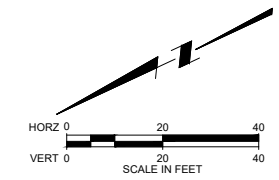
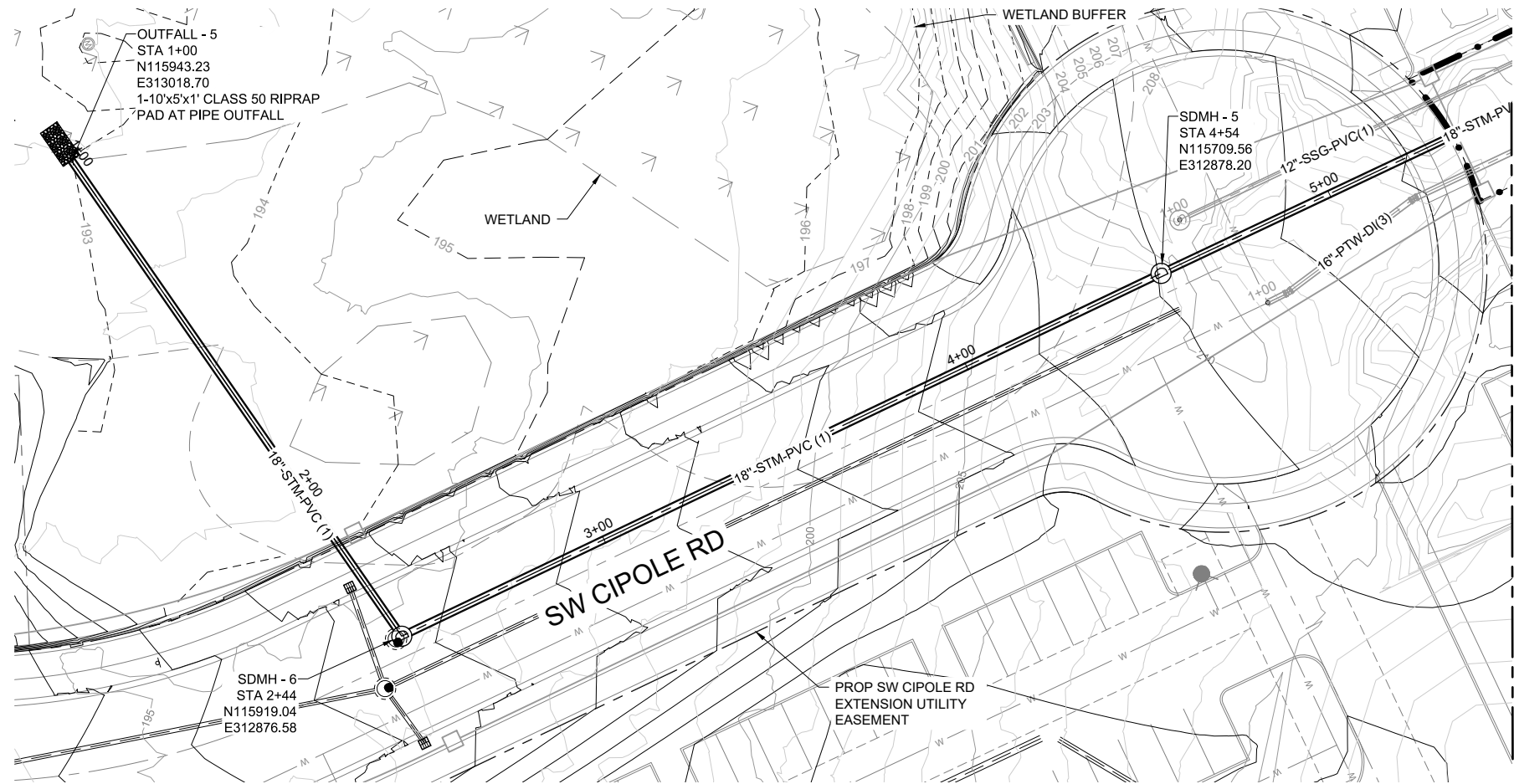
SHEET	04-PP-70203
DATE	AUG 2020
PROJ	WTP_1.0

90% DESIGN - NOT FOR CONSTRUCTION

PLOT DATE AND TIME: 8/25/2020 9:41:36 AM

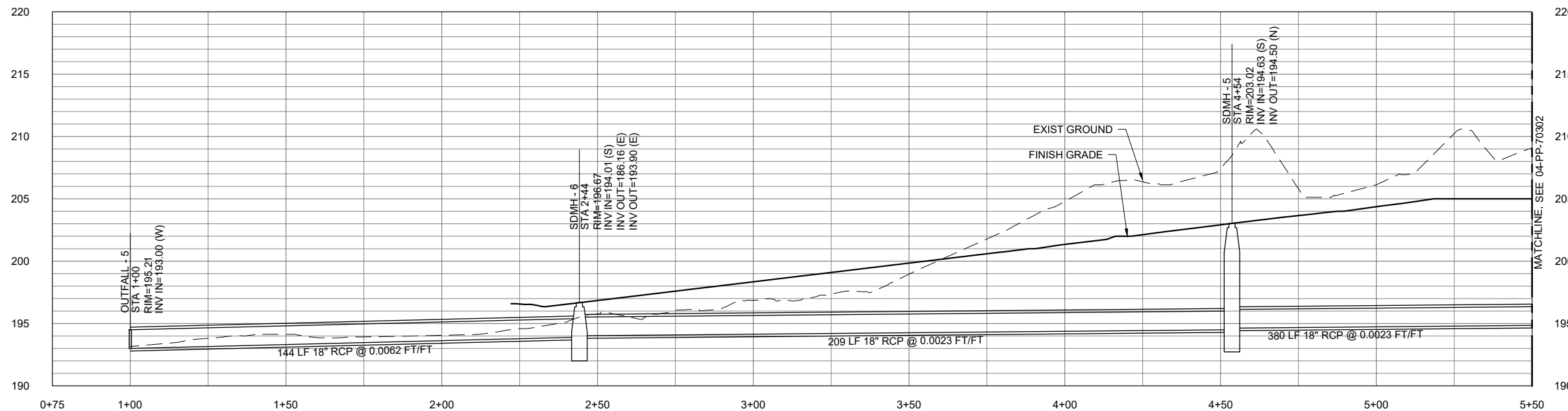
BY: BEN FOSTER  
PLOT DATE: Wednesday, May 25, 2016 1:37:44 PM  
DWG FILE: C:\cdm\ben.foster@murraysmith.us\0274278\WTP1-04-PP-70001.dwg

# FOR LAND USE PERMITTING (EXHIBIT A)



- NOTES:**
1. CONTRACTOR TO POTHOLE AND VERIFY EXACT DEPTHS AND LOCATIONS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION ACTIVITIES.
  2. CONSTRUCT PER SINGLE PIPE TRENCH DETAIL, DETAIL X, SHEET X.

1 PLAN 18"-STM-PVC (1)



1 PROFILE 18"-STM-PVC (1)

**SHEET B-164: OFF-SITE STORMWATER PLAN AREA B6**

90% DESIGN - NOT FOR CONSTRUCTION

DSGN	E RODRIGUEZ				
DR	M ESTEP				
CHK	B FOSTER				
APVD	M HICKEY	NO.	DATE	REVISION	BY

VERIFY SCALE  
BAR IS ONE INCH ON  
ORIGINAL DRAWING.  
IF NOT ONE INCH ON  
THIS SHEET, ADJUST  
SCALES ACCORDINGLY.



OFF-SITE  
PIPELINE PLAN AND PROFILE  
STORMWATER - AREA B6

SHEET	
DWG	04-PP-70301
DATE	AUG 2020
PROJ	WTP_1.0

PLOT DATE AND TIME: 8/25/2020 9:41:36 AM

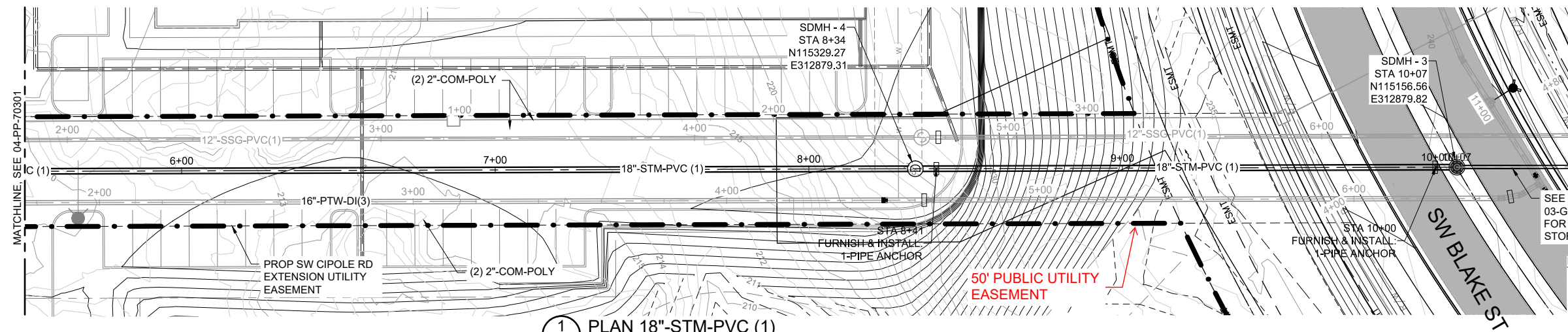
BY: BEN FOSTER

PLOT DATE: Wednesday, May 25, 2016 1:37:44 PM

DWG FILE: C:\cdm\ben.foster@murraysmith.us\0274278\WTP1-04-PP-70001.dwg

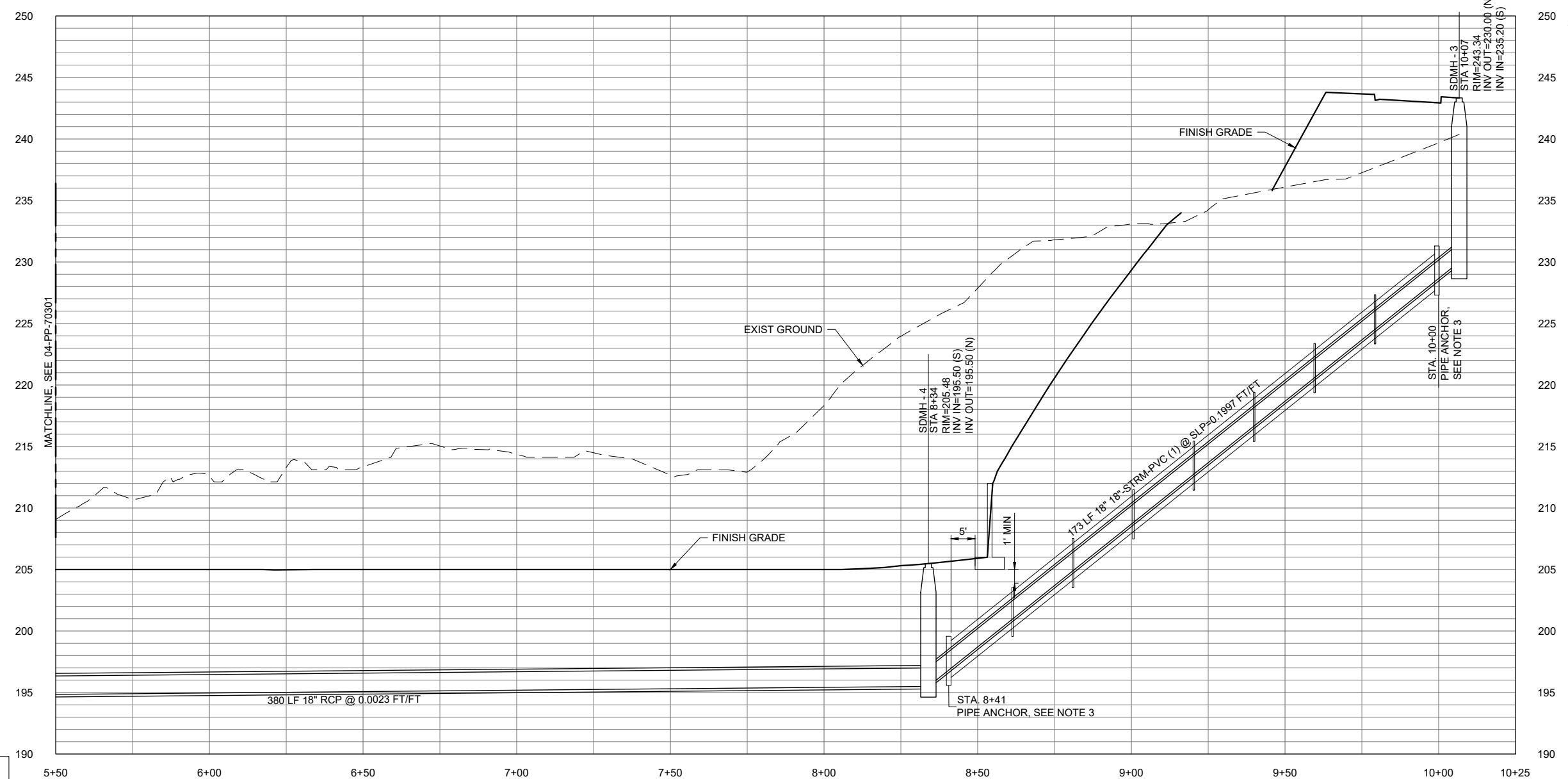


# FOR LAND USE PERMITTING (EXHIBIT A)



1 PLAN 18"-STM-PVC (1)

- SEE SHT 03-GR-22000 FOR ON-SITE STORM PIPING
- NOTES:**
- CONTRACTOR TO POTHOLE AND VERIFY EXACT DEPTHS AND LOCATIONS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION ACTIVITIES.
  - CONSTRUCT PER SINGLE PIPE TRENCH DETAIL, DETAIL X, SHEET X.
  - INSTALL 3" THICK X 4" HIGH WELDED HDPE COLLAR TO BE ENCASED IN PIPE ANCHOR. SEE DETAIL X, SHEET X.



1 PROFILE 18"-STM-PVC (1)

SHEET B-165: STORMWATER PLAN AREA B7

90% DESIGN - NOT FOR CONSTRUCTION

DSGN	E RODRIGUEZ				
DR	M ESTEP				
CHK	B FOSTER				
APVD	M HICKEY	NO.	DATE	REVISION	BY

VERIFY SCALE  
BAR IS ONE INCH ON ORIGINAL DRAWING.  
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.



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**CDM Smith**  
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Portland, OR 97205  
Tel: (503) 232-1800

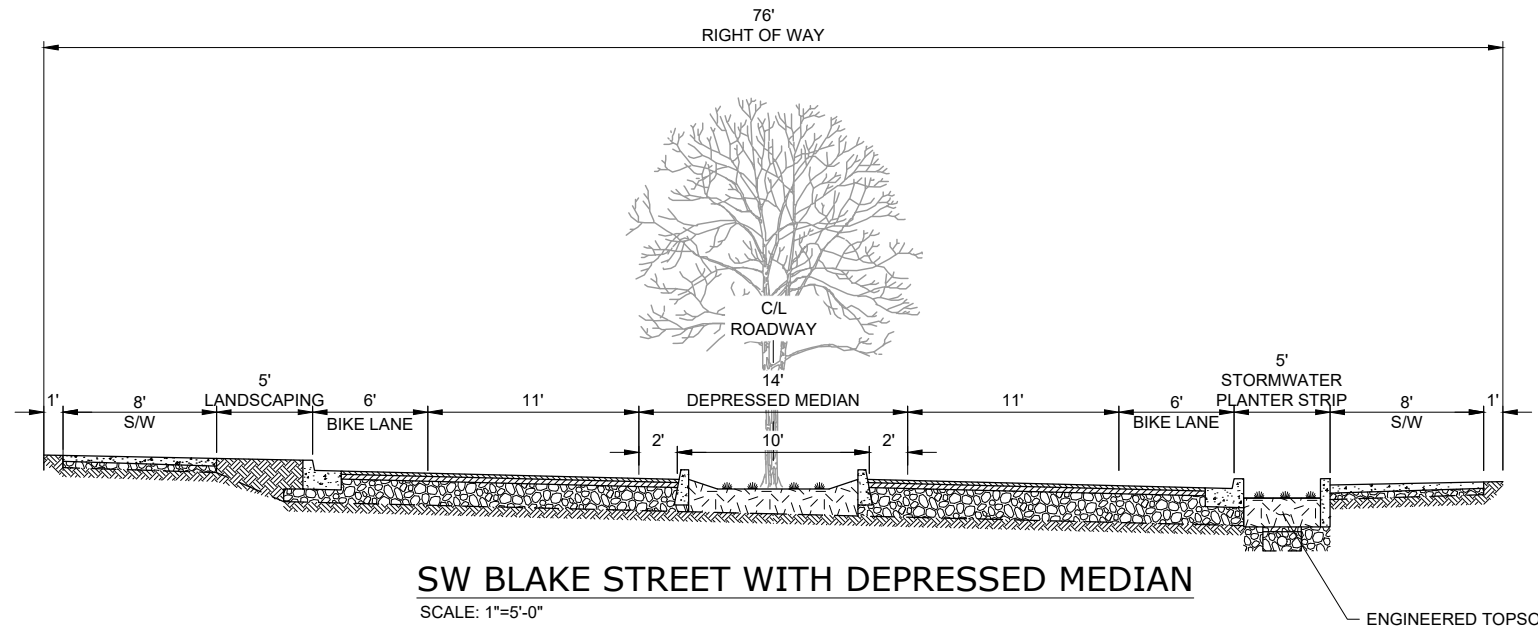
OFF-SITE  
PIPELINE PLAN AND PROFILE  
STORMWATER - AREA B7

SHEET	DWG	04-PP-70302
	DATE	AUG 2020
	PROJ	WTP_1.0

PLOT DATE AND TIME: 8/25/2020 9:41:36 AM

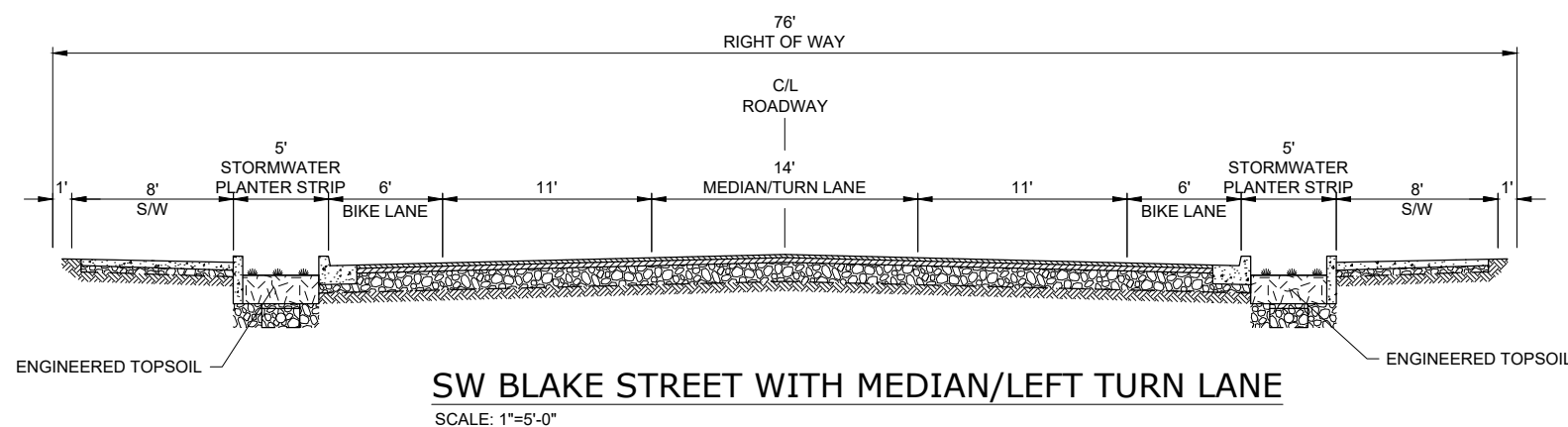
BY: BEN FOSTER  
PLOT DATE: Wednesday, May 25, 2016 1:37:44 PM  
DWG FILE: C:\cdm\ben.foster@murraysmith.us\0274278\WTP1-04-PP-70001.dwg

# FOR LAND USE PERMITTING (EXHIBIT A)



**NOTES:**

1. ONSITE STORMWATER FACILITIES, CURB AND GUTTER AND FENCING WHERE SHOWN ON PLANS.
2. CURB CUTS TO BE DETERMINED IN COORDINATION WITH STORMWATER DRAINAGE AND TREATMENT DESIGN.
3. SW BLAKE STREET DEPRESSED MEDIAN TO BE USED AS A STORMWATER PLANTER FROM STA 12+50± TO STA 19+50±.



**SHEET B-168: TYPICAL ROADWAY SECTIONS - SW BLAKE ST.**

90% DESIGN - NOT FOR CONSTRUCTION

DSGN	C JAIN				
DR	M ESTEP				
CHK	NA				
APVD	NA	NO.	DATE	REVISION	BY

VERIFY SCALE  
 BAR IS ONE INCH ON ORIGINAL DRAWING.  
 IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.



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SITE GRADING  
 ROADWAY TYPICAL SECTIONS 1

SHEET	DWG 03-GR-30001
DATE	AUG 2020
PROJ	WTP_1.0

PLOT DATE AND TIME: 8/21/2020 5:19:06 PM

BY: CHRIS JAIN

PLOT DATE: Wednesday, May 25, 2016 1:37:44 PM

DWG FILE: C:\cdm\christis.jain@murraysmith.us\d0274278\WTP1-03-GR-30001.dwg

# FOR LAND USE PERMITTING (EXHIBIT A)

**NOTES:**

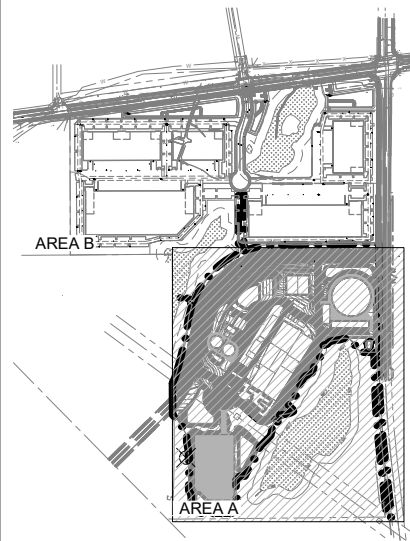
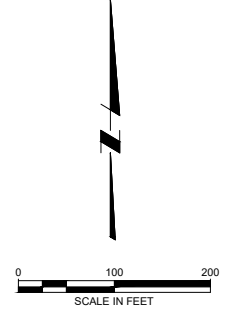
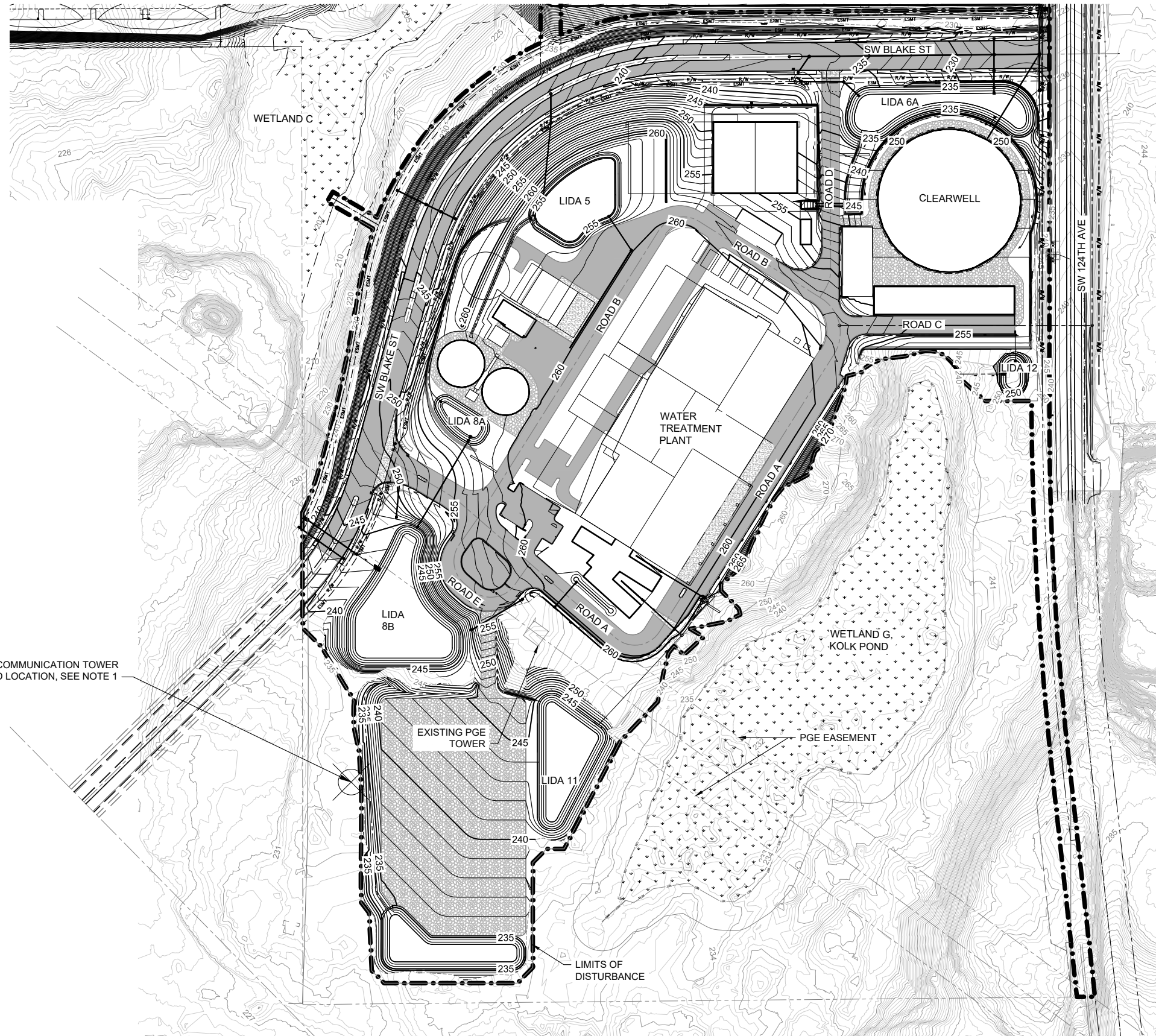
- RADIO/COMMUNICATION TOWER, PROPOSED LOCATION IN COORDINATES AND LATITUDE/LONGITUDE:
- OREGON STATE PLANE NORTH:  
N 626802.47, E7608335.66
  - OCRS (WWSP WTP Coordinate System)  
N113967.60, E312534.94, Z235.76
  - LATITUDE & LONGITUDE  
N45°21'45.56243", W122°48'37.76702"
- ELEVATION OF BASE ABOVE FINISHED GRADE AT PROPOSED LOCATION BETWEEN EL. +236 AND EL. +244

HALF-STREET FRONTAGE AND RIGHT-OF-WAY (ROW) IMPROVEMENTS FOR SW 124TH AVE ARE STILL BEING COORDINATED AMONGST STAKEHOLDERS INCLUDING THE CITY AND COUNTY. THEREFORE, IMPROVEMENTS ARE NOT YET SHOWN BUT WILL BE SHOWN ON FUTURE VERSIONS OF THIS DRAWING

BY: BEN FOSTER

PLOT DATE: Wednesday, May 25, 2016 1:37:44 PM

DWG FILE: C:\cdm\ben.foster@murraysmith.us\0274278\WTP1-03-GR-20001.dwg



RADIO/COMMUNICATION TOWER PROPOSED LOCATION, SEE NOTE 1

## SHEET B-169: RADIO/COMMUNICATIONS TOWER PROPOSED LOCATION

90% DESIGN - NOT FOR CONSTRUCTION

DSGN	K USAGAWA						
DR	M ESTEP						
CHK	B FOSTER						
APVD	M HICKEY	NO.	DATE	REVISION	BY	APVD	

VERIFY SCALE  
BAR IS ONE INCH ON ORIGINAL DRAWING.  
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.



SITE	
RADIO/COMMUNICATIONS TOWER PROPOSED LOCATION	
SHEET	DWG
DATE	AUG 2020
PROJ	WTP_1.0

PLOT DATE AND TIME: 8/28/2020 10:08:52 AM

