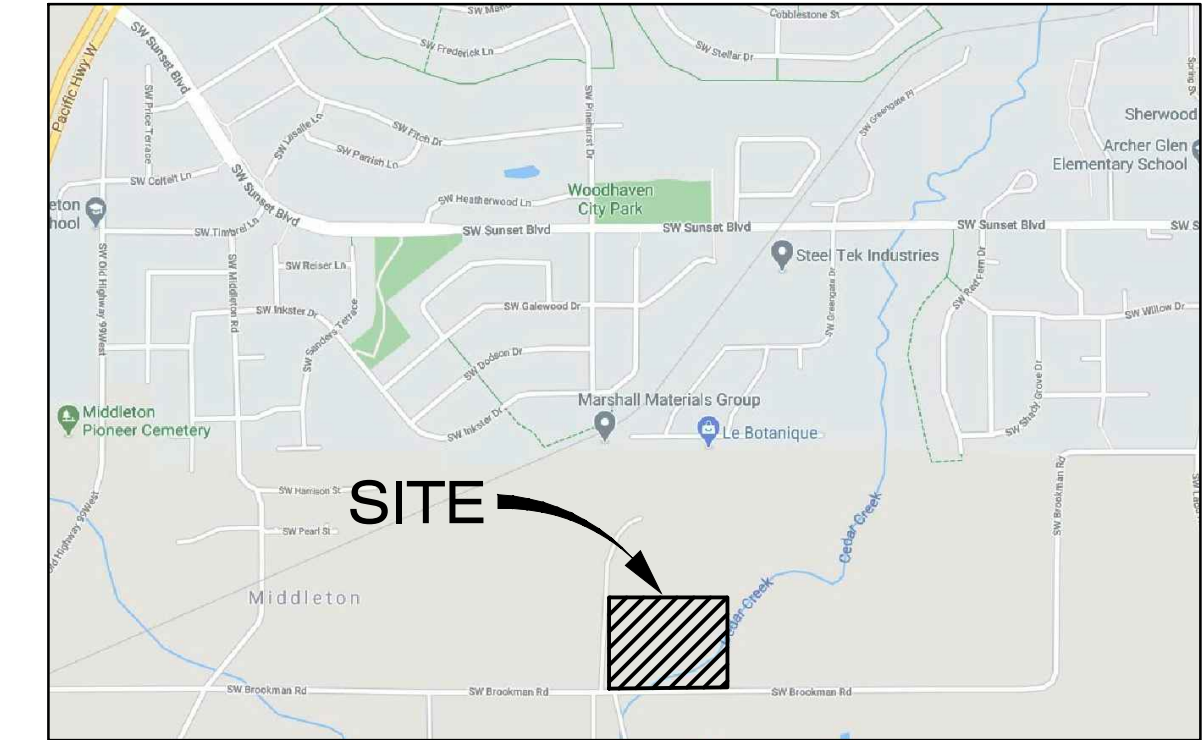
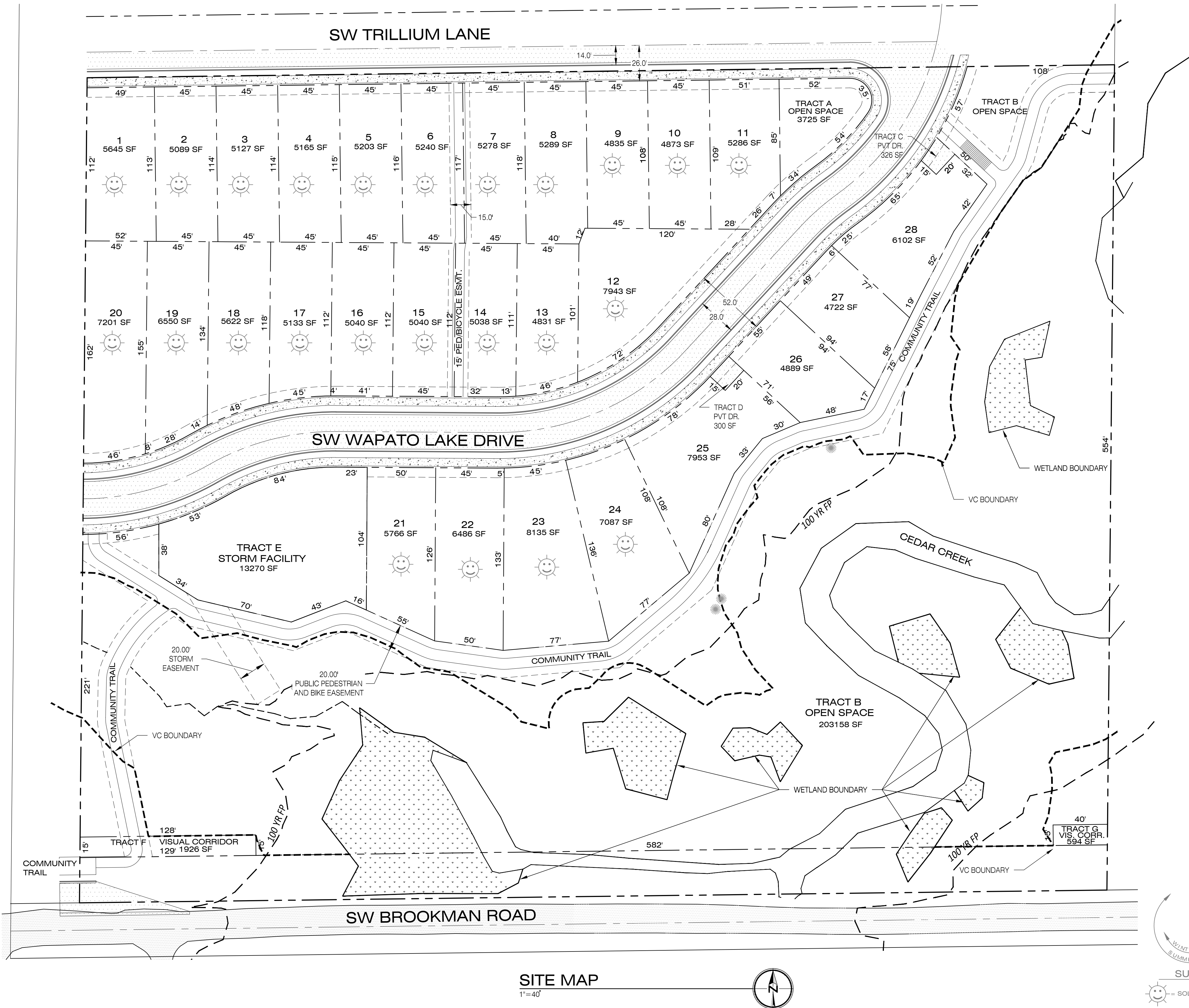


RIVERSIDE AT CEDAR CREEK

A 28 LOT SUBDIVISION ON TAX LOT 104, TAX MAP 3S106
17433 SW BROOKMAN ROAD, SHERWOOD, OREGON, 97140



VICINITY MAP

N.T.S.

OWNER/APPLICANT

RIVERSIDE HOMES, LLC
17933 NW EVERGREEN PLACE, SUITE 370
BEAVERTON, OR 97006
PHONE: (503) 645-0986
CONTACT: NIKI MUNSON

PLANNING/ENGINEERING/SURVEYING

PIONEER DESIGN GROUP, INC.
9020 SW WASHINGTON SQ RD., SUITE 170
PORTLAND, OR 97223
PHONE (503) 643-8286
CONTACT: WAYNE HAYSON

SITE INFORMATION

TAX MAP: 3S106
TAX LOT: 104
SITE ADDRESS: 17433 SW BROOKMAN ROAD
SITE SIZE: 10.47 ACRES
ZONING: MDRL

VERTICAL DATUM

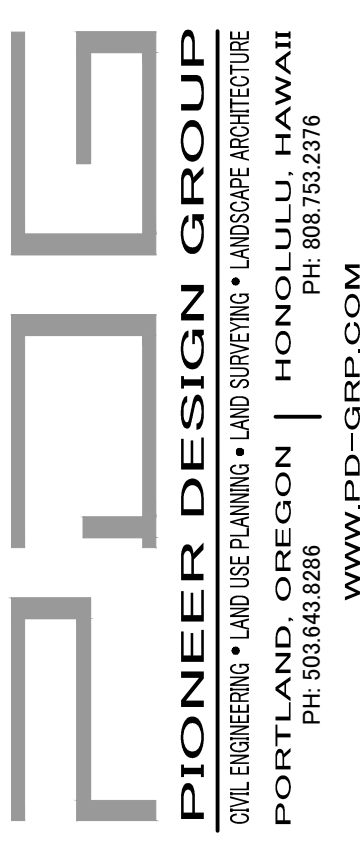
BENCHMARK: WASHINGTON COUNTY BENCHMARK NO.118.

DESCRIPTION: A 3" BRASS DISK INSCRIBED "WASH. CO. BM 118" SET IN CONCRETE FILLED WITH METAL, NORTH SIDE OF SW BROOKMAN ROAD ON THE EXTENDED CENTERLINE OF SW OBERST RD

ELEVATION: 194.775' NGVD 29

SHEET INDEX

| SHEET NUMBER | SHEET DESCRIPTION |
|--------------|--|
| P1 | PRELIMINARY PLAT |
| P2 | EXISTING CONDITIONS AND DEMOLITION PLAN |
| P3 | PRELIMINARY TREE PRESERVATION AND REMOVAL PLAN |
| P4 | CONCEPTUAL BUILDING SETBACK PLAN |
| P5 | CONCEPTUAL OPEN SPACE PLAN |
| P6 | PRELIMINARY GRADING AND EROSION CONTROL PLAN |
| P7 | OVERALL STREET PLAN |
| P8 | TYPICAL STREET SECTIONS |
| P9 | PRELIMINARY STREET PROFILES |
| P10 | PRELIMINARY COMPOSITE UTILITY PLAN |
| P11 | CIRCULATION & FUTURE DEVELOPMENT PLAN |
| L1 | STREET TREE & OPEN SPACE PLANTING PLAN |
| L2 | PLANTING LEGENDS, DETAILS, NOTES & CONDITIONS |



PRELIMINARY PLAT

| Designed by | Date | Drawn by | Date | Reviewed by | Date | Project No. | REF. |
|-------------|--------|----------|--------|-------------|--------|-------------|------|
| MLS | 6/2020 | BDH | 6/2020 | MLS | 6/2020 | 131-025 | |
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| By | No. | Date | Revision |
|----|-----|------|----------|
| | | | |

Project: RIVERSIDE AT CEDAR CREEK
No.: 131-025
Type: PLANNING
Sheet

17495 SW BROOKMAN RD
 TL 103 MAP 3S 1 6
 DEED DOC. NO. 2017-040512

LEGEND

- RIGHT-OF-WAY LINE
- - - BOUNDARY LINE
- - - EXISTING LOT LINE
- - - CENTER LINE
- SD- SD- STORM DRAINAGE LINE
- XSS- XSS- SANITARY SEWER LINE
- XW- XW- WATER LINE
- XG- XG- GAS LINE
- XCOM- XCOM- COMMUNICATION LINE
- XE- XE- UNDERGROUND POWER LINE
- XOH- XOH- OVERHEAD WIRE
- X- X- WOOD FENCE (AS NOTED)
- 201- EXISTING 1' CONTOUR
- 200- EXISTING 5' CONTOUR
- ☀ CONIFEROUS TREE (DBH)
- ☀ DECIDUOUS TREE (DBH)
- ☀ CATCH BASIN/DRAIN INLET
- ☀ STORM DITCH INLET
- ☀ STORM MANHOLE
- ☀ SANITARY MANHOLE
- ☀ WATER VALVE
- ☀ FIRE HYDRANT ASSEMBLY
- ☀ WATER METER
- ☀ GAS VALVE
- ☀ GAS METER
- ☀ STREET SIGN
- ☀ MAILBOX
- ☀ ELECTRIC PEDESTAL
- ☀ LIGHT POLE
- ☀ POWER POLE
- ☀ COMMUNICATION VAULT
- ☀ TELECOMMUNICATION PEDESTAL
- ☀ UTILITY EXTENSION
- ☀ FOUND SURVEY MONUMENT AS NOTED
- EXISTING CONCRETE
- EXISTING ASPHALT PAVEMENT
- EXISTING GRAVEL SURFACE
- EXISTING BUILDING FOOTPRINT

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EXISTING CONDITIONS AND DEMOLITION PLAN

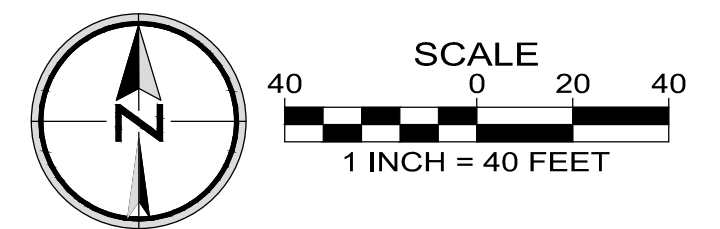
RIVERSIDE AT CEDAR CREEK
 CITY OF SHERWOOD, OREGON

| Designed by | Date | Drawn by | Date | Reviewed by | Date | REF. |
|-------------|--------|----------|--------|-------------|--------|------|
| MLS | 6/2020 | BDH | 6/2020 | MLS | 6/2020 | |
| | | | | 131-025 | | |
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| No. | Date | Revision |
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Project: RIVERSIDE AT CEDAR CREEK
 No.: 131-025
 Type: PLANNING
 Sheet

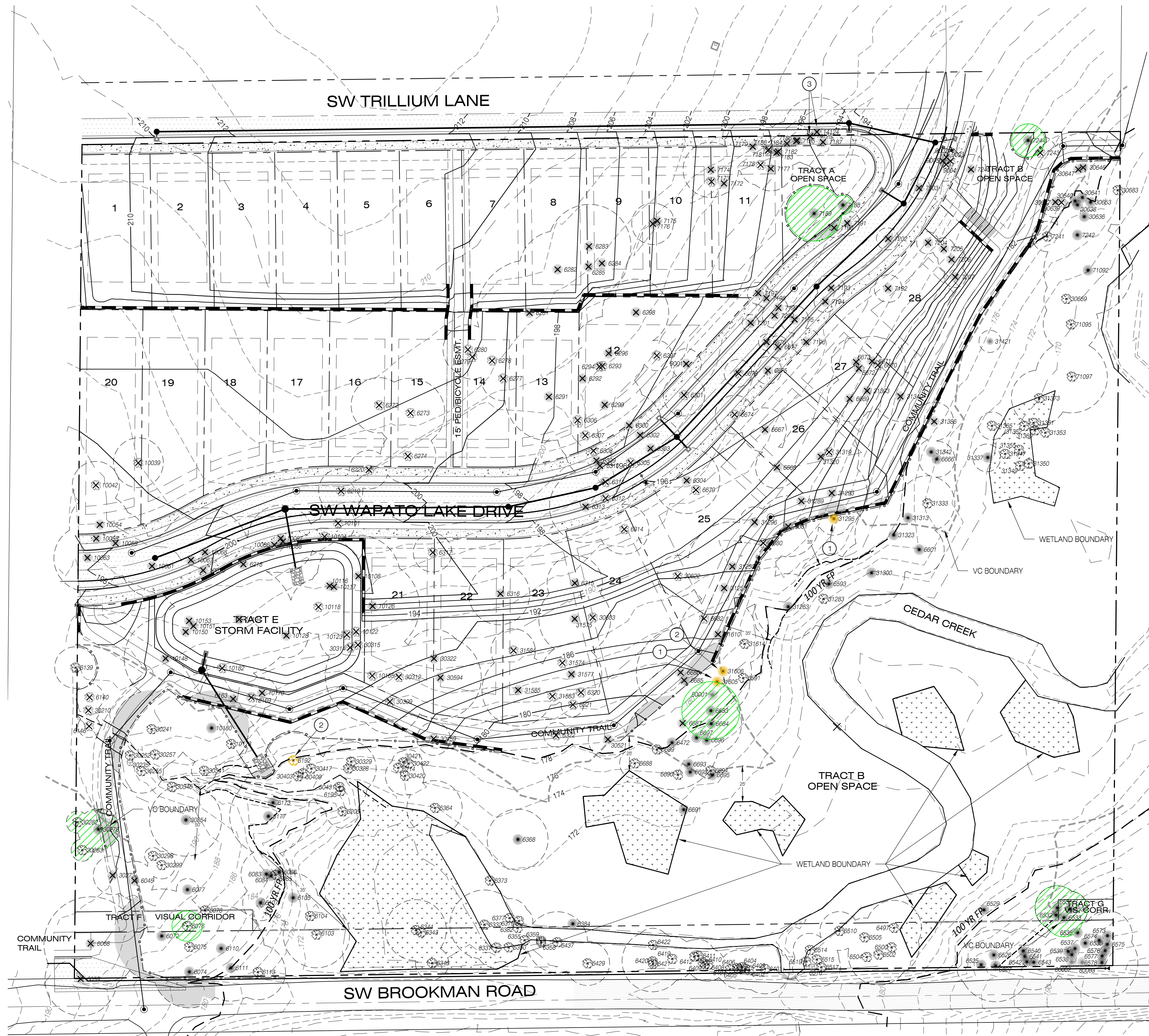
17117 SW BROOKMAN RD
 TL 101 MAP 3S 1 6
 DEED DOC. NO. 99109559



SHERWOOD CASEFILE #

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LEGEND

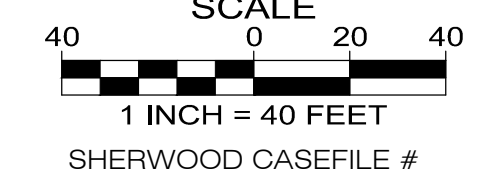
- RIGHT-OF-WAY LINE
- BOUNDARY LINE
- EXISTING LOT LINE
- CENTER LINE
- EXISTING 1' CONTOUR
- EXISTING 5' CONTOUR
- PROPOSED 2' CONTOUR
- PROPOSED 10' CONTOUR
- EXISTING TREE REMAIN
- EXISTING TREE TO BE REMOVED
- EXISTING DRIP LINE
- TREE PROTECTION FENCING
- DRIP LINE ENCROACHMENT AREA (ARBORIST SUPERVISION REQUIRED)
- TREE CANOPY TO REMAIN IN NET DEVELOPABLE AREA (TOTAL = 5,634 SF)
- EXISTING TREE WITH SPECIFIC TREATMENT

GENERAL TREE NOTES

1. EXISTING TREE LIKELY TO RETAIN IN CONSTRUCTION. TREES #31295 AND #31605 ARE CLASSIFIED AS "LIKELY TO RETAIN" BECAUSE THESE TREES HAVE THE GREATEST POTENTIAL FOR CONSTRUCTION IMPACTS DURING RETAINING WALL CONSTRUCTION, BUT ARE OTHERWISE SUITABLE FOR PRESERVATION. EVERY REASONABLE EFFORT SHALL BE MADE TO PRESERVE THESE TREES AND THE DEVELOPER IS RESPONSIBLE FOR COORDINATING WITH THE PROJECT ARBORIST TO MONITOR AND DOCUMENT RETAINING WALL EXCAVATION BENEATH THE DRIPLINE AREAS. IF THE PROJECT ARBORIST DETERMINES THAT NECESSARY ROOT IMPACTS ARE LIKELY TO IMPACT THE VIABILITY OR STABILITY OF EITHER TREE, THE DEVELOPER MAY PROCEED WITH REMOVAL OF THE TREES WITHOUT DELAY AND THE ARBORIST SHALL SUBMIT DOCUMENTATION TO THE CITY REGARDING THE NECESSITY OF REMOVAL.
2. CREATE SNAG OUT OF EXISTING TREE. REFER TO TREE PROTECTION SPECIFICATION #9.
3. OBTAIN ADJACENT OWNER'S PERMISSION PRIOR TO REMOVING BOUNDARY AND OFF-SITE TREES #14124 AND #14125.

TREE PROTECTION SPECIFICATIONS

1. **PRE-CONSTRUCTION CONFERENCE.** THE DEVELOPER SHALL ARRANGE AN ON-SITE MEETING WITH THE PROJECT ARBORIST IN ORDER TO REVIEW THE TREE PRESERVATION AND REMOVAL PLAN AND DISCUSS METHODS OF TREE REMOVAL AND TREE PROTECTION PRIOR TO ANY CONSTRUCTION.
2. **TREE PROTECTION ZONE.** THE TREE PROTECTION ZONE (TPZ) IS DEFINED AS THE DRIPLINE OF PROTECTED TREES REGARDLESS OF THE LOCATION OF PROTECTION FENCING; TPZS ARE DEPICTED ON THE TREE PRESERVATION AND REMOVAL PLAN. ANY WORK THAT IS PERFORMED BENEATH THE DRIPLINE OF A PROTECTED TREE SHALL BE MONITORED AND DOCUMENTED BY THE PROJECT ARBORIST. AREAS OF TPZ ENCROACHMENT REQUIRING THE DEVELOPER TO COORDINATE WITH THE PROJECT ARBORIST ARE SHADED ON THE TREE PRESERVATION AND REMOVAL PLAN.
3. **PROTECTION FENCING.** TREES TO BE PRESERVED SHALL BE PROTECTED BY INSTALLATION OF TREE PROTECTION FENCING AS DEPICTED ON THE TREE PRESERVATION AND REMOVAL SITE PLAN TO PREVENT INJURY TO TREE TRUNKS OR ROOTS, OR SOIL COMPACTION. PROTECTION FENCING SHALL BE CHAIN LINK OR GALVANIZED STEEL ON METAL STAKES, INSTALLED PRIOR TO ANY GROUND DISTURBING ACTIVITY AND MAINTAINED IN GOOD REPAIR THROUGHOUT CONSTRUCTION. THE PROTECTION FENCING SHALL NOT BE MOVED, REMOVED OR ENTERED BY EQUIPMENT WITHOUT PRIOR APPROVAL OF THE PROJECT ARBORIST; ADJUSTMENTS TO THE LOCATION OF PROTECTION FENCING SHALL BE DOCUMENTED BY THE PROJECT ARBORIST. TREES LOCATED MORE THAN 30-FEET FROM CONSTRUCTION ACTIVITY SHOULD NOT REQUIRE FENCING.
4. **PROHIBITIONS.** NO SOIL COMPACTION, MATERIALS OR SPOILS STORAGE SHALL BE ALLOWED WITHIN THE TPZ. WITHOUT AUTHORIZATION FROM THE PROJECT ARBORIST, NONE OF THE FOLLOWING SHALL OCCUR BENEATH THE DRIPLINE OF ANY PROTECTED TREE:
 - a. GRADE CHANGE OR CUT AND FILL;
 - b. NEW IMPERVIOUS SURFACES;
 - c. UTILITY OR DRAINAGE FIELD PLACEMENT; OR
 - d. VEHICLE MANEUVERING.
 ROOT PROTECTION ZONES MAY BE ENTERED FOR TASKS LIKE SURVEYING, MEASURING, AND, SAMPLING. FENCES MUST BE CLOSED UPON COMPLETION OF THESE TASKS. CONSTRUCTION THAT IS NECESSARY BENEATH PROTECTED TREE DRIPLINES SHALL BE PERFORMED UNDER ARBORIST SUPERVISION.
5. **EROSION CONTROL.** SILT FENCING REQUIRED TO BE INSTALLED WITHIN TPZS SHALL NOT BE TRENCHED IN PER MANUFACTURER SPECIFICATIONS TO AVOID ROOT DAMAGE. INSTEAD, ROLL THE BASE OF THE SILT FENCE AROUND A STRAW WATTLE AND STAKE THE WATTLE SECURELY INTO THE GROUND OR USE COMPOST SOCKS OR OTHER TECHNIQUES THAT AVOID TREE ROOT IMPACTS.
6. **TREE REMOVAL.** TREES TO BE REMOVED SHALL BE CLEARLY IDENTIFIED WITH TREE-MARKING PAINT OR OTHER METHODS APPROVED IN ADVANCED BY THE PROJECT ARBORIST. TREE REMOVAL SHALL BE PERFORMED BY A QUALIFIED TREE SERVICE. DIRECTIONALLY FELL OR SURGICALLY REMOVE TREES TO AVOID CONTACT OR OTHERWISE PREVENT DAMAGE TO THE TRUNKS AND BRANCHES OF TREES TO BE PRESERVED. NO VEHICLES OR HEAVY EQUIPMENT SHALL BE PERMITTED WITHIN TPZS DURING TREE REMOVAL OPERATIONS.
7. **SNAG CREATION.** TREES #6192 AND #31606 LOCATED WITHIN THE VEGETATED CORRIDOR BUT NEAR PROPOSED CONSTRUCTION SHALL BE RETAINED AS WILDLIFE SNAGS RATHER THAN REMOVED TO GROUND LEVEL. SNAG CREATION SHALL BE PERFORMED BY A QUALIFIED TREE SERVICE AND WORK SHOULD BE COMPLETED BY HAND WITHOUT THE USE OF HEAVY EQUIPMENT IN THE TPZ. DELIMB THESE TREES AND REDUCE TRUNKS HEIGHTS TO LESS THAN 1.5-TIMES THE DISTANCE TO HIGH VALUE TARGETS TO MINIMIZE RISK.
8. **STUMP REMOVAL.** STUMPS OF TREES PLANNED FOR REMOVAL THAT ARE LOCATED BENEATH THE DRIPLINE OF PROTECTED TREES SHALL REMAIN IN THE GROUND WHERE FEASIBLE. OTHERWISE, STUMPS MAY BE REMOVED BY STUMP GRINDING TO JUST BELOW THE GROUND SURFACE OR EXTRACTED FROM THE GROUND UNDER PROJECT ARBORIST SUPERVISION.
9. **PRUNING.** TREES TO BE PRESERVED MAY REQUIRE MINOR PRUNING FOR OVERHEAD CLEARANCE AND TO REMOVE DEAD AND DEFECTIVE BRANCHES FOR SAFETY. THE PROJECT ARBORIST CAN HELP IDENTIFY WHETHER PRUNING IS NECESSARY ONCE TREES PLANNED FOR REMOVAL HAVE BEEN REMOVED AND THE SITE IS STAKED AND PREPARED FOR CONSTRUCTION. TREE REMOVAL AND PRUNING SHALL BE PERFORMED BY A QUALIFIED TREE SERVICE.
10. **EXCAVATION BENEATH PROTECTED TREE DRIPLINES.** EXCAVATION BENEATH PROTECTED TREE DRIPLINES SHALL BE AVOIDED IF ALTERNATIVES ARE AVAILABLE. IF EXCAVATION IS UNAVOIDABLE, THE DEVELOPER SHALL COORDINATE WITH THE PROJECT ARBORIST TO EVALUATE THE PROPOSED EXCAVATION TO DETERMINE METHODS TO MINIMIZE IMPACTS TO TREES. THIS CAN INCLUDE TUNNELING, HAND DIGGING, USING A MODIFIED PROFILE OR OTHER APPROACHES.
11. **ROOT PRUNING.** ROOTS SMALLER THAN 2-INCHES IN DIAMETER MAY BE PRUNED CLEAN TO SOUND WOOD USING A SHARP SAW AS DIGGING PROGRESSES TO AVOID PULLING AND TEARING ROOTS. EXCAVATION IMMEDIATELY ADJACENT TO ROOTS LARGER THAN 2-INCHES IN DIAMETER WITHIN THE TPZ SHALL BE BY HAND OR OTHER NON-INVASIVE TECHNIQUES TO ENSURE THAT ROOTS ARE NOT DAMAGED. THE PROJECT ARBORIST OR SHALL ASSESS AND DOCUMENT ROOTS 2-INCHES AND LARGER IN DIAMETER PRIOR TO IMPACTS. WHERE FEASIBLE, THESE SHALL BE PROTECTED BY TUNNELING OR OTHER MEANS TO AVOID DESTRUCTION OR DAMAGE. EXCEPTIONS CAN BE MADE IF, IN THE OPINION OF THE PROJECT, UNACCEPTABLE DAMAGE WILL NOT OCCUR TO THE TREE.
12. **LANDSCAPING.** FOLLOWING CONSTRUCTION AND PRIOR TO LANDSCAPING, THE PROTECTION FENCING MAY BE REMOVED. WHERE LANDSCAPING IS DESIRED, APPLY APPROXIMATELY 3-INCHES OF MULCH BENEATH THE DRIPLINE OF PROTECTED TREES, BUT NOT DIRECTLY AGAINST TREE TRUNKS. SHRUBS AND GROUND COVER PLANTS MAY BE PLANTED WITHIN TPZS. IF IRRIGATION IS USED, USE DRIP IRRIGATION ONLY BENEATH THE DRIPLINES OF PROTECTED TREES; INSTALL DRIP IRRIGATION LINES ON THE GROUND SURFACE AND COVER WITH MULCH (NO TRENCHING TO INSTALL IRRIGATION LINES BENEATH PROTECTED TREE DRIPLINES).
13. **QUALITY ASSURANCE.** THE PROJECT ARBORIST WILL BE AVAILABLE ON-CALL DURING CONSTRUCTION TO SUPERVISE PROPER EXECUTION OF THIS PLAN; IT IS THE DEVELOPER'S RESPONSIBILITY TO COORDINATE WITH THE PROJECT ARBORIST IN A TIMELY MANNER AS NEEDED.
14. **FINAL REPORT.** AFTER THE PROJECT HAS BEEN COMPLETED, THE PROJECT ARBORIST SHOULD PROVIDE A FINAL REPORT THAT DESCRIBES THE MEASURES NEEDED TO MAINTAIN AND PROTECT THE REMAINING TREES.



PRELIMINARY TREE PRESERVATION AND REMOVAL PLAN

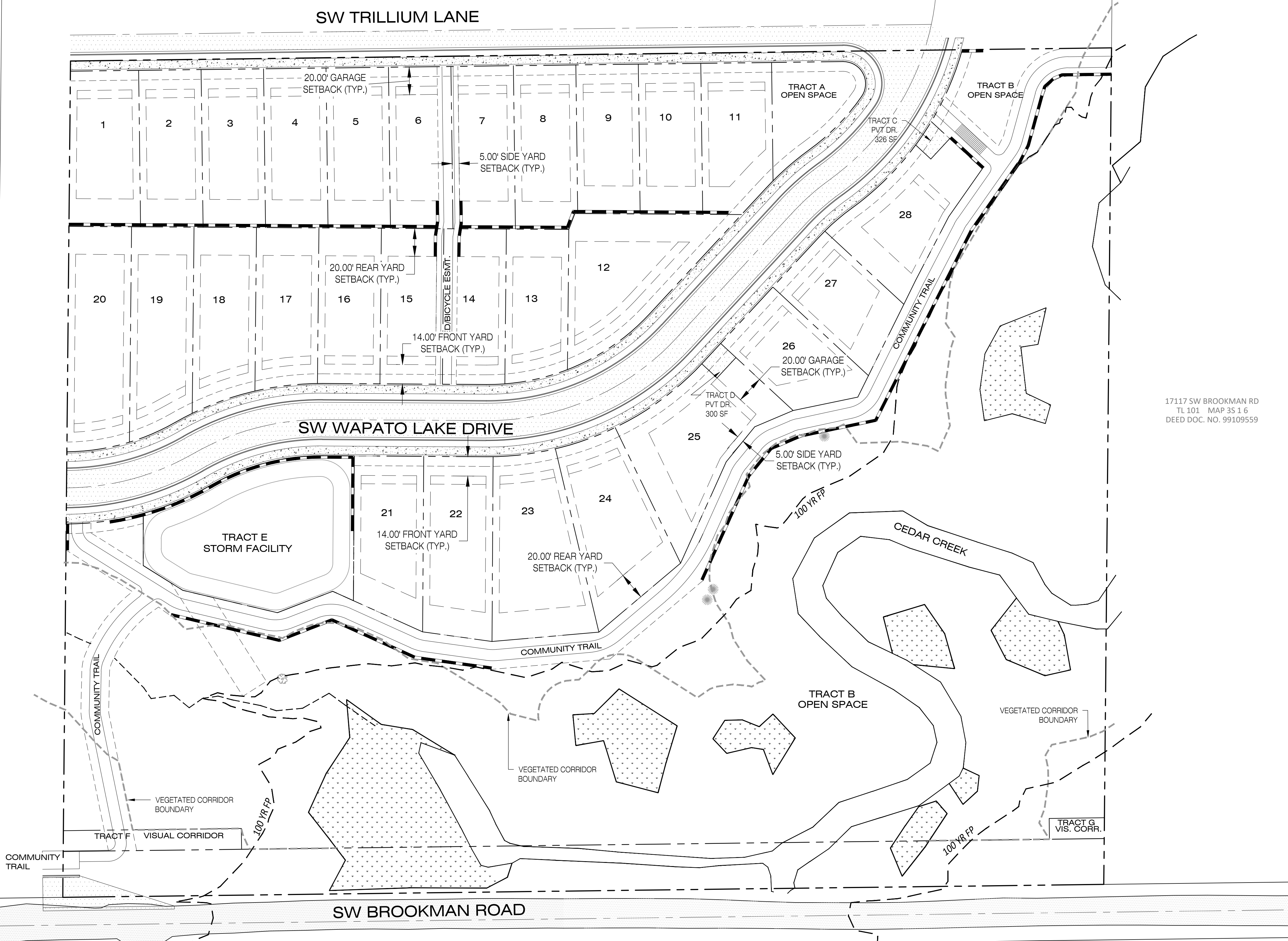
PIONEER DESIGN GROUP
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| | | | |
|---------------|---------|--------------|--------|
| Designed by | WLS | Date | 6/2020 |
| Drawn by | BDH | Date | 6/2020 |
| Reviewed by | WLS | Date | 6/2020 |
| Project No. | 131-025 | REF. | |
| Horiz. Scale: | | Vert. Scale: | |

Project: RIVERSIDE AT CEDAR CREEK
 No. 131-025
 Type: PLANNING
 Sheet: **P3**

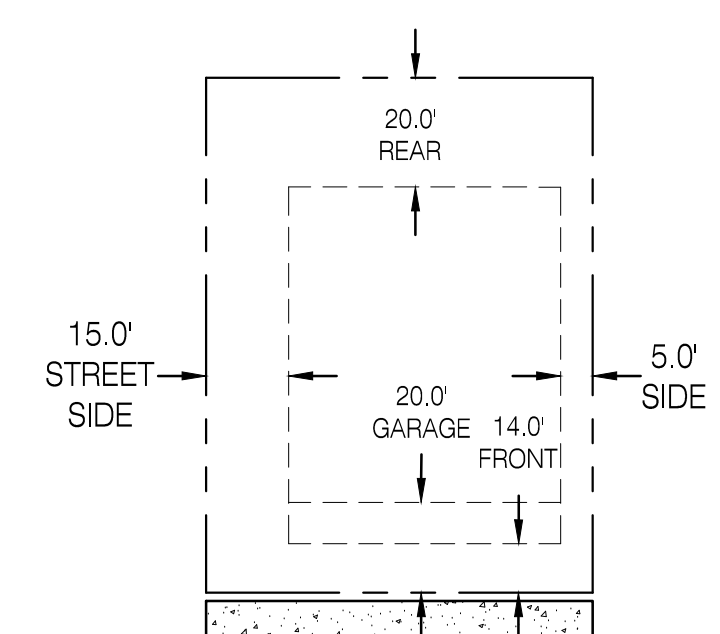
17495 SW BROOKMAN RD
 TL 103 MAP 35 1 6
 DEED DOC. NO. 2017-040512

17117 SW BROOKMAN RD
 TL 101 MAP 35 1 6
 DEED DOC. NO. 99109559



SETBACK REQUIREMENTS

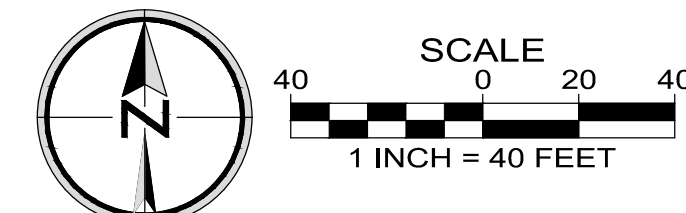
FRONT YARD: 14 FT.
 FACE OF GARAGE: 20 FT.
 SIDE YARD: 5 FT.
 STREET SIDE YARD: 15 FT.
 REAR BUILDING: 20 FT.



SETBACK DETAIL
 NTS



SUN & WIND
 ☀ = SOLAR ACCESS AVAILABLE



SHERWOOD CASEFILE #

CONCEPTUAL BUILDING SETBACK PLAN

| Designed by | Date | By |
|---------------|--------------|----------|
| MLS | 6/2020 | |
| Drawn by | Date | Revision |
| BDH | 6/2020 | |
| Reviewed by | Date | No. |
| MLS | 6/2020 | |
| Project No. | REF. | Date |
| 131-025 | | |
| Horiz. Scale: | Vert. Scale: | |
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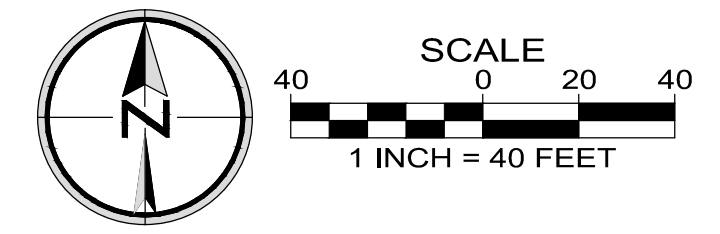
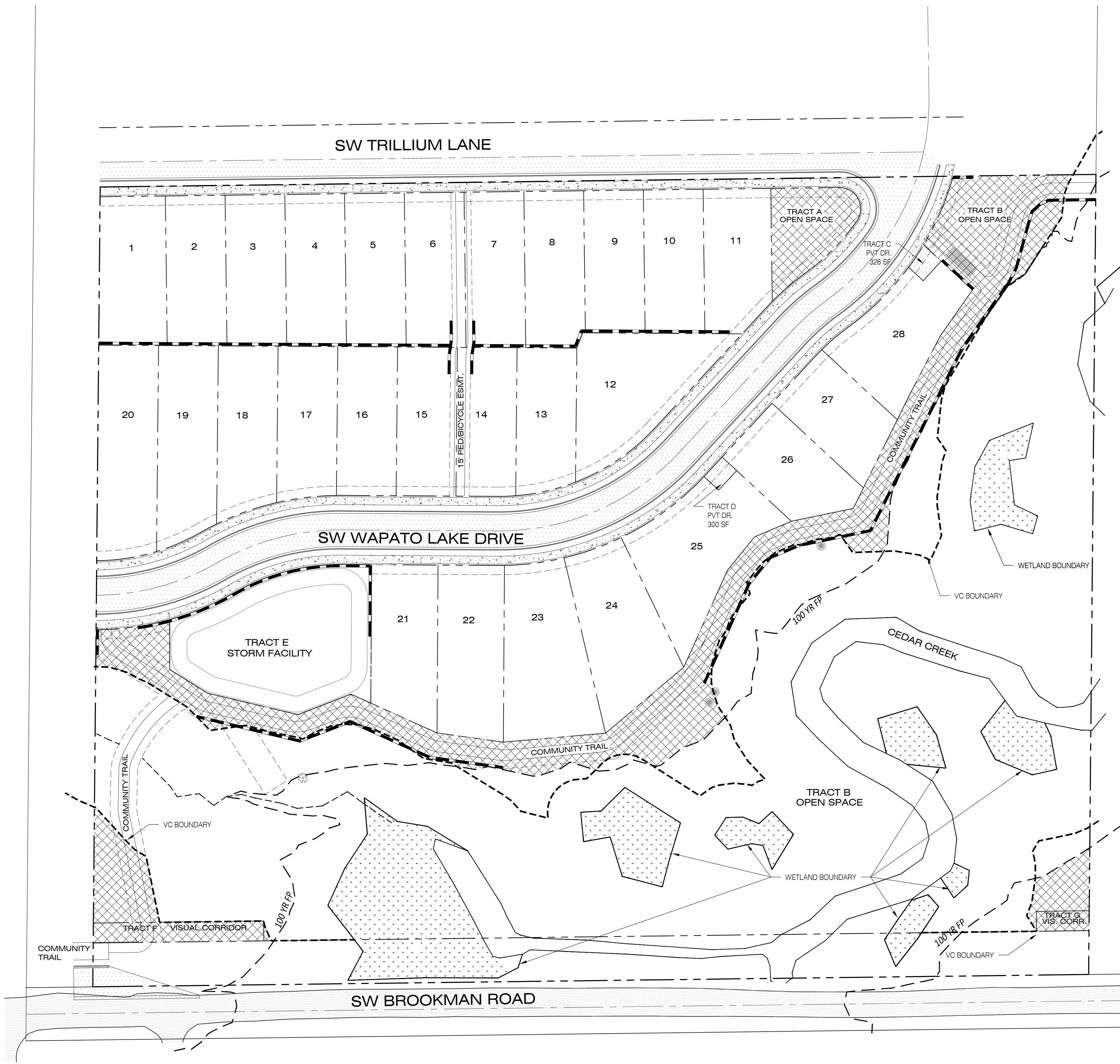
Project: RIVERSIDE AT CEDAR CREEK
 No.: 131-025
 Type: PLANNING
 Sheet

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LEGEND

- PROPOSED EASEMENT LINE
- PROPOSED CENTERLINE
- PROPOSED RIGHT-OF-WAY
- PROPOSED LOT LINE
- BOUNDARY LINE
- [Pattern] PROPOSED CONCRETE SIDEWALK
- [Pattern] PROPOSED PAVEMENT
- [Pattern] PROPOSED ACTIVE OPEN SPACE (23% OF NET DEVELOPABLE SITE)
- [Pattern] EXISTING WETLAND



CONCEPTUAL OPEN SPACE PLAN

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RIVERSIDE AT CEDAR CREEK
 CITY OF SHERWOOD, OREGON

| Designed by | Date | 6/2020 |
|--------------------------|-----------|---------|
| MLS <td> <td></td> </td> | <td></td> | |
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| Horiz. Scale: | | |
| Vert. Scale: | | |

| No. | Date | By | Revision |
|-----|------|----|----------|
| | | | |

Project: RIVERSIDE AT CEDAR CREEK
 No.: 131-025
 Type: PLANNING
 Sheet

MIDDLEBROOK
SUBDIVISION
(BY OTHERS)

LEGEND

- 302 --- EXISTING 2' CONTOUR
- 300 --- EXISTING 10' CONTOUR
- 302 --- PROPOSED 2' CONTOUR
- 300 --- PROPOSED 10' CONTOUR
- X --- PROPOSED EROSION CONTROL FENCING
- O --- PROPOSED TREE PROTECTION FENCING
- ← --- PROPOSED FLOW LINE
- █ --- PROPOSED RETAINING WALL
- (H) --- TW = TOP OF WALL
FG = FINISHED GRADE
EG = EXISTING GRADE
H = WALL HEIGHT
- ▨ --- PROPOSED CONSTRUCTION ENTRANCE
- ▨ --- PROPOSED STOCKPILE LOCATION

PRELIMINARY GRADING AND EROSION
CONTROL PLAN

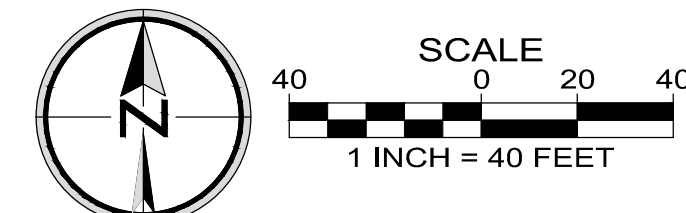
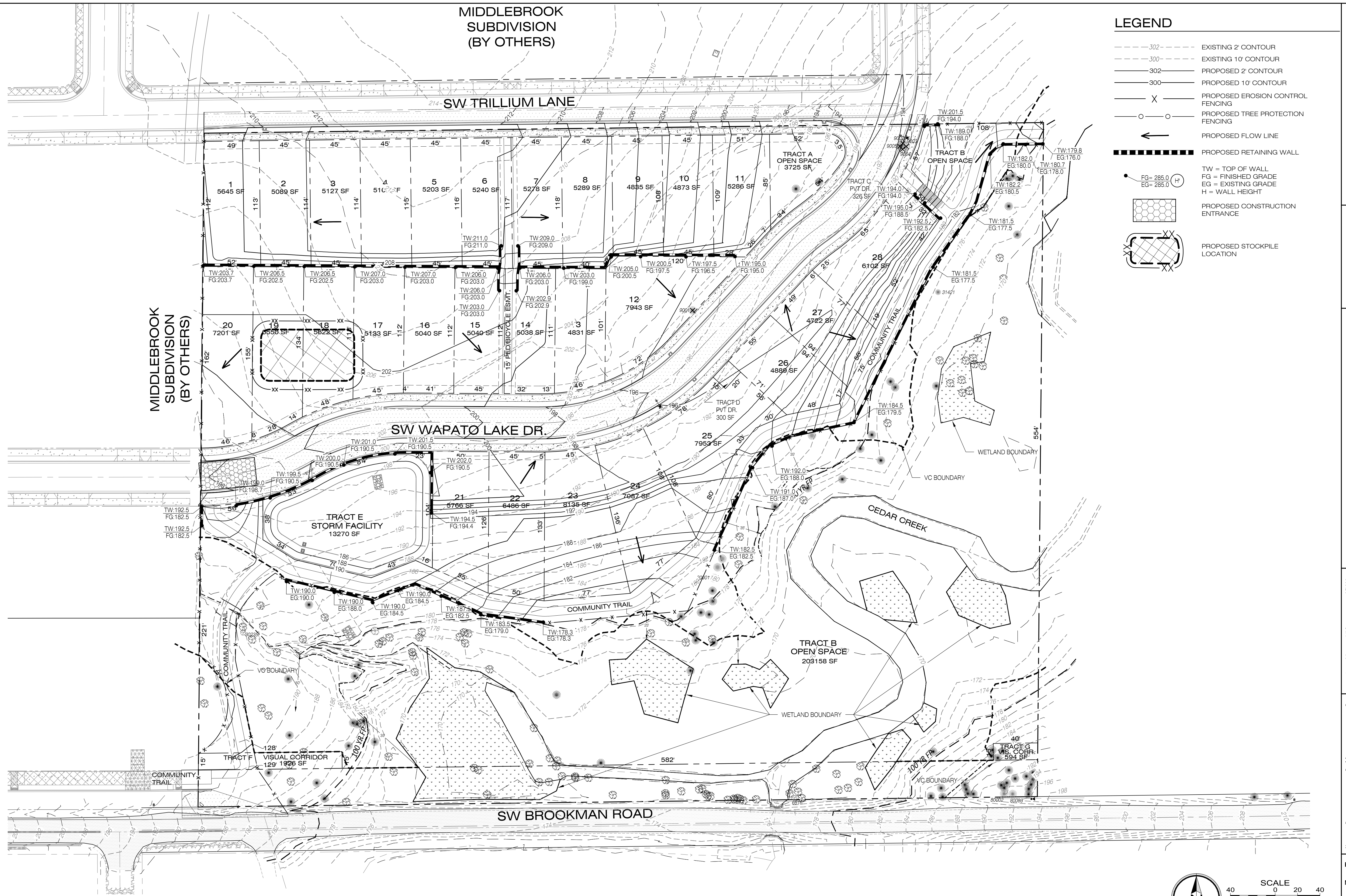
RIVERSIDE AT CEDAR CREEK
CITY OF SHERWOOD, OREGON

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|---------------|---------|--------------|--------|
| Designed by | MLS | Date | 6/2020 |
| Drawn by | BDH | Date | 6/2020 |
| Reviewed by | MLS | Date | 6/2020 |
| Project No. | 131-025 | REF. | |
| Horiz. Scale: | | Vert. Scale: | |

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| Revision | |
| No. | |
| Date | |

Project
No. 131-025
Type PLANNING
Sheet

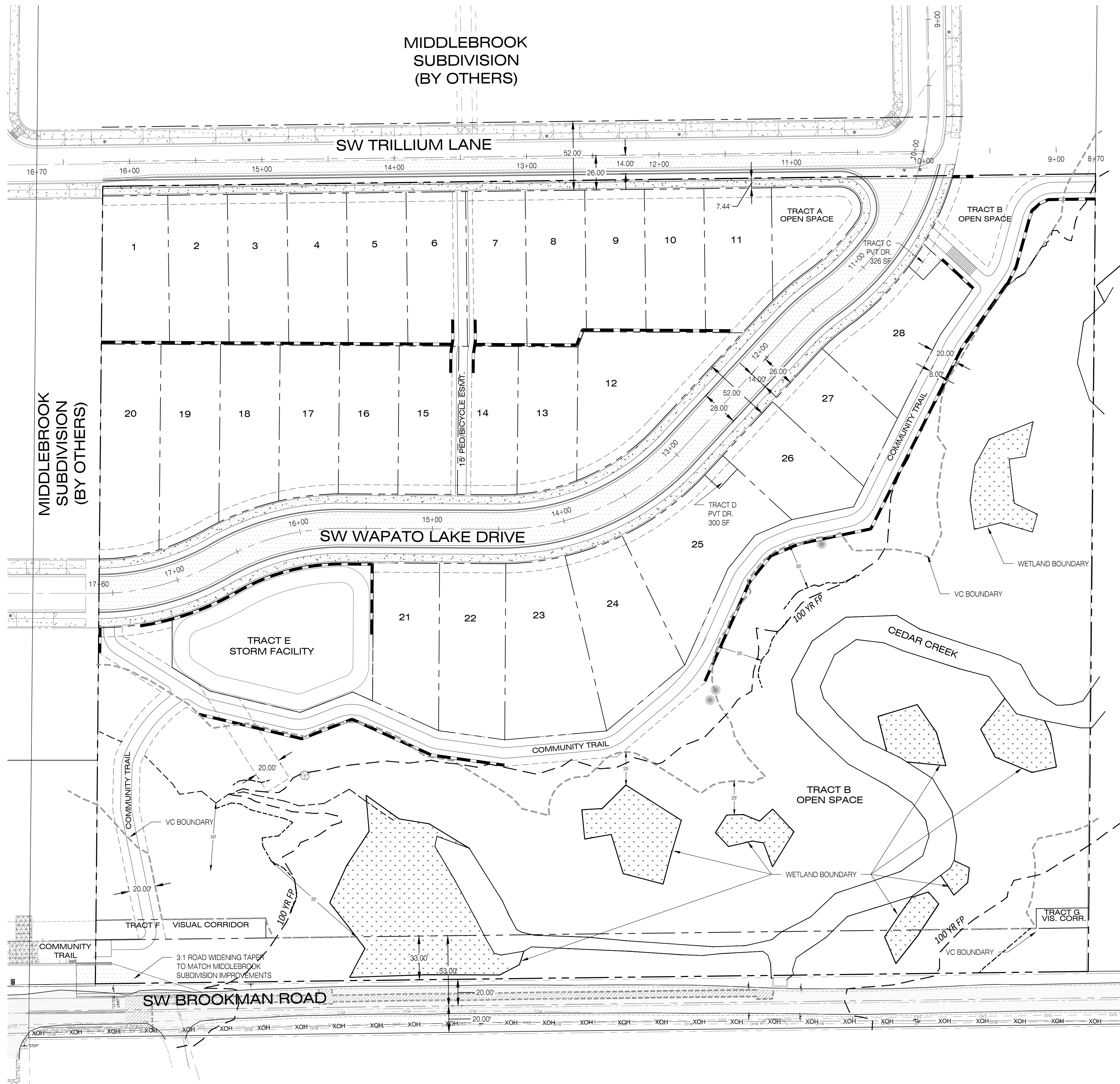
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SHERWOOD CASEFILE #

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LEGEND

- PROPOSED EASEMENT LINE
- PROPOSED CENTERLINE
- - - PROPOSED RIGHT-OF-WAY
- - - PROPOSED LOT LINE
- - - BOUNDARY LINE
- [Pattern] PROPOSED SIDEWALK
- [Pattern] PROPOSED PAVEMENT

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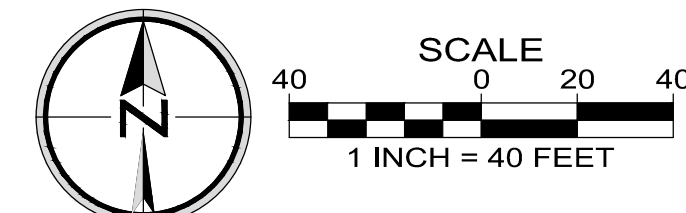
OVERALL STREET PLAN

RIVERSIDE AT CEDAR CREEK
 CITY OF SHERWOOD, OREGON

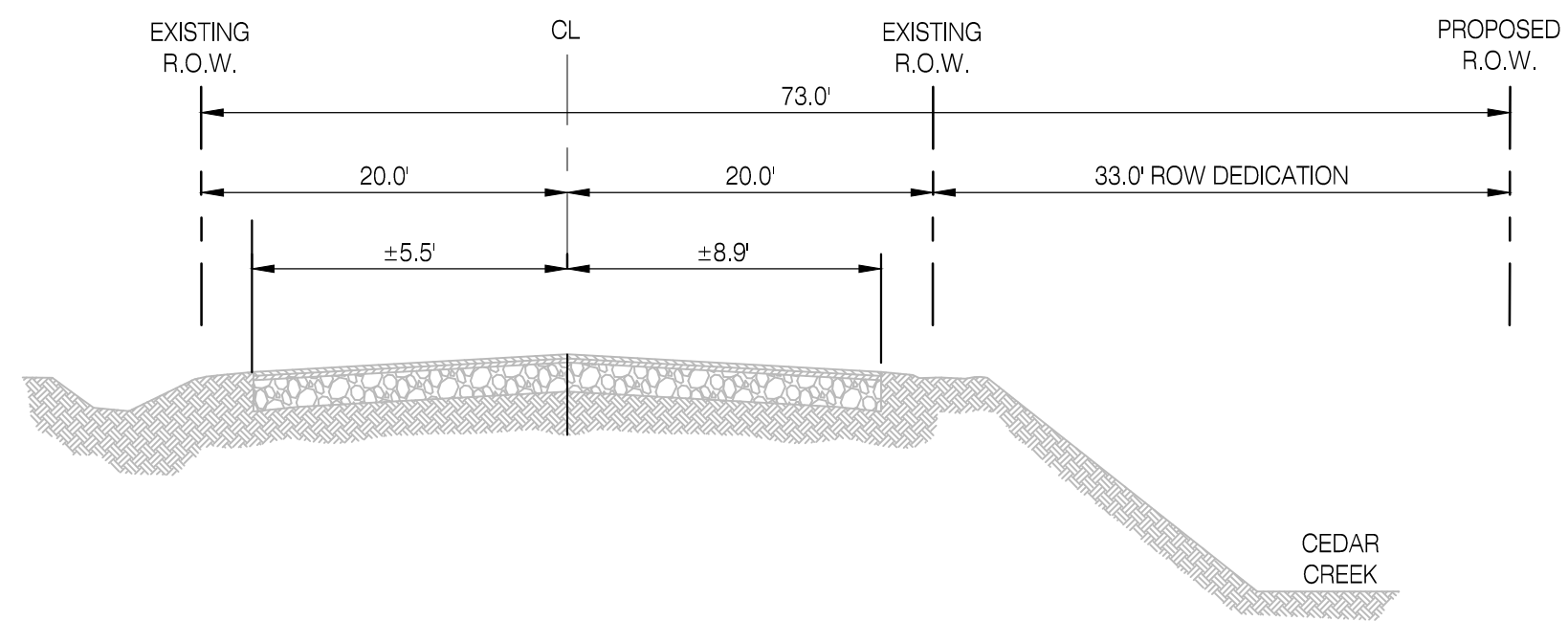
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| BDH | 6/2020 | 6/2020 |
| Drawn by | MLS | Date |
| BDH | 6/2020 | 6/2020 |
| Reviewed by | MLS | Date |
| BDH | 6/2020 | 6/2020 |
| Project No. | 131-025 | REF. |
| Horiz. Scale: | | Vert. Scale: |

| No. | Date | Revision | By |
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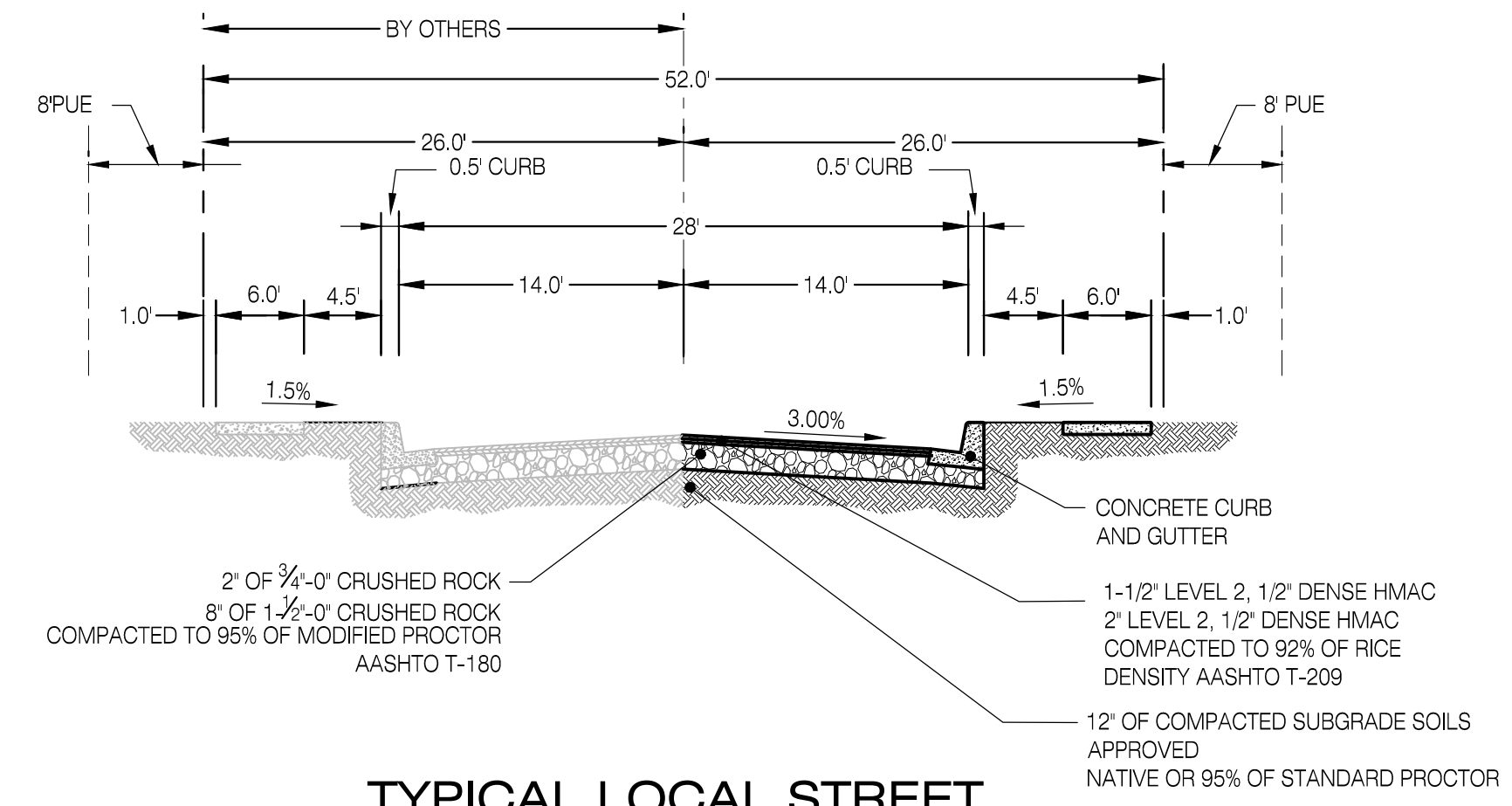
Project: RIVERSIDE AT CEDAR CREEK
 No. 131-025
 Type: PLANNING
 Sheet



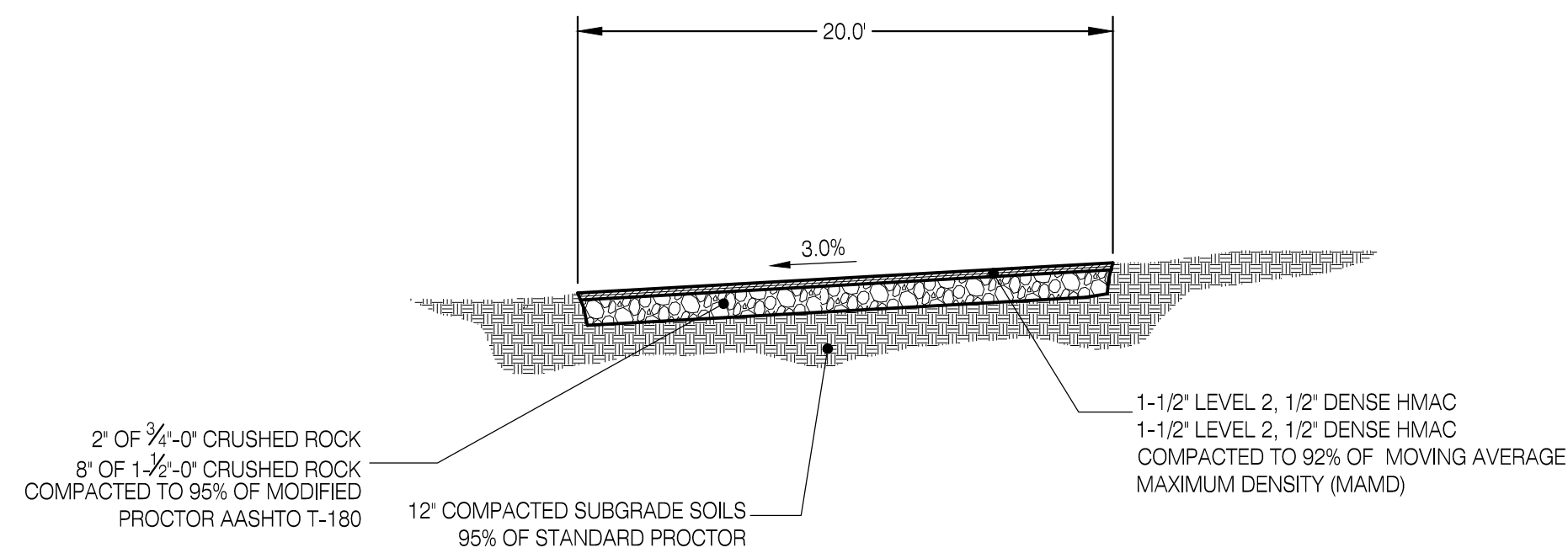
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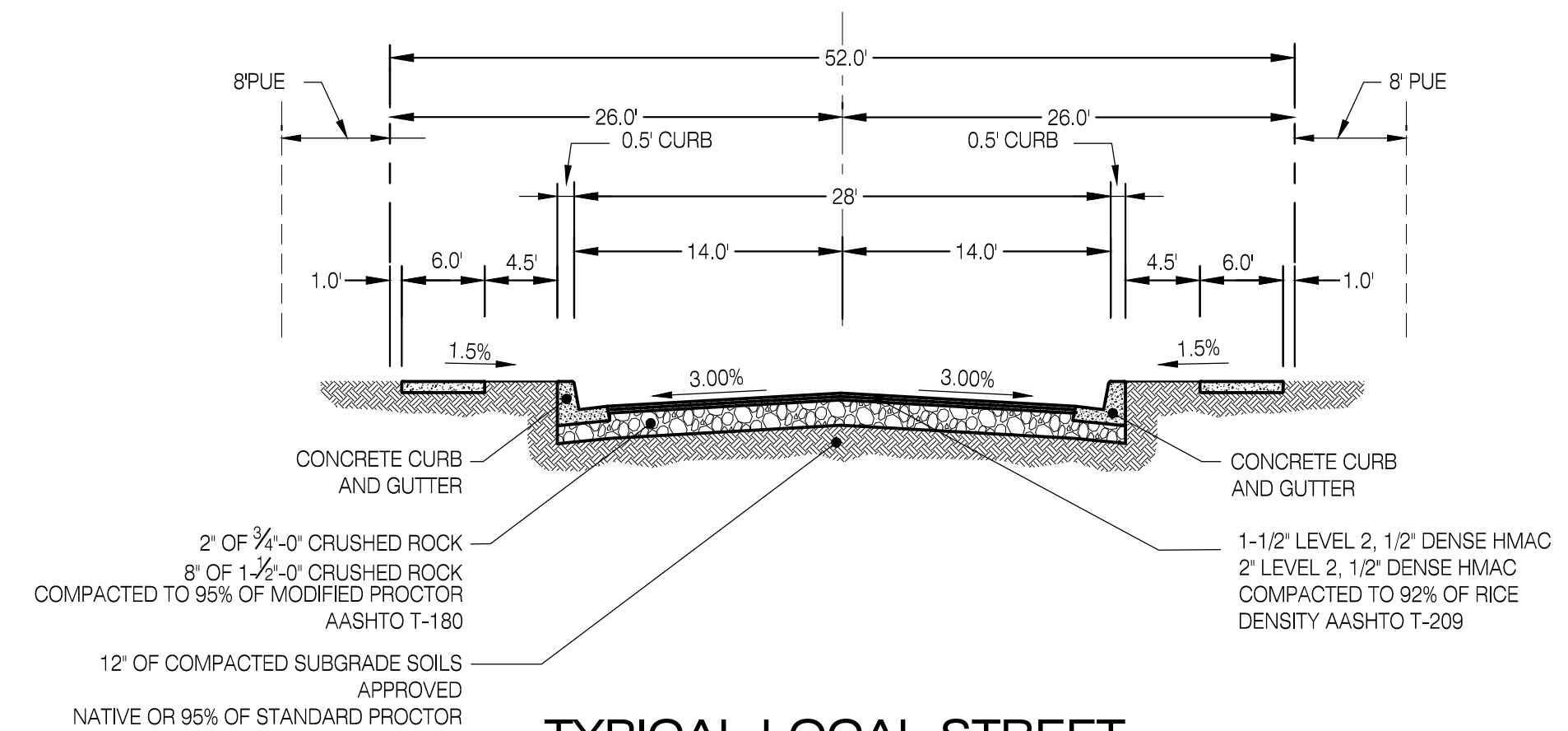
EXISTING ARTERIAL STREET
SW BROOKMAN ROAD
 N.T.S.



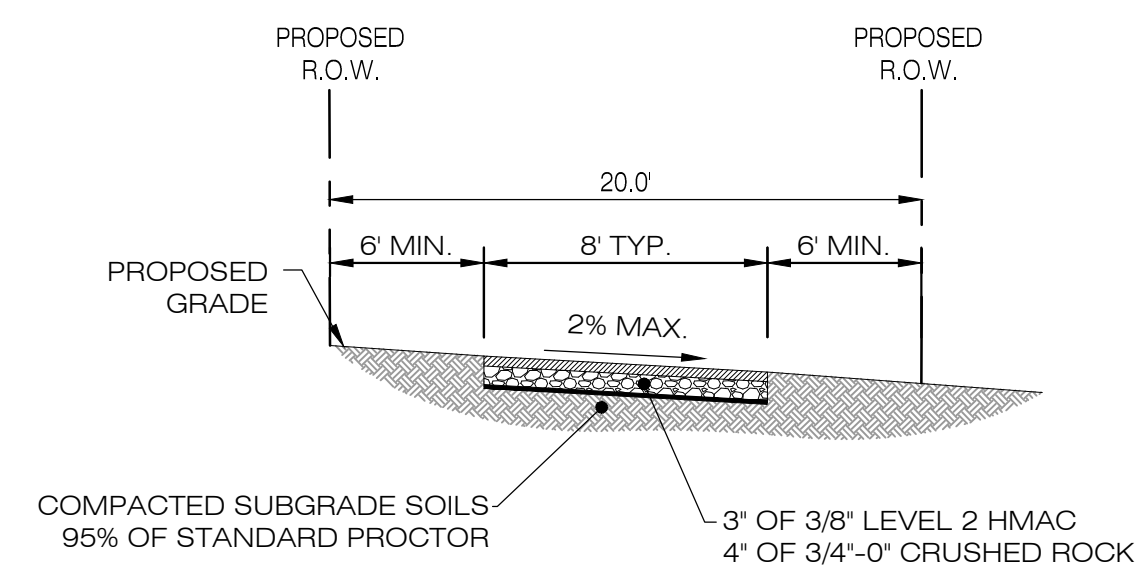
TYPICAL LOCAL STREET
SW TRILLIUM LN
 N.T.S.



TYPICAL PRIVATE STREET
TRACT A
 N.T.S.



TYPICAL LOCAL STREET
SW WAPATO LAKE DR.
 N.T.S.



COMMUNITY TRAIL
 N.T.S

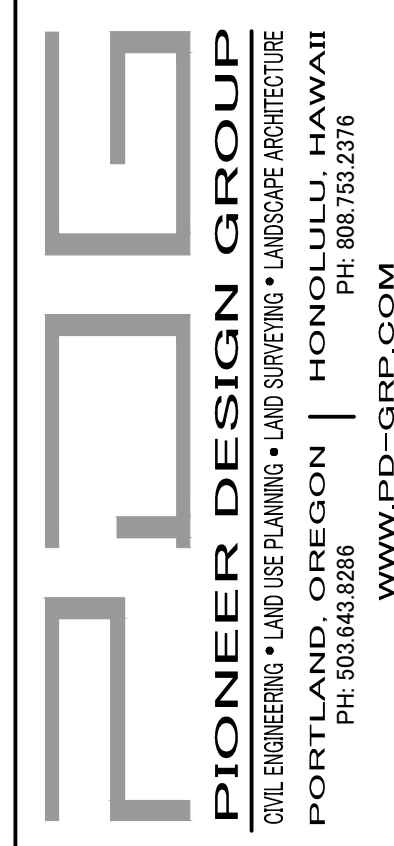
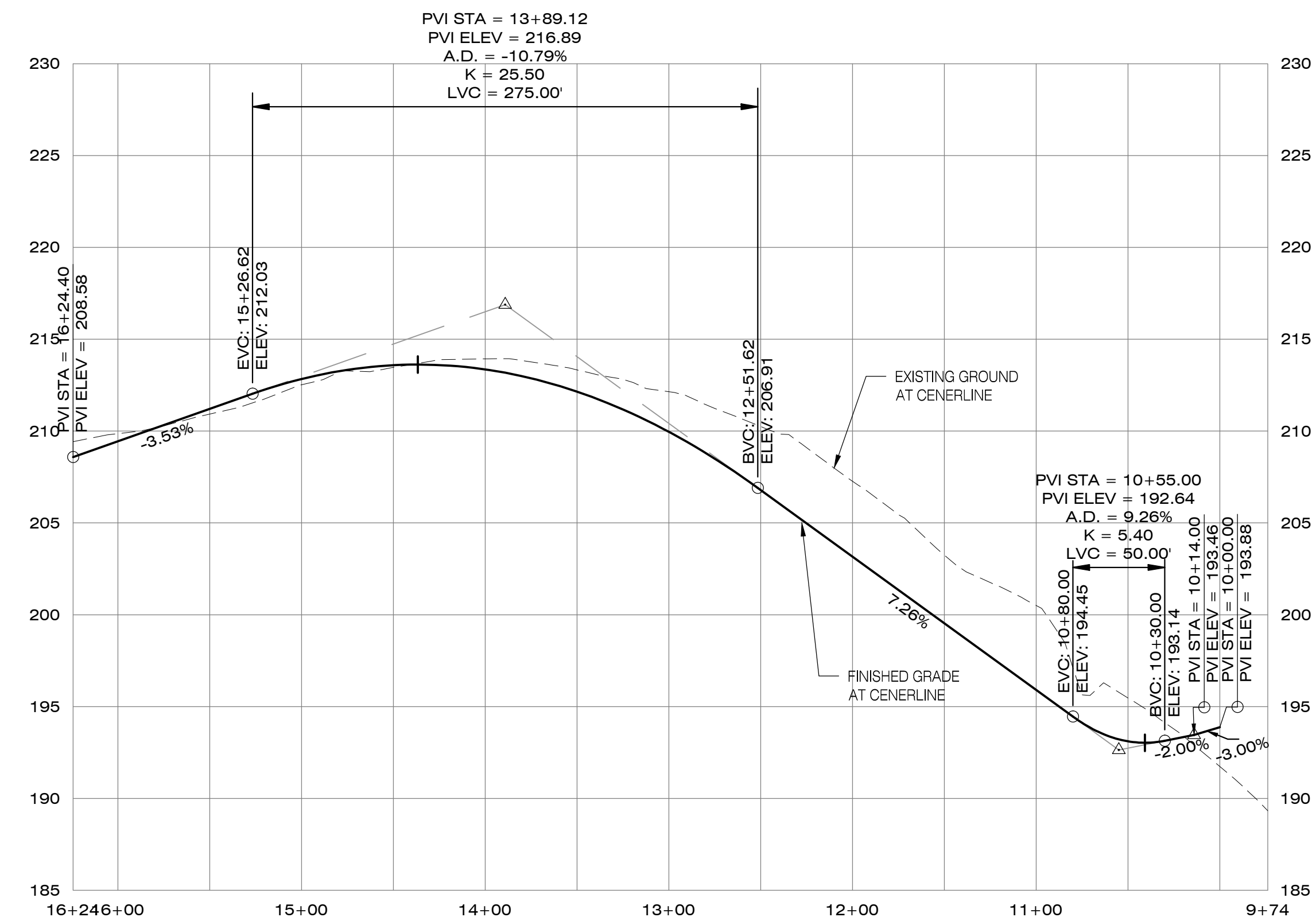
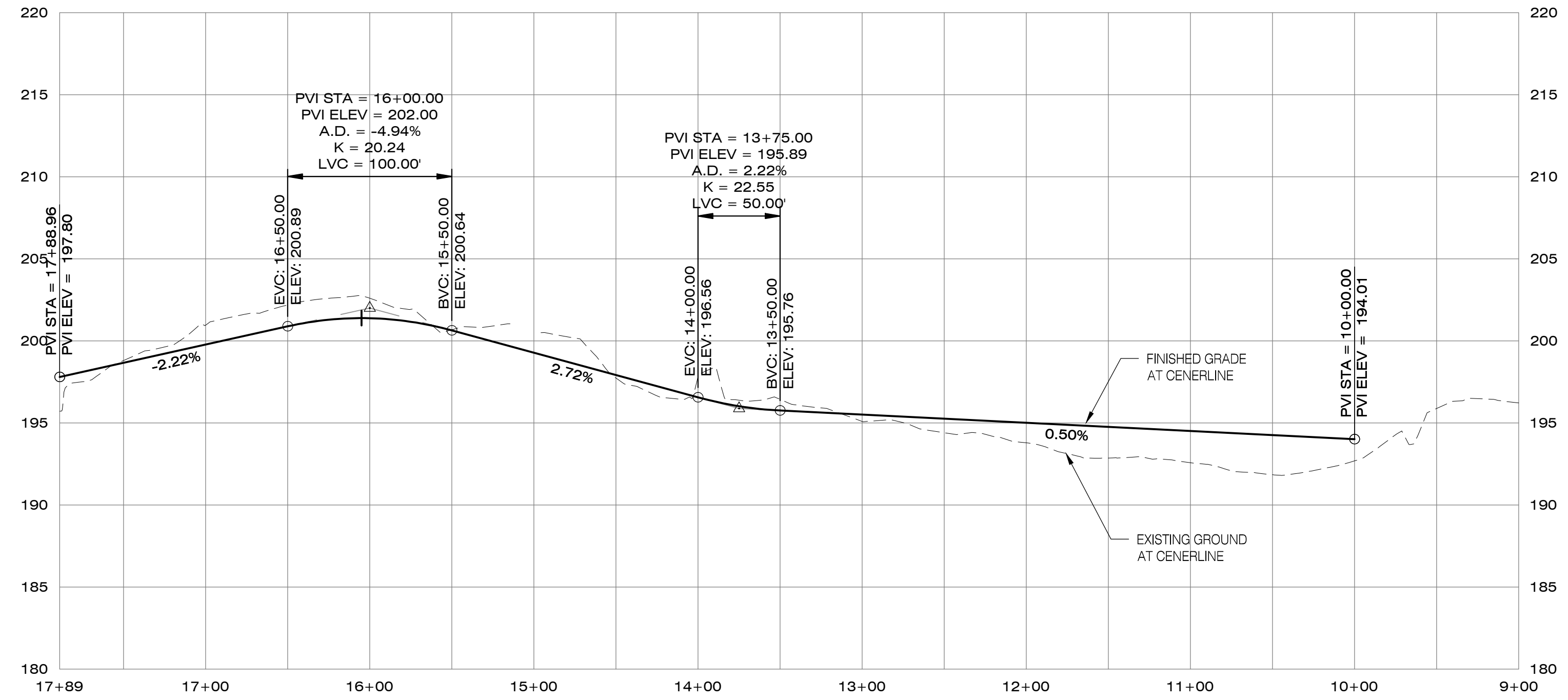
TYPICAL STREET SECTIONS

RIVERSIDE AT CEDAR CREEK
 CITY OF SHERWOOD, OREGON

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Project
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No.
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PRELIMINARY STREET PROFILES
RIVERSIDE AT CEDAR CREEK
CITY OF SHERWOOD, OREGON

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MIDDLEBROOK SUBDIVISION
(BY OTHERS)

SW TRILLIUM LANE

MIDDLEBROOK SUBDIVISION
(BY OTHERS)

SW WAPATO LAKE DR.

SW BROOKMAN ROAD

LEGEND

- PROPOSED EASEMENT LINE
- PROPOSED CENTERLINE
- PROPOSED RIGHT-OF-WAY
- PROPOSED LOT LINE
- BOUNDARY LINE
- PROPOSED CONCRETE SIDEWALK
- PROPOSED PAVEMENT
- PROPOSED STANDARD CURB
- PROPOSED STORM LINE & MANHOLE
- PROPOSED SANITARY LINE & MANHOLE
- PROPOSED 1" WATER SERVICE & METER
- PRELIMINARY STREET LIGHT LOCATIONS

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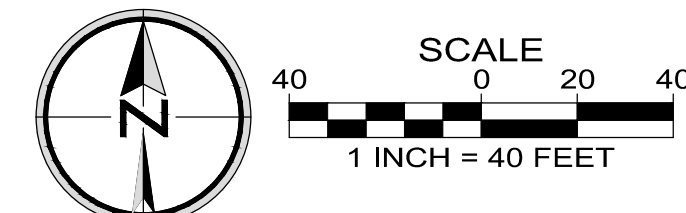
PRELIMINARY COMPOSITE
UTILITY PLAN

RIVERSIDE AT CEDAR CREEK
CITY OF SHERWOOD, OREGON

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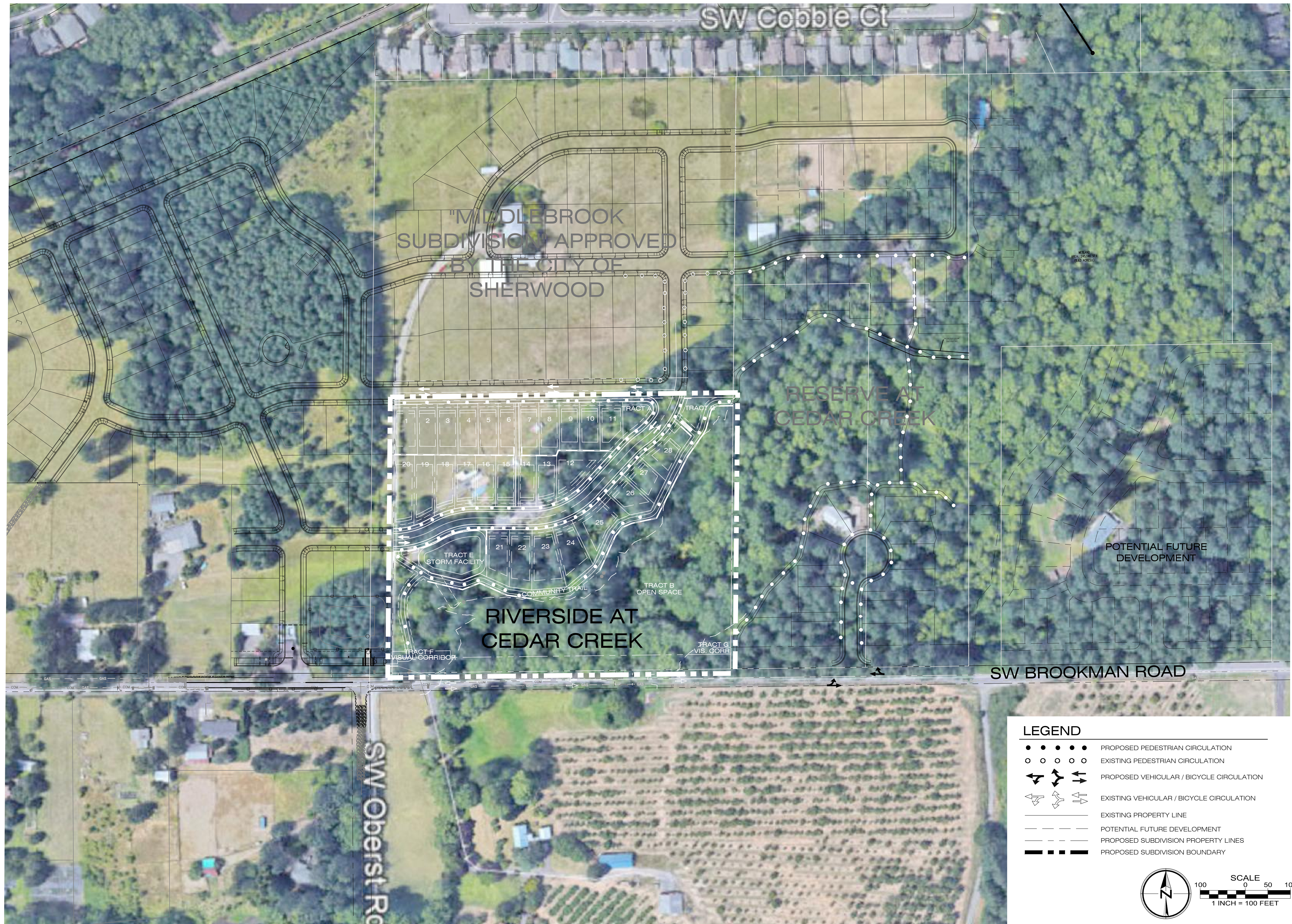
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SHERWOOD CASEFILE #

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CIRCULATION & FUTURE DEVELOPMENT PLAN
 RIVERSIDE AT CEDAR CREEK
 CITY OF SHERWOOD, OREGON

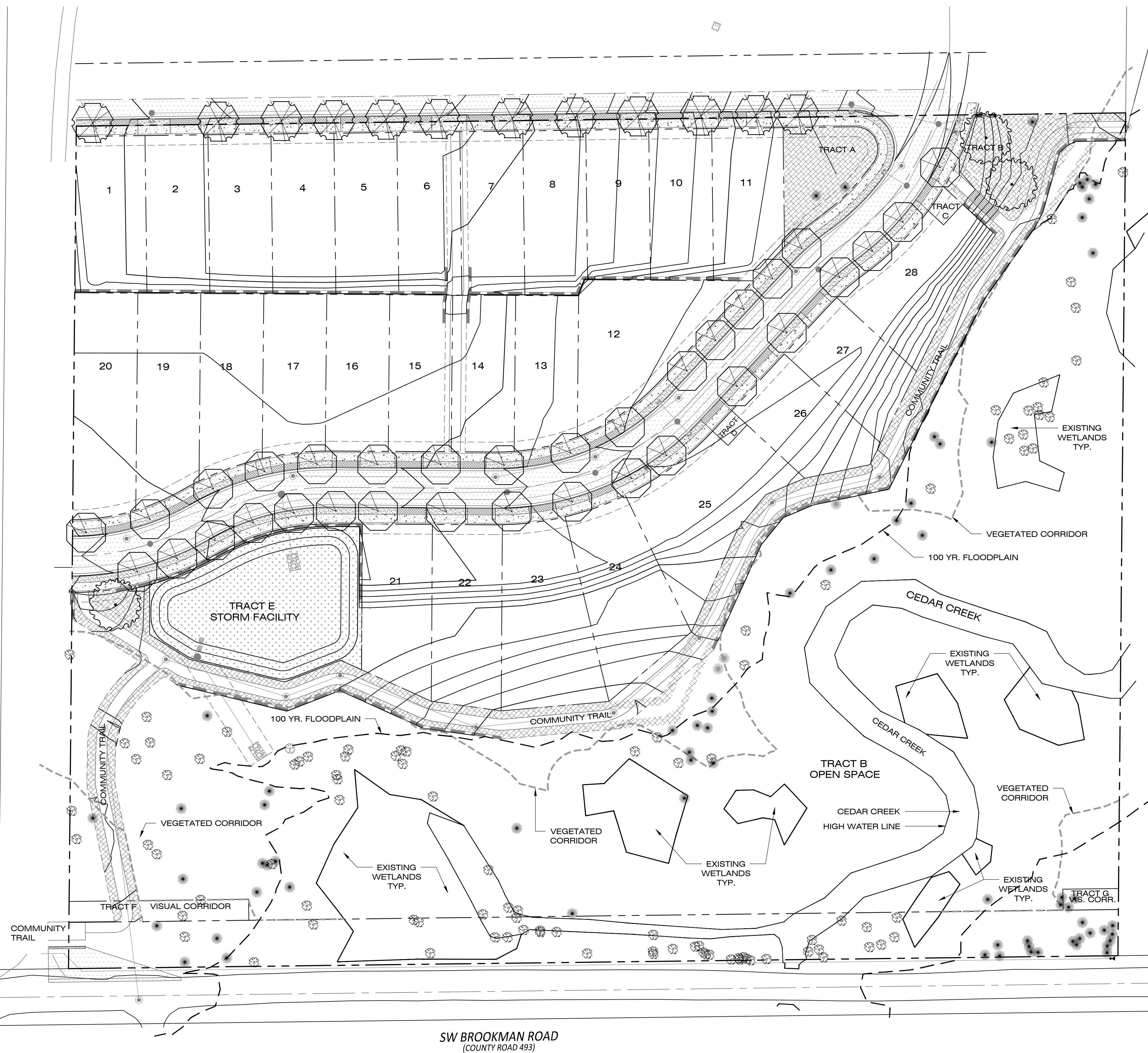
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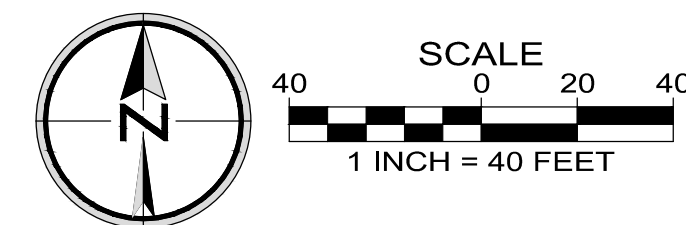
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SHERWOOD CASEFILE #

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SW BROOKMAN ROAD
(COUNTY ROAD 493)



SHERWOOD CASEFILE #

NOTES:

1. SEE SHEET L2 FOR LANDSCAPE PLANTING LEGENDS, NOTES & DETAILS
2. SEE CITY OF SHERWOOD STREET TREE DETAIL SHEET L2 FOR ALL STREET TREES.
3. A PERMANENT UNDERGROUND IRRIGATION SYSTEM WILL BE PROVIDED FOR ALL STREET TREE LAWN AREAS. TO BE DESIGN BUILD BY LANDSCAPE CONTRACTOR.
4. ALL STREET TREES ARE TO BE INSTALLED WITH A GEO TEXTILE ROOT CONTROL SYSTEM PER CITY OF SHERWOOD DETAIL SHEET L2.
5. SEE CIVIL PLANS FOR TREE PRESERVATION & REMOVAL PLAN.
6. CONTOURS SHOWN AT 2' AND 10' INTERVALS.

LEGEND:

- SEE SHEET L2 FOR OPENSACE PROPOSED PLANTING LEGEND
- EXISTING TREES TO REMAIN - SEE TREE PRESERVATION AND REMOVAL PLANS

GENERAL NOTES: LANDSCAPE PLAN:

1. THE CONTRACTOR SHALL VERIFY WITH OWNER AND UTILITY COMPANIES THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL DETERMINE IN THE FIELD THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL CALL UTILITY PROTECTION SERVICE 72 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL EXAMINE FINISH SURFACE, GRADES, TOPSOIL QUALITY AND DEPTH. DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
2. CONTRACTOR TO REPORT ALL DAMAGES TO EXISTING CONDITIONS AND INCONSISTENCIES WITH PLANS TO ODR.
3. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN ALL LANDSCAPED AREAS. CONTRACTOR TO FINE GRADE AND ROCK-HOUND ALL TURF AREAS PRIOR TO SEEDING. TO PROVIDE A SMOOTH AND CONTINUAL SURFACE, FREE OF IRREGULARITIES (BUMPS OR DEPRESSIONS) & EXTRANEOUS MATERIAL OR DEBRIS. QUANTITIES SHOWN ARE INTENDED TO ASSIST CONTRACTOR IN EVALUATING THEIR OWN TAKE-OFFS AND ARE NOT GUARANTEED AS ACCURATE REPRESENTATIONS OF REQUIRED MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS BID QUANTITIES AS REQUIRED BY THE PLANS AND SPECIFICATIONS. IF THERE IS A DISCREPANCY BETWEEN THE NUMBER LABELED ON THE PLANT TAG AND THE QUANTITY OF GRAPHIC SYMBOLS SHOWN, THE GRAPHIC SYMBOL QUANTITY SHALL GOVERN.
4. COORDINATE LANDSCAPE INSTALLATION WITH INSTALLATION OF UNDERGROUND SPRINKLER AND DRAINAGE SYSTEMS.
5. WITH THE EXCEPTION OF THOSE TREES INDICATED ON THE TREE REMOVAL PLAN, CONTRACTOR SHALL NOT REMOVE ANY TREES DURING CONSTRUCTION WITHOUT THE EXPRESS WRITTEN CONSENT OF THE ODR. EXISTING VEGETATION TO REMAIN SHALL BE PROTECTED AS DIRECTED BY THE ODR.
6. WHERE PROPOSED TREE LOCATIONS OCCUR UNDER EXISTING OVERHEAD UTILITIES OR CROWD EXISTING TREES, NOTIFY ODR TO ADJUST TREE LOCATIONS.
7. LANDSCAPE MAINTENANCE PERIOD BEGINS IMMEDIATELY AFTER THE COMPLETION OF ALL PLANTING OPERATIONS AND WRITTEN NOTIFICATION TO THE ODR. MAINTAIN TREES, SHRUBS, LAWNS AND OTHER PLANTS UNTIL FINAL ACCEPTANCE OR 90 DAYS AFTER NOTIFICATION AND ACCEPTANCE, WHICHEVER IS LONGER.
8. REMOVE EXISTING WEEDS FROM PROJECT SITE PRIOR TO THE ADDITION OF ORGANIC AMENDMENTS AND FERTILIZER. APPLY AMENDMENTS AND FERTILIZER PER THE RECOMMENDATIONS OF THE SOIL ANALYSIS FROM THE SITE.
9. BACK FILL MATERIAL FOR TREE AND SHRUB PLANTING SHALL CONTAIN: ONE PART FINE GRADE COMPOST TO ONE PART TOPSOIL BY VOLUME, BONE MEAL PER MANUFACTURER'S RECOMMENDATION, AND SLOW RELEASE FERTILIZER PER MANUFACTURER'S RECOMMENDATION.
10. CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FOR ALL PLANT MATERIAL SUBSTITUTIONS FROM THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. PLANT SUBSTITUTIONS WITHOUT PRIOR WRITTEN APPROVAL THAT DO NOT COMPLY WITH THE DRAWINGS AND SPECIFICATIONS MAY BE REJECTED BY THE LANDSCAPE ARCHITECT AT NO COST TO THE OWNER. THESE ITEMS MAY BE REQUIRED TO BE REPLACED WITH PLANT MATERIALS THAT ARE IN COMPLIANCE WITH THE DRAWINGS.
11. ALL PLANT MATERIALS SHALL BE NURSERY GROWN WITH HEALTHY ROOT SYSTEMS AND FULL BRANCHING, DISEASE AND INSECT FREE AND WITHOUT DEFECTS SUCH AS SUN SCALD, ABRASIONS, INJURIES AND DISFIGUREMENT.
12. ALL PLANT MATERIAL SHALL BE INSTALLED AT THE SIZE AND QUANTITY SPECIFIED. THE LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR SUB-STANDARD RESULTS CAUSED BY REDUCTION IN SIZE AND/OR QUANTITY OF PLANT MATERIALS.

PRELIMINARY STREET TREE & OPEN SPACE PLANTING PLAN

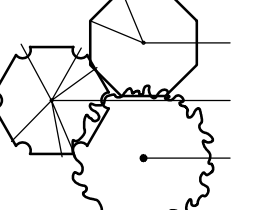


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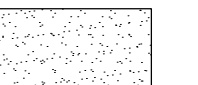
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PLANTING LEGEND







PROPOSED STREET / OPENSACE TREES

| SYMBOL | QTY | COMMON NAME / BOTANICAL NAME | SIZE | CANOPY AREA | TOTAL CANOPY AREA |
|---|-----|---|----------------------------|-------------|-------------------|
|  | 33 | PYRAMIDAL HORNBEAM / CARPINUS BETULUS PYRAMIDALIS | 2" CAL., B&B - MIN. 6' HT. | 1,256 S.F. | 41,448 S.F. |
|  | 12 | AMERICAN LINDEN / TILIA AMERICANA | 2" CAL., B&B - MIN. 6' HT. | 1,256 S.F. | 15,072 S.F. |
|  | 3 | OREGON WHITE OAK / QUERCUS GARYANNA | 2" CAL., B&B - MIN. 6' HT. | 1,963 S.F. | 5,889 S.F. |
| | | | | | 62,409 S.F. |

| | | |
|---|------------|------------|
|  | 6,840 S.F. | LAWN / SOD |
|---|------------|------------|

OPENSACE PROPOSED PLANTING LEGEND

TREES

| SYMBOL | COMMON NAME / BOTANICAL NAME | SIZE |
|---|---|----------------------------|
|  | CHINESE KOUSA DOGWOOD / CORNUS KOUSA CHINESIS | 2" CAL., B&B - MIN. 6' HT. |
|  | DOUGLAS FIR / PSEUDOTSUGA MENZIESII | 2" CAL., B&B - MIN. 6' HT. |
|  | TULIP TREE / LIRIODENDRON TULIPIFERA | 2" CAL., B&B - MIN. 6' HT. |
|  | WESETERN RED CEDAR / THUJA PLICATA | 2" CAL., B&B - MIN. 6' HT. |
|  | BIG LEAF MAPLE / ACER MACROPHYLLUM | 2" CAL., B&B - MIN. 6' HT. |
|  | OREGON WHITE OAK / QUERCUS GARRYANA | 6-8' HT., B&B |
| | INCENSE CEDAR / CALOCEDRUS DECURRENS | 8-10' HT., B&B |

SHRUBS

| COMMON NAME / BOTANICAL NAME | SIZE |
|--|--------|
| ANTHONY WATERER SPIREA / SPIREA BUMALDA 'ANTHONY WATERER' | 2 GAL. |
| 'CRIMSON PYGMY' BARBERRY / BERBERIS THUNBERGII 'CRIMSON PYGMY' | 2 GAL. |
| DAVID VIBURNUM / VIBURNUM DAVIDII | 2 GAL. |
| DWARF BURNING BUSH / EUONYMUS ALATA 'COMPACTA' | 2 GAL. |
| DOUBLFILE VIBURNUM / VIBURNUM P. TOMENTOSUM | 2 GAL. |
| FOREST FLAME PIERIS / PIERIS JAPONICA 'FOREST FLAME' | 2 GAL. |
| KELSEY'S DWARF RED-OSIER / DOGWOOD CORNUS SERICEA 'KELSEY' | 2 GAL. |
| OTTO LUYKEN CHERRY LAUREL / PRUNUS LAUROCERASUS 'OTTO LUYKEN' | 2 GAL. |
| REDTWIG DOGWOOD / CORNUS STOLONIFERA | 2 GAL. |
| RENAISSANCE SPIREA / SPIREA VANHOUTTEI 'RENAISSANCE' | 2 GAL. |
| RHODODENDRON 'JEAN MARIE DE MONTEGUE' | 2 GAL. |

LAWN AND GROUND COVER

COMMON NAME / BOTANICAL NAME: SIZE AND DESCRIPTION

PRO-TIME 309 (SUPREME MIX) GRASS SEED BY HOBBS AND HOPKINS, LTD. AT A RATE OF 8 LBS/1000 SQUARE FEET.

GRASS SEED

CLEAN WATER 'LOWGROW' SEED MIX: 120 LB PER ACRE

| | |
|---|-----|
| DWARF TALL FESCUE / FESTUCA ARUNDINACEA | 40% |
| PR8820 DWARF PERENNIAL RYEGRASS / LOLIUM PERENNE 'PR8820' | 30% |
| CREEPING RED FESCUE / FESTUCA RUBRA | 25% |
| HIGHLAND COLONIAL BENTGRASS / AGROSTIS TENUIS 'HIGHLAND' | 05% |



*APPLY WITH 3/8" THICK COVER OF GREEN DUEED FINE GROUND WOOD CELLULOSE MULCH. PROVIDE 100% EROSION AND WEED FREE COVERAGE. RE-SEED AND WEED AS NEEDED.

NOTE:

1. LANDSCAPE AREAS WILL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM DESIGNED BY CONTRACTOR. CONTRACTOR WILL PROVIDE MATERIALS AND INSTALL ALL IRRIGATION DOWNSTREAM OF THE WATER METER.

PROPOSED STORMWATER FACILITIES - PLANTING LEGEND TRACTS 'B' & 'D'

TREES

| SYMBOL | COMMON NAME / BOTANICAL NAME: SIZE AND DESCRIPTION | CONDITION |
|---|---|-----------|
|  | OREGON ASH / FRAXINUS LATIFOLIA: 2 GAL. / 3' HT. | MOIST |
|  | BITTER CHERRY / PRUNUS EMARGINATA 'MOLLIS': 2 GAL. / 3' HT. | MOIST |
| | VINE MAPLE / ACER CIRCINATUM: 2 GAL. / 3' HT. | MOIST |

SHRUBS

| COMMON NAME / BOTANICAL NAME: SIZE AND DESCRIPTION | CONDITION |
|--|-----------|
| MOCK ORANGE / PHILADELPHUS LEWISII: 1 GAL. / 2' HT. / CLUSTER | WET/DRY |
| RED TWIG DOGWOOD / CORNUS SERICEA: 1 GAL. / 2' HT. / CLUSTER | WET/DRY |
| PACIFIC NINEBARK / PHYSOCARPUS CAPITATUS: 1 GAL. / 2' HT. / SINGLE | MOIST |
| CLUSTER ROSE / ROSA PISOCARPA: 1 GAL. / 1.5' HT. / CLUSTER | MOIST |
| DOUGLAS SPIREA / SPIREA DOUGLASII: 1 GAL. / 1.5' HT. / CLUSTER | WET |

HERBACEOUS PLANTS

| COMMON NAME / BOTANICAL NAME: SIZE AND DESCRIPTION | CONDITION |
|--|-----------|
| SPREADING RUSH / JUNCUS PATENS: PLUGS 1"x6" | MOIST |
| SLOUGH SEDGE / CAREX OBNUPTA: PLUGS 1"x6" | MOIST |

GRASS SEED

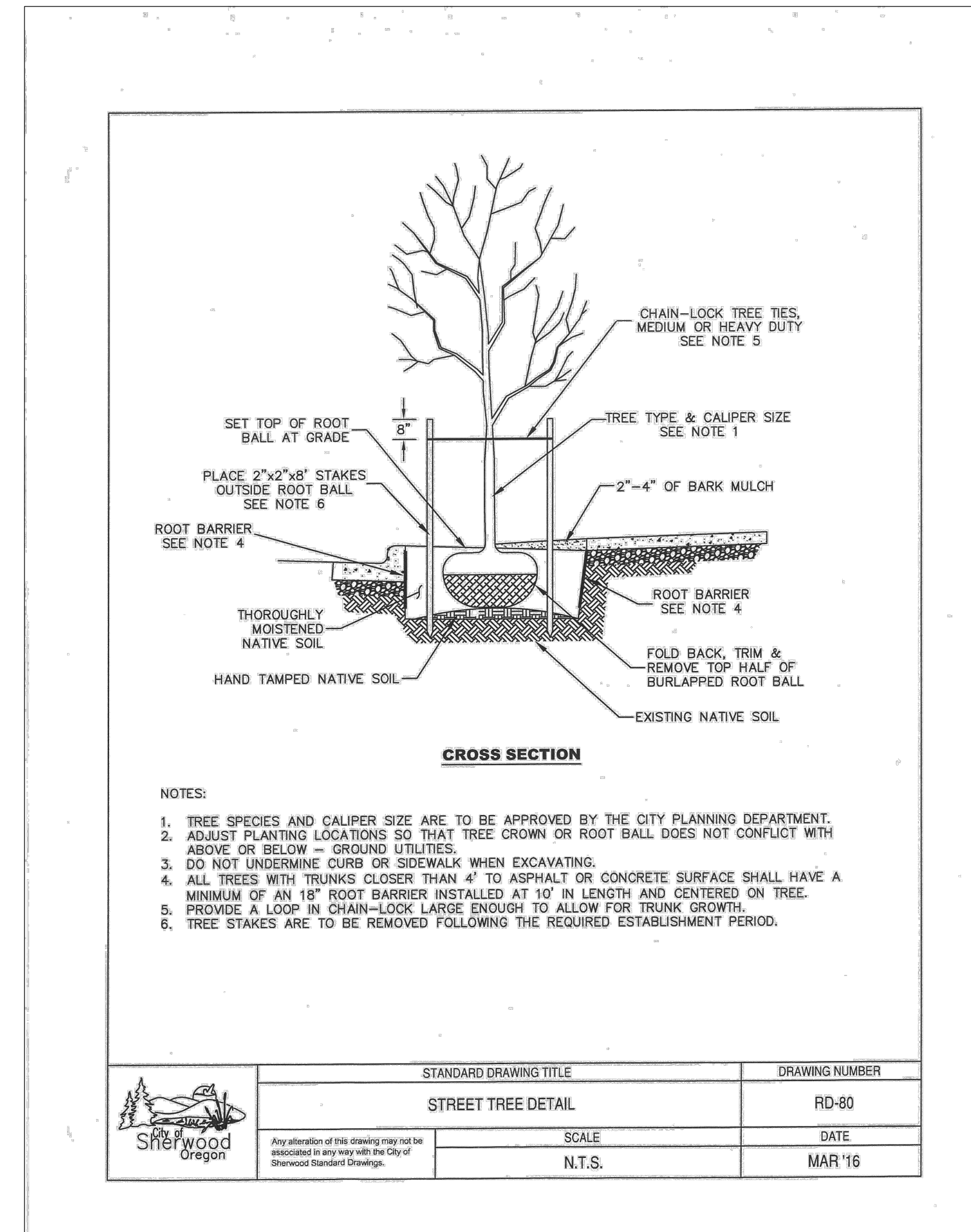
CLEAN WATER 'LOWGROW' SEED MIX: 120 LB PER ACRE

| | |
|---|-----|
| DWARF TALL FESCUE / FESTUCA ARUNDINACEA | 40% |
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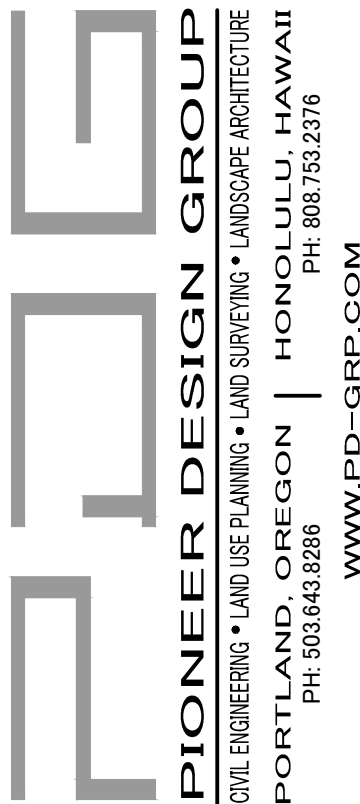
NOTES:

- ALL STORMWATER REQUIREMENTS INDICATED ARE IN ACCORDANCE WITH CLEAN WATER SERVICES (CWS) R&O 17-05; APPENDIX A - PLANTING REQUIREMENTS.
- CONTOURS SHOWN AT 2' & 10' INTERVALS
- WATER QUALITY FACILITY PLANT MATERIAL SHALL BE PROVIDED WITH A TEMPORARY AUTOMATIC IRRIGATION SYSTEM DESIGNED BY CONTRACTOR. CONTRACTOR WILL PROVIDE MATERIALS AND INSTALL ALL IRRIGATION DOWNSTREAM OF THE WATER METER. TEMPORARY IRRIGATION SYSTEM SHALL BE MAINTAINED A MINIMUM OF THREE (3) GROWING SEASONS.



C.W.S. CONDITIONS FOR STORMWATER FACILITY:

- CLEAN WATER SERVICES SHALL BE NOTIFIED 72 HOURS PRIOR TO THE START AND COMPLETION OF ENHANCEMENT/RESTORATION ACTIVITIES. ENHANCEMENT/RESTORATION ACTIVITIES SHALL COMPLY WITH THE GUIDELINES PROVIDED IN APPENDIX A: LANDSCAPE REQUIREMENTS (R&O 17-05: APPENDIX A).
- PRIOR TO INSTALLATION OF PLANT MATERIALS, ALL INVASIVE VEGETATION SUCH AS HIMALAYAN BLACKBERRY, ENGLISH IVY, AND ENGLISH HAWTHORN, WITHIN THE VEGETATED CORRIDOR SHALL BE REMOVED. DURING REMOVAL OF INVASIVE VEGETATION CARE SHALL BE TAKEN TO MINIMIZE IMPACTS TO EXISTING NATIVE TREES AND SHRUB SPECIES.
- PLANTINGS SHALL BE TAGGED FOR DORMANT SEASON IDENTIFICATION. TAGS TO REMAIN ON PLANT MATERIAL AFTER PLANTING FOR MONITORING PURPOSES.
- AN APPROVED OREGON DEPARTMENT OF FORESTRY NOTIFICATION IS REQUIRED FOR ONE OR MORE TREES HARVESTED FOR SALE, TRADE, OR BARTER, ON ANY NON-FEDERAL LANDS WITHIN THE STATE OF OREGON.
- APPROPRIATE BEST MANAGEMENT PRACTICES (BMPs) FOR EROSION CONTROL, IN ACCORDANCE WITH THE CWS EROSION CONTROL TECHNICAL GUIDANCE MANUAL SHALL BE USED PRIOR TO, DURING, AND FOLLOWING EARTH DISTURBING ACTIVITIES.
- PRIOR TO CONSTRUCTION, A STORM WATER CONNECTION PERMIT FROM THE DISTRICT OR ITS DESIGNEE IS REQUIRED PURSUANT TO ORDINANCE 27, SECTION 4.B.
- REMOVAL OF NATIVE, WOODY VEGETATION SHALL BE LIMITED TO THE GREATEST EXTENT PRACTICABLE.
- SHOULD FINAL DEVELOPMENT PLANS DIFFER SIGNIFICANTLY FROM THOSE SUBMITTED FOR REVIEW BY THE DISTRICT, THE APPLICANT SHALL PROVIDE UPDATED DRAWINGS, AND IF NECESSARY, OBTAIN A REVISED SERVICE PROVIDER LETTER.
- MAINTENANCE AND MONITORING REQUIREMENTS SHALL COMPLY WITH SECTION 2.11.2 OF R&O 17-05. IF AT ANY TIME DURING THE WARRANTY PERIOD THE LANDSCAPING FALLS BELOW THE 80% SURVIVAL LEVEL, THE OWNER SHALL REINSTALL ALL DEFICIENT PLANTING AT THE NEXT APPROPRIATE PLANTING OPPORTUNITY AND THE TWO YEAR MAINTENANCE PERIOD SHALL BEGIN AGAIN FROM THE DATE OF REPLANTING.
- THE WATER QUALITY SWALE SHALL BE PLANTED WITH DISTRICT APPROVED NATIVE SPECIES, AND DESIGNED TO BLEND INTO THE NATURAL SURROUNDINGS.
- SITE PREPARATIONS:** REMOVE ALL NONNATIVE PLANT MATERIALS, INCLUDING PLANTS, ROOTS, AND SEEDS PRIOR TO ADDING TOPSOIL. (SEE IVAM GUIDELINES) TILL THE SUB-GRADE IN THESE AREAS TO A DEPTH OF AT LEAST 4" AND ADD AT LEAST 12" OF CLEAN COMPOST-AMENDED TOPSOIL. THE COMPOST AMENDED TOPSOIL SHALL HAVE THE FOLLOWING CHARACTERISTICS TO ENSURE A GOOD GROWING MEDIUM:
A) TEXTURE - MATERIAL PASSES THROUGH ONE-INCH SCREEN
B) FERTILITY - 35% ORGANIC MATTER.
- SOIL PREPARATION:** TO ENSURE ORGANIC MATTER, LEAF COMPOST MAYBE PLACED UNIFORMLY ON TOPSOIL. OTHER AMENDMENT, CONDITIONERS, BIO-AMENDMENTS MAY BE ADDED AS NEEDED TO SUPPORT THE SPECIFIED PLANTS OR ADJUST THE SOIL PH. TRADITIONAL FERTILIZATION TECHNIQUES (APPLYING N-P-K) ARE NOT NECESSARY FOR NATIVE PLANTS AND SHOULD NOT BE USED.
- TIMING:** CONTAINER STOCK SHALL BE INSTALLED ONLY FROM FEBRUARY 1 THROUGH MAY 1 AND OCTOBER 1 THROUGH NOVEMBER 15. BARE ROOT STOCK SHALL BE INSTALLED ONLY FROM DECEMBER 15 THOUGH APRIL 15. PLANTINGS OUTSIDE THESE TIMES MAY REQUIRE, ADDITIONAL MEASURES TO ENSURE SURVIVAL.
- EROSION CONTROL:** GRADING, SOIL PREPARATION, AND SEEDING SHALL BE PERFORMED DURING OPTIMAL WEATHER CONDITIONS AND AT LOW FLOW LEVELS TO MINIMIZE SEDIMENT IMPACTS. SITE DISTURBANCE SHALL BE MINIMIZED AND DESIRABLE VEGETATION RETAINED, WHERE POSSIBLE. SLOPES SHALL BE GRADED TO SUPPORT THE ESTABLISHMENT OF VEGETATION. WHERE SEEDING IS USED FOR EROSION CONTROL, AN APPROPRIATE NATIVE GRASS, REGREEN (OR ITS EQUIVALENT), OR STERILE WHEAT SHALL BE USED TO STABILIZE SLOPES UNTIL PERMANENT VEGETATION IS ESTABLISHED. BIODEGRADABLE FABRICS (COIR, COCONUT OR APPROVED JUTE MATTING (MINIMUM 1/4" SQUARE HOLES) MAY BE USED TO STABILIZE SLOPES AND CHANNELS. FABRICS SUCH AS BURLAP MAY BE USED TO SECURE PLANT PLUGS IN PLACE AND TO DISCOURAGE FLOATING UPON INUNDATION. NO PLASTIC MESH THAT CAN ENTANGLE WILDLIFE IS PERMITTED. CONSULT CHAPTER 6 - EROSION PREVENTION AND SEDIMENT CONTROL FOR ADDITIONAL INFORMATION.
- MULCHING:** TREES, SHRUBS, AND GROUNDCOVERS PLANTED IN UPLAND AREAS SHALL BE MULCHED A MINIMUM OF THREE INCHES IN DEPTH AND 18 INCHES IN DIAMETER, TO RETAIN MOISTURE AND DISCOURAGE WEED GROWTH AROUND NEWLY INSTALLED PLANT MATERIAL. APPROPRIATE MULCHES ARE MADE FROM COMPOSTED BARK OR LEAVES THAT HAVE NOT BEEN CHEMICALLY TREATED. THE USE OF MULCH IN FREQUENTLY INUNDATED AREAS SHALL BE LIMITED, TO AVOID ANY POSSIBLE WATER QUALITY IMPACTS INCLUDING THE LEACHING OF TANNINS AND NUTRIENTS, AND THE MIGRATION OF MULCH INTO WATERWAYS.
- PLANT PROTECTION FROM WILDLIFE:** DEPENDING ON SITE CONDITIONS, APPROPRIATE MEASURES SHALL BE TAKEN TO LIMIT WILDLIFE-RELATED DAMAGE (SEE IVAM GUIDANCE).
- IRRIGATION:** APPROPRIATE PLANT SELECTION, ALONG WITH ADEQUATE SITE PREPARATION AND MAINTENANCE, REDUCES THE NEED FOR IRRIGATION. HOWEVER, UNLESS SITE HYDROLOGY IS CURRENTLY ADEQUATE, A DISTRICT/CITY APPROVED IRRIGATION SYSTEM OR EQUIVALENT (I.E., POLYMER, PLUS WATERING) SHALL BE USED DURING THE TWO-YEAR PLANT ESTABLISHMENT PERIOD. WATERING SHALL BE AT A MINIMUM RATE OF AT LEAST ONE INCH PER WEEK FROM JUNE 15 THROUGH OCTOBER 15. OTHER IRRIGATION TECHNIQUES, SUCH AS DEEP WATERING, MAY BE ALLOWED WITH PRIOR APPROVAL BY DISTRICT STAFF.
- ACCESS:** MAINTENANCE ACCESS FOR PLANT MAINTENANCE SHALL BE PROVIDED FOR SENSITIVE AREAS AND VEGETATED CORRIDORS VIA A FIVE-FOOT EASEMENT OR SHARED BOUNDARY WITH STORMWATER FACILITIES. STORMWATER FACILITIES ACCESS REQUIREMENTS ARE PROVIDED IN CHAPTER 4 OF CWS DESIGN AND CONSTRUCTION STANDARDS MANUAL.



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PRELIMINARY PLANTING LEGENDS, DETAILS & NOTES

| Designed by | Date | Reviewed by | Date | Project No. | Horiz. Scale: | Vert. Scale: |
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|----------------|--------------------------|
| Project | RIVERSIDE AT CEDAR CREEK |
| No. | 131-025 |
| Type | PLANNING |
| Sheet | L2 |