

BRUCKER - MINOR LAND PARTITION

22545 SW PARK ST., SHERWOOD, OR 97140

FRITZIE ARCHITECTS
1118 Lafayette Avenue
Oregon City, OR 97045
503-459-8215 • lfaa@comcast.net

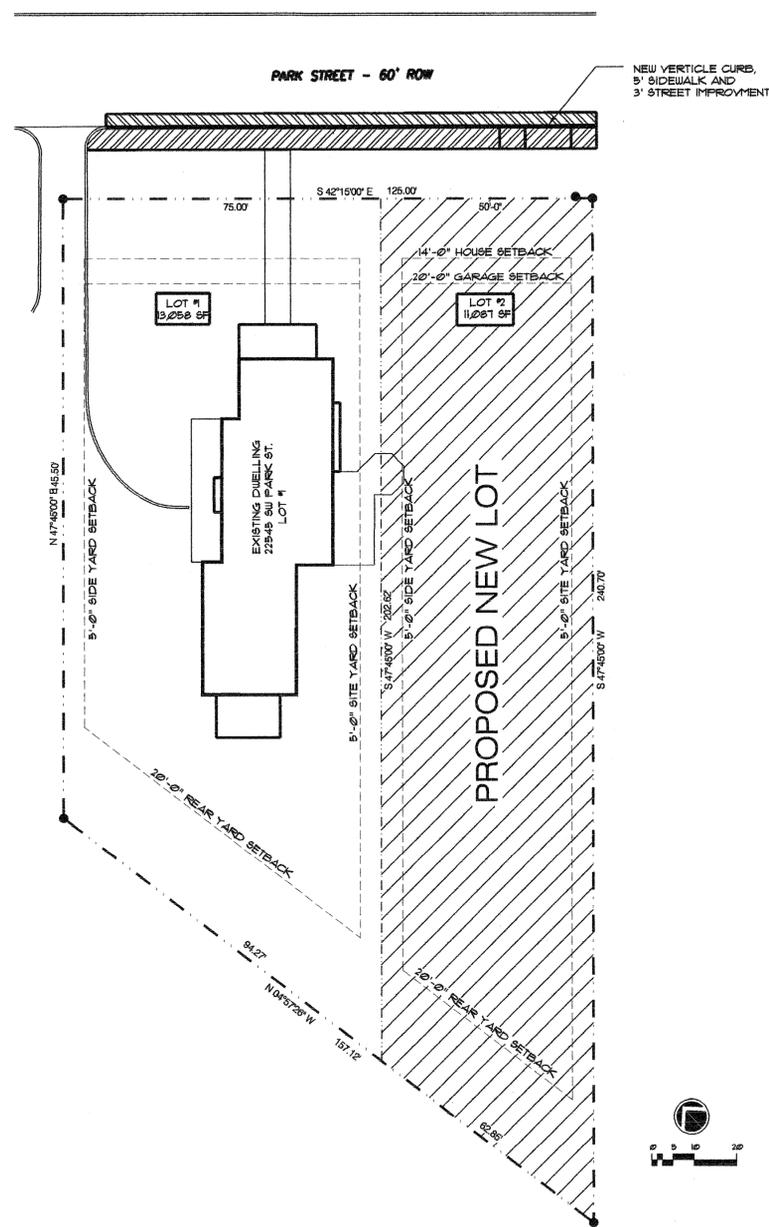
DESIGNED BY: LFF
DRAWN BY:
CHECKED BY:
REVIEWED BY:
DATE: 12-8-14
SCALE: 1" = 20'-0"

REGISTERED ARCHITECT
LARRY F. FRITZIE
PORTLAND, OREGON
Exp. 6-30-15
OF OREGON

ABBREVIATIONS

A/C	ASPHALT CONCRETE
ACT	ACOUSTICAL CEILING TILE
ADDL.	ADDITIONAL
AFF	ABOVE FINISH FLOOR
AL.	ALUMINUM
ARCH.	ARCHITECTURAL
ASSEMBLY'S	ASSEMBLY
BLDG.	BUILDING
BLK'G.	BLOCKING
BM	BEAM
BR'G.	BEARING
CB.	CATCH BASIN
C.I.P.	CAST IN PLACE
CJ	CONTROL JOINT
CL	CENTERLINE
CLG.	CEILING
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
CONC.	CONCRETE
CONT.	CONTINUOUS
C.T.	CERAMIC TILE
DF	DRINKING FOUNTAIN
DIA	DIAMETER
DN	DOWN
DR	DOOR
DET.	DETAIL
(E)	EXISTING
EA.	EACH
ELEC.	ELECTRICAL
EQ.	EQUAL
EXT.	EXTERIOR
FD	FLOOR DRAIN
FEC	FIRE EXTINGUISHER CABINET
FIN.	FINISH
FLR.	FLOOR
FOUND.	FOUNDATION
FRP	FIBERGLASS REINFORCED PLASTIC
FTG.	FOOTING
GA	GAUGE
GALV.	GALVANIZED
GLB	GLU-LAM BEAM
GWB	GYPSPUM WALL BOARD
HC	HANDICAP
HDWR	HARDWARE
HT	HOLLOW METAL
HT.	HEIGHT
INCL.	INCLUDED
INSUL.	INSULATION
INT.	INTERIOR
JAN.	JANITOR
MANUF.	MANUFACTURER
MAT.	MATERIAL
MAX.	MAXIMUM
MIN.	MINIMUM
MTD.	MOUNTED
MTL.	METAL
(N)	NEW
N.I.C.	NOT IN CONTRACT
NOM.	NOMINAL
N.T.S.	NOT TO SCALE
PEMB	PRE-ENGINEERED METAL BUILDING
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER
OPP.	OPPOSITE
OPT.	OPTIONAL
P.A.F.	POUNDER ACTUATED FASTENER
P. LAM	PLASTIC LAMINATE
REQ.	REQUIRED
S.V.	SHEET VINYL
SIM.	SIMILAR
SLD.	SLIDING
STOR.	STORAGE
S.F.	SQUARE FOOT
S.Y.	SQUARE YARD
TEMP.	TEMPERED
TYP.	TYPICAL
UNO.	UNLESS NOTED OTHERWISE
VERT.	VERTICAL
WD.	WOOD

PROPOSED MINOR LAND PARTITION



CONSULTANTS

SURVEYOR: JOHNSON LAND SURVEYING
ROBERT ALAN JOHNSON, PLS
503-401-9366
jlsurvey.com

ARCHITECT: FRITZIE ARCHITECTS
LARRY FRITZIE
503-655-3040
lfaa@comcast.net

PROJECT DESCRIPTION

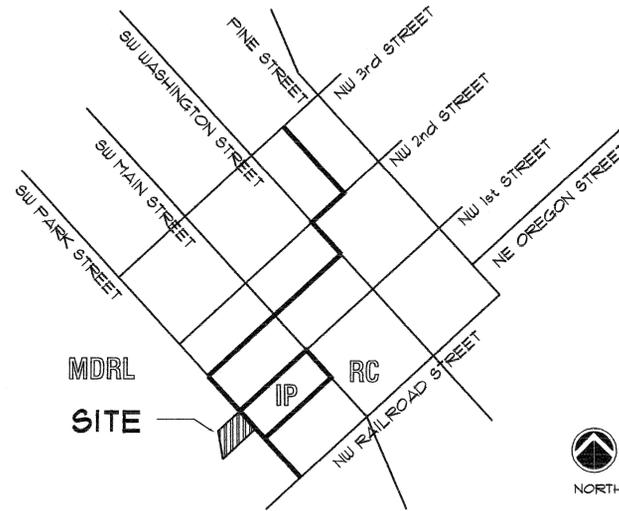
THE BRUCKER - MINOR LAND PARTITION INTENDS TO DIVIDE THEIR CURRENT RESIDENTIAL (24,145 SF) LOT WHICH INCLUDES THEIR RESIDENCE AND CREATE ONE NEW SINGLE FAMILY LOT AVAILABLE FOR DEVELOPMENT.

THE EXISTING LOT AT 24,145 SF WILL BE DIVIDED INTO (2) TWO LOTS AS FOLLOWS:

LOT 1 = 13,258 SF
WITH EXISTING RESIDENCE

LOT 2 = 11,281 SF
NEW LOT OF RECORD

VICINITY MAP



DRAWING INDEX

CS	COVER SHEET - DRAWING INDEX, SITE DATA, PROJECT DESCRIPTION, ZONING STANDARDS, & VICINITY MAP
SP0.1	SURVEY - EXISTING CONDITIONS SITE PLAN
SP0.2	SURVEY - PARTITION FLAT
SP1.1	SITE & UTILITY PLAN
SP1.2	GRADING & EROSION CONTROL SITE PLAN
SP1.3	CURB, SIDEWALK AND DRIVEWAY DETAILS
SP1.4	SITE & UTILITY DETAILS
SP1.5	SITE, UTILITY & EROSION CONTROL DETAILS

SITE DATA

SITE ADDRESS:	22545 SW PARK ST. SHERWOOD, OR 97140
OWNER & APPLICANT:	BRAD & ANN BRUCKER 22545 SW PARK ST. SHERWOOD, OR 97140
SITE AREA:	24,145 SF (.55 ACRES)
SITE ELEVATION:	195' ASL
TAX LOT ID.:	26 132BC 06000
ZONING:	MDRL

ZONING STANDARDS

MDRL	MEDIUM DENSITY RESIDENTIAL LOW
MIN. LOT SIZE:	5,000 SF
LOT WIDTH @ FRONT:	25 FT
LOT WIDTH @ BLDG.:	50 FT
MIN. LOT DEPTH:	80 FT
MAX. BLDG. HT.:	30 FT OR TWO STORIES
SETBACKS:	FRONT: 14 FT GARAGE: 20 FT SIDES: 5 FT REAR: 20 FT

BRUCKER MINOR LAND PARTITION

22545 SW PARK ST.
SHERWOOD, OREGON

MINOR LAND PARTITION

COVER SHEET

SHEET NUMBER:

CS

DESIGNED BY	LARRY F. FRITZIE
DRAWN BY	
CHECKED BY	
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SHEET NOTES:

BRUCKER MINOR LAND PARTITION
 22545 SW PARK ST.
 SHERWOOD, OREGON

MINOR PARTITION PLOT PLAN

SURVEY EXISTING SITE PLAN

SHEET NUMBER:

SPO.1

SITE PLAN FOR PARTITION FOR BRAD AND ANN BRUCKER
 OF TAX LOT 6000, IN THE NW 1/4 OF SECTION 32, T2S, R1W, WILLAMETTE MERIDIAN CITY OF SHERWOOD, WASHINGTON COUNTY, OREGON SURVEYED NOVEMBER 18, 2014

OWNER
 ANN CHRISTINE NATZKE BRUCKER
 22545 SW PARK STREET
 SHERWOOD, OR 97140
 BRAD 503-702-8207
 ANN 503-625-0818

ARCHITECT
 LARRY FRITZIE
 FRITZIE ARCHITECTS
 503-653-3040
 503-459-8215c
 lfaa@comcast.net

WASHINGTON COUNTY DEED RECORDS
 BOOK 136, PAGE 383 (1927)
 BOOK 382, PAGE 202 (1956)
 BOOK 1174, PAGE 380 (1977)
 DOCUMENT NO. 98054123
 DOCUMENT NO. 2001043467
 DOCUMENT NO. 2012-034497
 DOCUMENT NO. 2013-020569
 DOCUMENT NO. 2013-020572

WASHINGTON COUNTY SURVEY AND PLAT RECORDS
 [1] SURVEY NO. 4737 (1953)
 [2] SURVEY NO. 6038 (1956)
 [3] SURVEY NO. 10487 (1967)
 [4] PARTITION PLAT NO. 1991-101
 [5] SURVEY NO. 29212 (2003)
 [6] SURVEY NO. 30908 (2007)
 [7] SURVEY NO. 30930 (2008)

LEGEND

- CP-1 194.44' SCRIBE CONTROL POINT W/ELEVATION AND DESCRIPTION
- (A) FOUND MONUMENT HELD SET, 5/8" x 30" REBAR
- W/YPC INSCRIBED "RAJ LS 2725"
- FOUND "1-5/32" BRASS DISK "HHPR INC", SET FLUSH IN SN 30908 AS 2.00' OFFSET TO CENTERLINE OF RIGHT-OF-WAY INTERSECTIONS
- FOUND 5/8" REBAR W/YPC "AKS ENGR.", SET IN SN 29212
- FOUND 5/8" REBAR, SET IN SN 6038
- FOUND 3/4" IRON PIPE, SET IN SN 10487
- FOUND 1/2" IRON PIPE, BELIEVED SET IN SN 6038
- FOUND 3/4" IRON PIPE, SET IN SN 4737
- FOUND 1" IRON PIPE, ORIGIN UNKNOWN, LOCATED UNDER WOOD WALL
- FOUND 5/8" IRON REBAR W/YPC "CARLUE 921"
- JOINT POLE - LIGHT AND UTILITY
- UTILITY POLE
- W/DC WITH DOWN CONDUIT
- GUY WIRE ANCHOR
- TELEPHONE RISER
- JUNCTION BOX
- GAS METER
- WATER VALVE
- WATER METER
- FIRE HYDRANT
- IRRIGATION VALVE
- ROOF DRAIN
- STORM WATER CATCH BASIN
- SANITARY SEWER MANHOLE
- STORM SEWER MANHOLE
- ASPHALT
- CURB DROP
- SIGN
- AG ABOVE GROUND
- BG BELOW GROUND
- HT HUB AND TACK
- MN MAG NAIL
- NTS NOT TO SCALE
- OU ORIGIN UNKNOWN
- ROW RIGHT-OF-WAY
- SN COUNTY SURVEY NUMBER
- W/YPC WITH YELLOW PLASTIC CAP
- WP WEEP HOLE
- EVERGREEN TREE W/DIAMETER AND CANOPY
- DECIDUOUS TREE W/DIAMETER AND CANOPY
- ROCK
- GRAVEL
- CONCRETE
- TONE MARKS, POWER AND FIOS TRENCH
- TONE MARKS, NORTHWEST NATURAL GAS LINE
- TONE MARKS, FIOS
- TONE MARKS, WATER LINE
- OVERHEAD SERVICE LINES
- TONE MARKS, SANITARY SEWER
- CHAIN LINK FENCE, 3' HIGH
- PROPERTY LINE
- PARTITION LINE
- ADJACENT PROPERTY LINE
- 2.5' CONTOUR
- 0.5' CONTOUR
- SURVEYED LINE NOT TO SCALE
- MATHEMATICAL TIE LINE

NOTES

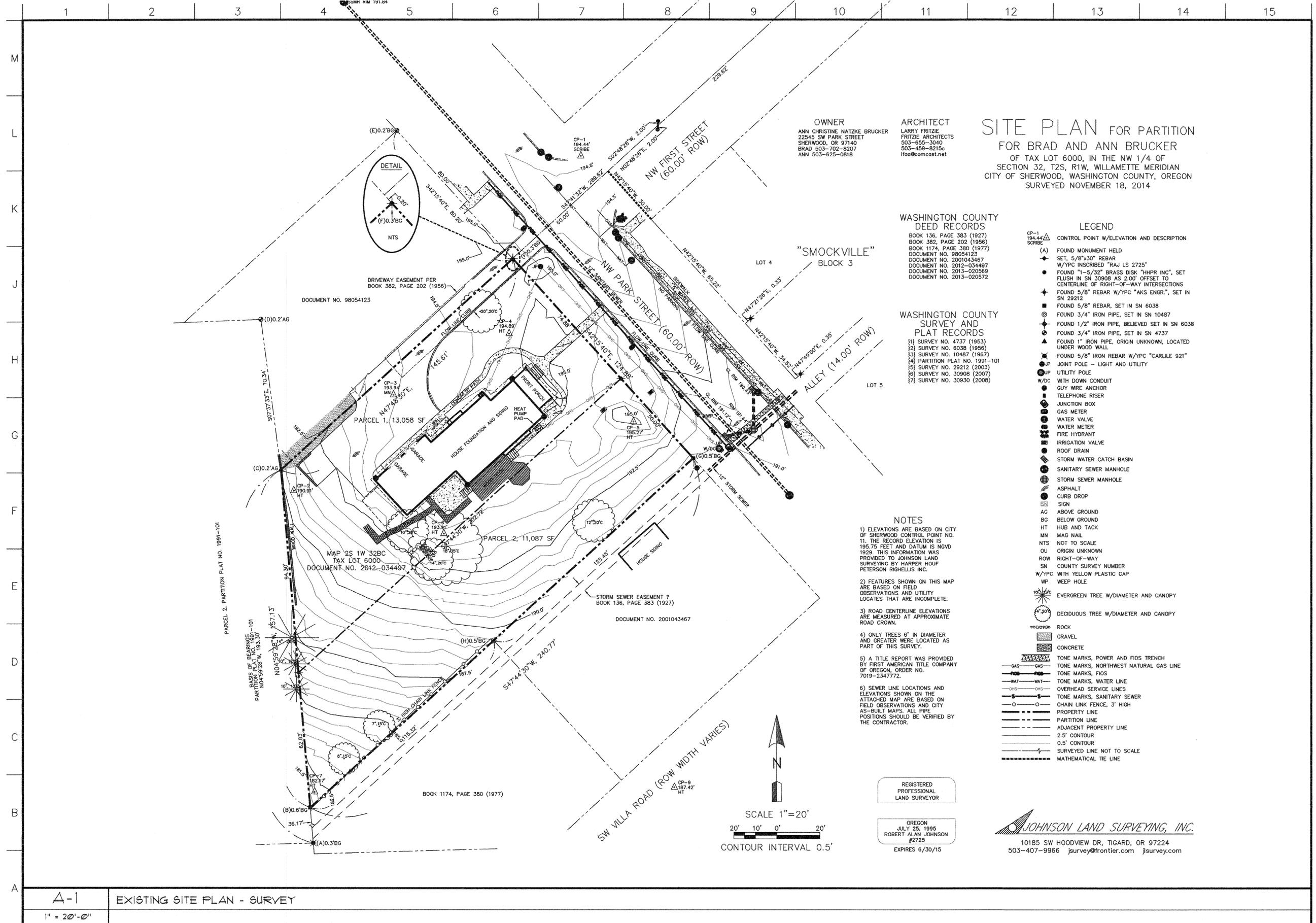
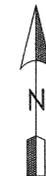
- 1) ELEVATIONS ARE BASED ON CITY OF SHERWOOD CONTROL POINT NO. 11. THE RECORD ELEVATION IS 195.75 FEET AND DATUM IS NGVD 1929. THIS INFORMATION WAS PROVIDED TO JOHNSON LAND SURVEYING BY HARPER HOUF PETERSON RIGHELLIS INC.
- 2) FEATURES SHOWN ON THIS MAP ARE BASED ON FIELD OBSERVATIONS AND UTILITY LOCATES THAT ARE INCOMPLETE.
- 3) ROAD CENTERLINE ELEVATIONS ARE MEASURED AT APPROXIMATE ROAD CROWN.
- 4) ONLY TREES 6" IN DIAMETER AND GREATER WERE LOCATED AS PART OF THIS SURVEY.
- 5) A TITLE REPORT WAS PROVIDED BY FIRST AMERICAN TITLE COMPANY OF OREGON, ORDER NO. 7019-2347772.
- 6) SEWER LINE LOCATIONS AND ELEVATIONS SHOWN ON THE ATTACHED MAP ARE BASED ON FIELD OBSERVATIONS AND CITY AS-BUILT MAPS. ALL PIPE POSITIONS SHOULD BE VERIFIED BY THE CONTRACTOR.

REGISTERED PROFESSIONAL LAND SURVEYOR

OREGON
 JULY 25, 1995
 ROBERT ALAN JOHNSON
 #2729
 EXPIRES 6/30/15

JOHNSON LAND SURVEYING, INC.
 10185 SW HOODVIEW DR, TIGARD, OR 97224
 503-407-9966 jsurvey@frontier.com jsurvey.com

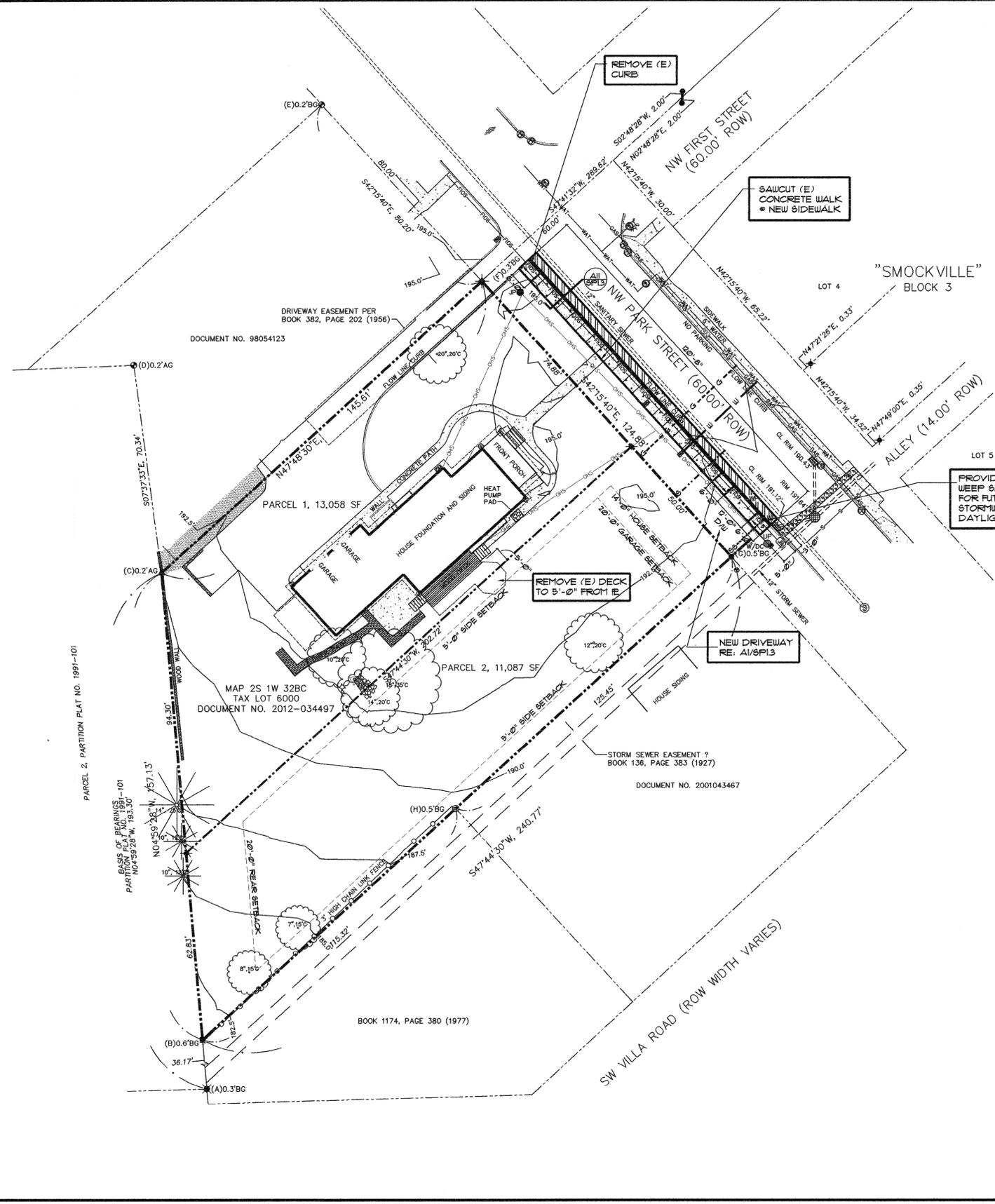
SCALE 1" = 20'
 20' 10' 0' 20'
 CONTOUR INTERVAL 0.5'



A-1 EXISTING SITE PLAN - SURVEY
 1" = 20'-0"

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15

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- LEGEND - NEW WORK**
- NEW WATER METER
 - G --- NEW GAS LINE
 - WAT --- NEW WATER LINE
 - S --- NEW SAN. SEWER LINE
 - SS --- NEW STORM SEWER LINE
 - --- SETBACK LINES
 - --- NEW CONTOUR LINES
 - --- OLD CONTOUR LINES
 - --- SILT BARRIER FENCE
 - --- BIO-BAG FILTRATION
 - --- NEW 5'-0" CONCRETE SIDEWALKS & CURBS
 - --- NEW 3'-0" STREET IMPROVEMENT

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- CP-1 194.44' Δ
SCRIBE
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UNDER WOOD WALL
- FOUND 5/8" IRON REBAR W/YPC "CARLILE 921"
- JOINT POLE - LIGHT AND UTILITY
- UTILITY POLE
- UP WITH DOWN CONDUIT
- GUY WIRE ANCHOR
- TELEPHONE RISER
- JUNCTION BOX
- GAS METER
- WATER VALVE
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MINOR LAND
PARTITION**

22545 SW PARK ST.
SHERWOOD, OREGON

**MINOR LAND
PARTITION**

**SITE & UTILITY
PLAN**

SHEET NUMBER:

SPI.1

A-1 PROPOSED SITE & UTILITY IMPROVEMENT PLAN

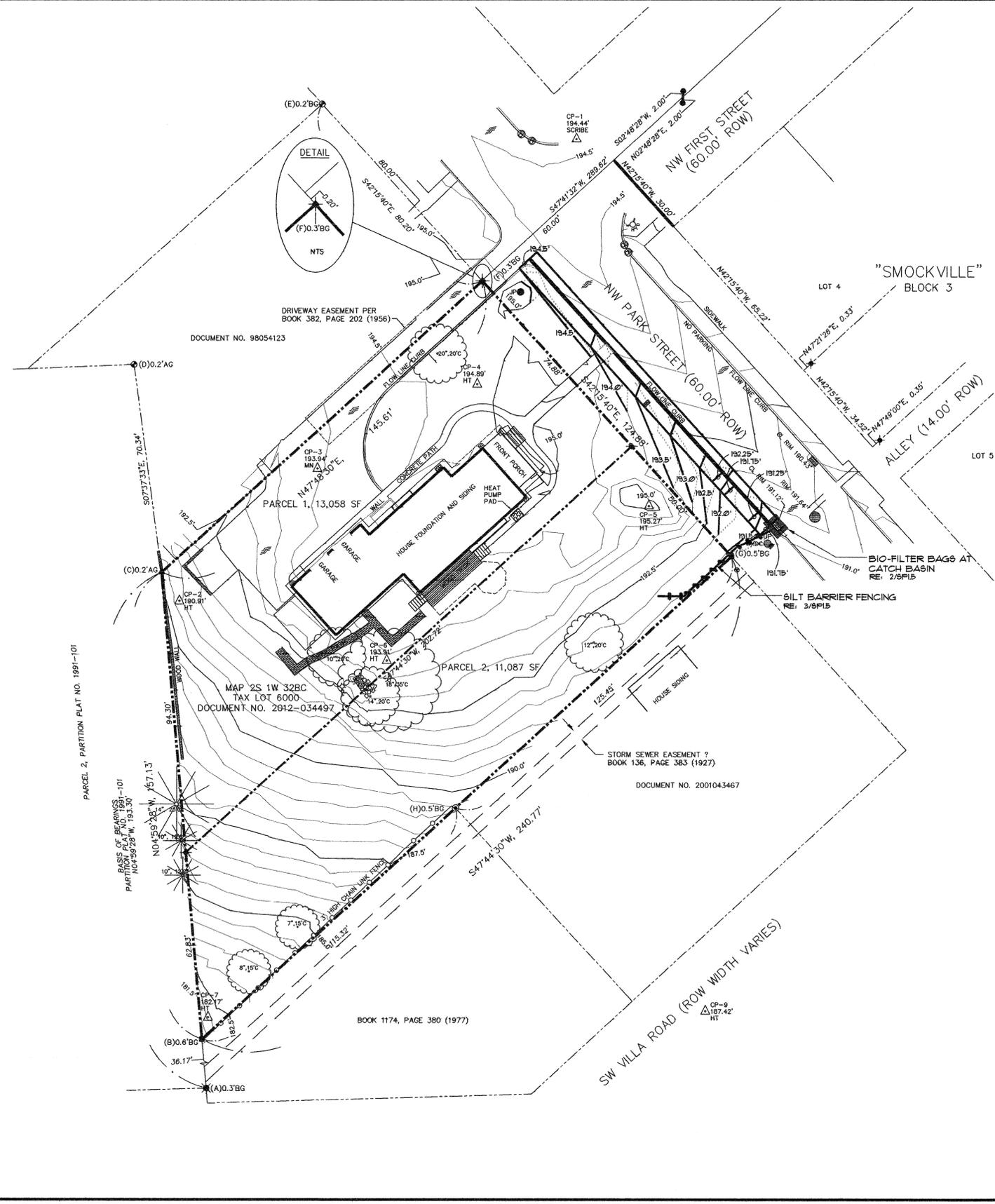
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SHEET NOTES:

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MINOR LAND PARTITION

GRADING & EROSION CONTROL PLAN

SHEET NUMBER:

SP1.2

A-1 PROPOSED SITE & UTILITY IMPROVEMENT PLAN

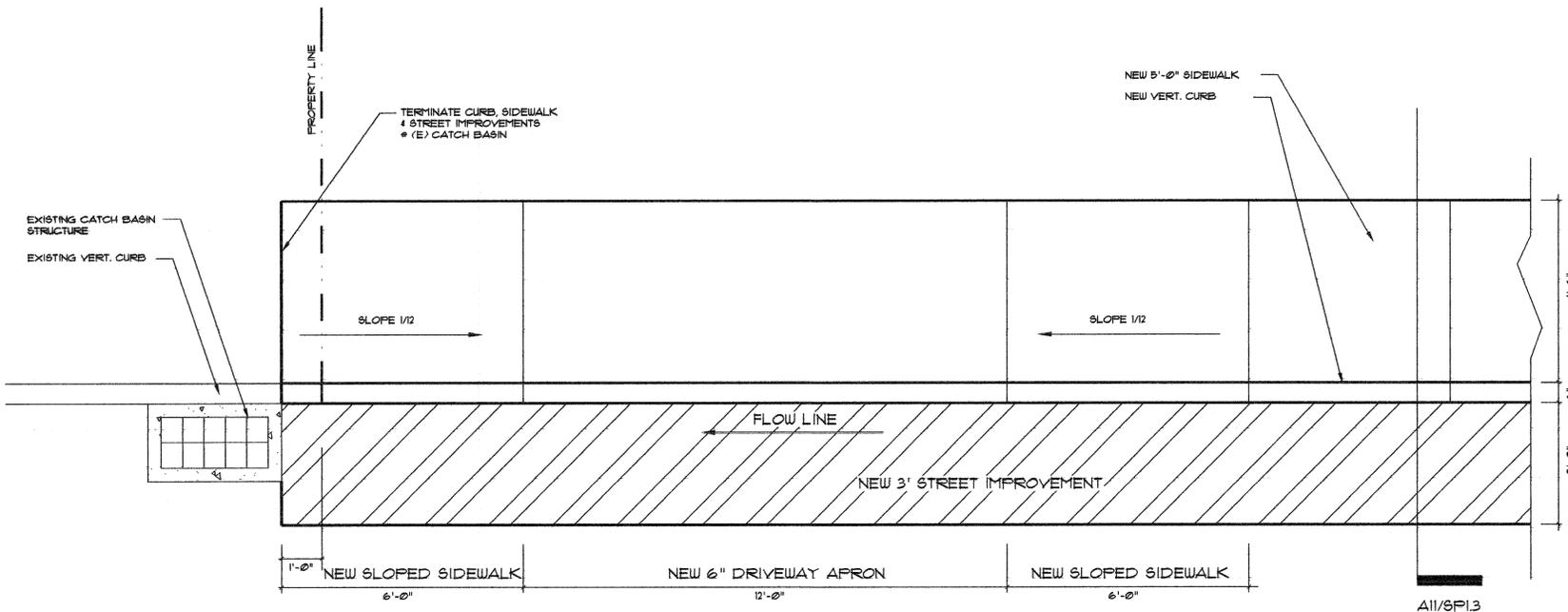
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E-1 STANDARD RESIDENTIAL DRIVEWAY DETAIL - PLAN

1/2" = 1'-0"

VERTICAL CURB NOTES:

1. USED FOR REPLACEMENT CURBS
2. CONCRETE SHALL BE COMMERCIAL MIX, MIN. COMPRESSIVE STRENGTH OF 3,300 PSI @ 28 DAYS
3. EXPANSION JOINTS:
 - A. TO BE PROVIDED:
 - 1) AT EACH POINT OF TANGENCY OF THE CURB
 - 2) AT EACH COLD JOINT
 - 3) AT EACH SIDE OF INLET STRUCTURES
 - 4) AT END OF DRIVEWAYS
 - 5) AT LOCATIONS NECESSARY TO LIMIT SPACING TO 45 FEET
 - B. MATERIAL TO BE PRE-MOLDED, ASPHALT IMPREGNATED, NON-EXTRUDING, WITH A THICKNESS OF 1/2 INCH.
4. CONTRACTION JOINTS:
 - A. SPACING TO BE NOT MORE THAN 15 FEET.
 - B. THE DEPTH OF THE JOINT SHALL BE AT LEAST 1-1/2 INCH.
5. BASE ROCK: 3/4" - Ø", COMPACTED TO 95% MAX. DENSITY, BASE ROCK SHALL BE TO SUBGRADE OF STREET STRUCTURE OR MIN. 4" DEPTH, WHICHEVER IS GREATER.

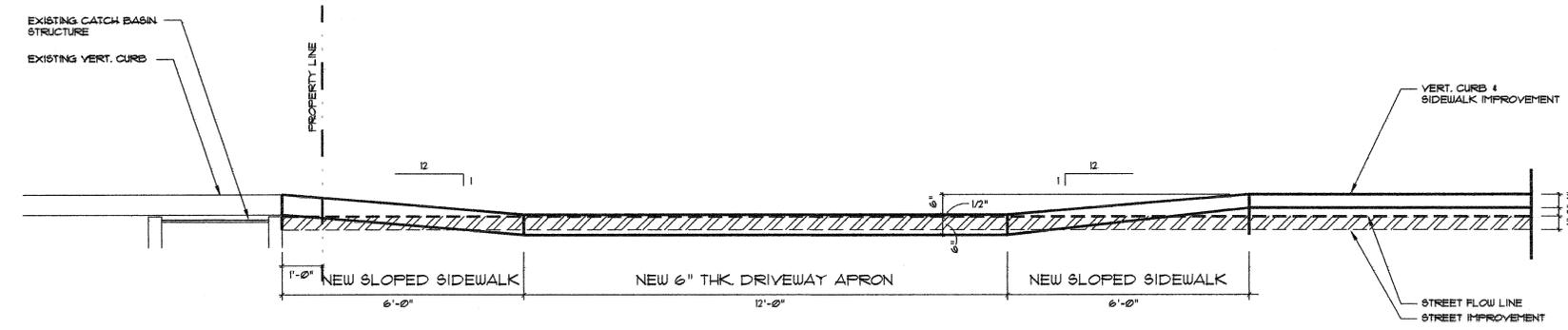
CURB TIGHT SIDEWALK NOTES:

1. CONCRETE SHALL BE COMMERCIAL MIX, MIN. COMPRESSIVE STRENGTH OF 3,300 PSI @ 28 DAYS WITH A SLUMP RANGE OF 1-1/2" TO 3" MAX.
2. SIDEWALK PANELS TO BE SQUARE (5' LONG X 5' WIDE TYP.)
3. EXPANSION JOINTS TO BE PLACED AT SIDE OF DRIVEWAY APPROACHES, UTILITY VAULTS, CURB RAMPS, AND/OR POINTS OF TANGENCY IN CURB, AND AT A SPACING NOT TO EXCEED 45'.
4. FOR SIDEWALKS ADJACENT TO CURB AND POURED AT THE SAME TIME AS THE CURB, THE JOINT BETWEEN THEM SHALL BE A TROUZELED JOINT WITH A MIN. 1/2" RADIUS.
5. SIDEWALKS SHALL HAVE MIN. THICKNESS OF 4". SIDEWALK PORTION IN A DRIVEWAY SHALL HAVE A 6" MIN. THICKNESS.
6. CONCRETE SHALL HAVE BROOM FINISH, ALL JOINTS SHALL BE EDGED WITH A 3" SHINE.
7. WIDTH OF SIDEWALK SHALL BE FROM THE STREET FACE OF CURB.
8. IF DRAIN BLOCKOUTS IN CURBS ARE APPROVED, THEY SHALL BE EXTENDED PERPENDICULAR TO CURB TO 1' PAST BACK OF SIDEWALK WITH A 3" DIAMETER ADS PIPE. CONTRACTION JOINT SHALL BE PLACED OVER THE PIPE.

STANDARD RESIDENTIAL PAVEMENT SECTION NOTES:

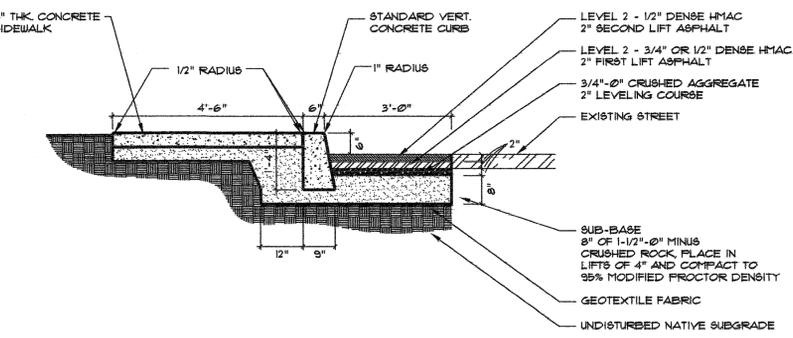
1. MATERIALS AND PLACEMENT OF THE HOT MIXED ASPHALT CONCRETE (HMAC) SHALL CONFORM TO THE REQUIREMENTS DELINEATED IN SECTION 020144 - HOT MIXED ASPHALT CONCRETE (HMAC) PAVEMENT OF THE ODOT/AUFA, OREGON STANDARD SPECIFICATIONS FOR CONSTRUCTION (LATEST EDITION), EXCEPT AS MODIFIED BY CITY AND NOTED IN THE CITY'S ENGINEERING DESIGN AND STANDARDS DETAIL MANUAL (LATEST EDITION).
2. THE TOP LIFT OF HMAC SHALL BE PLACED PRIOR TO CITY FINAL ACCEPTANCE OF PUBLIC INFRASTRUCTURE IMPROVEMENTS
3. CRUSHED AGGREGATE USED FOR BASE ROCK AND LEVELING COURSE SHALL CONFORM TO THE REQUIREMENTS DELINEATED IN SECTION 020630 - BASE AGGREGATE, OF THE ODOT/AUFA, OREGON STANDARD SPECIFICATIONS FOR CONSTRUCTION (LATEST EDITION).
4. LEVEL 2, 1/2" DENSE HMAC MAY BE USED IN-LIEU OF LEVEL 2, 3/4" DENSE HMAC FOR THE FIRST LIFT OF ASPHALT.

E-11 VERT. CURB, SIDEWALK AND PAVEMENT SECTION NOTES



A-1 STANDARD RESIDENTIAL DRIVEWAY DETAIL - PROFILE

1/2" = 1'-0"



A-11 VERT. CURB, SIDEWALK AND PAVEMENT SECTION

1/2" = 1'-0"

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SHEET NOTES:

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 22545 SW PARK ST.
 SHERWOOD, OREGON

APPLICANT: BRAD & ANN BRUCKER
 22545 SW PARK ST.
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BRUCKER MINOR LAND PARTITION
 22545 SW PARK ST.
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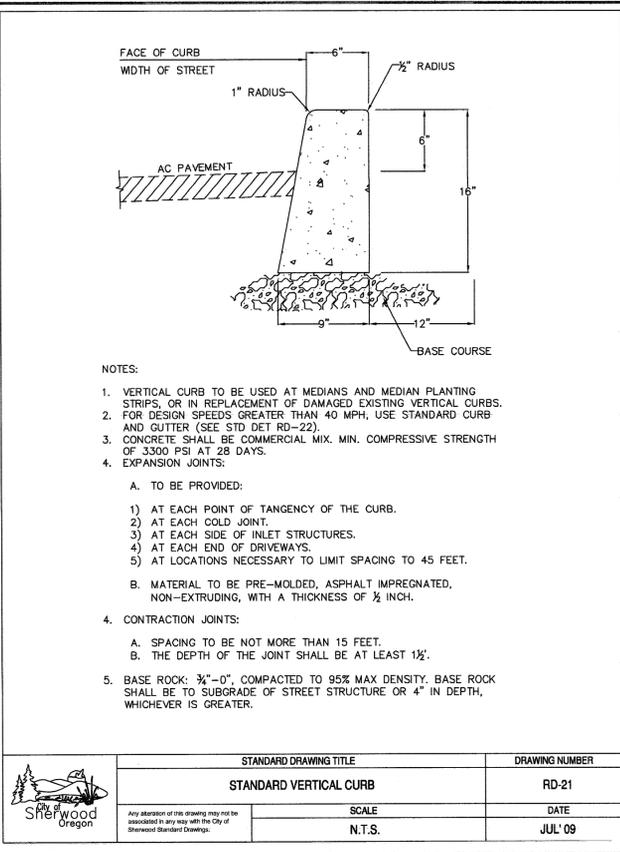
MINOR LAND PARTITION

CURB, SIDEWALK & DRIVEWAY DETAILS

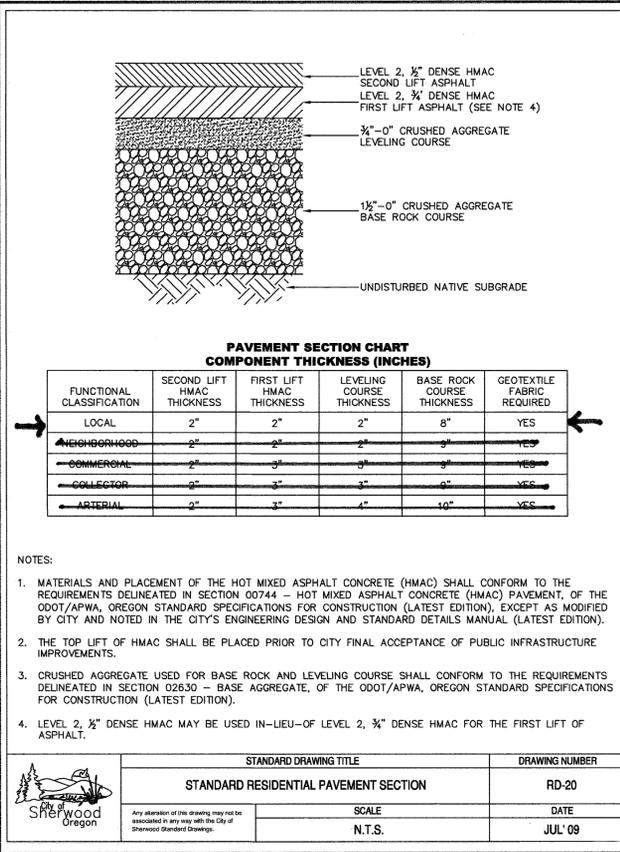
SHEET NUMBER:

SPI.3

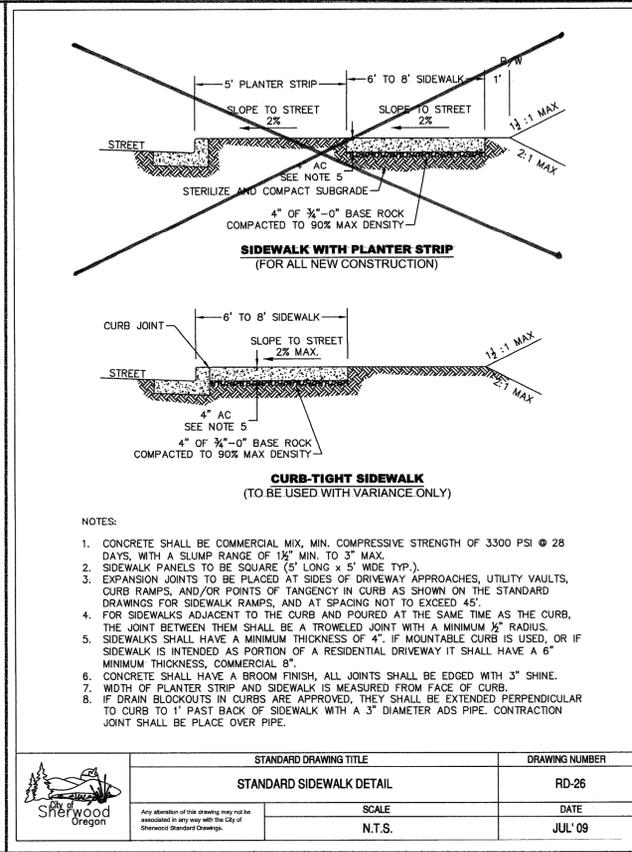
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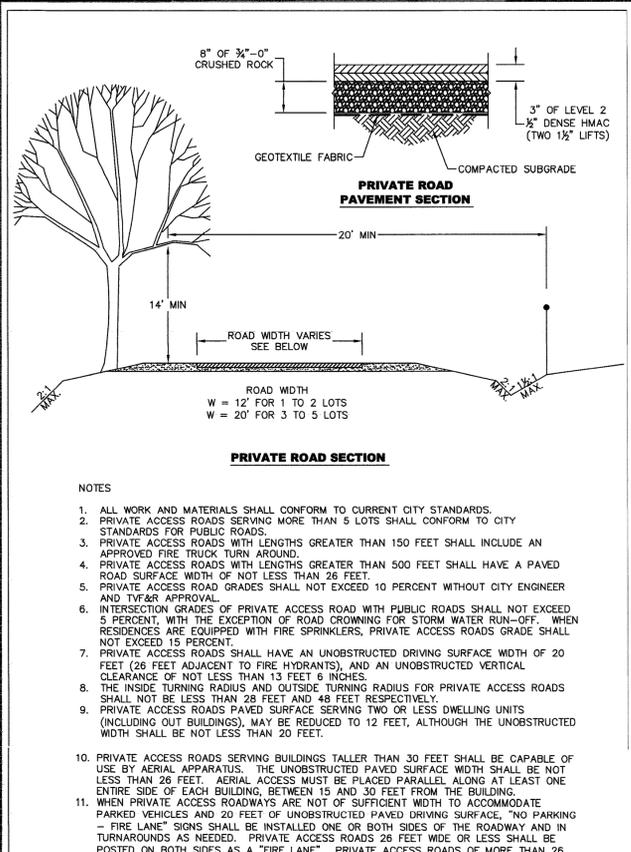
1 STANDARD VERTICAL CURB (RD-21)



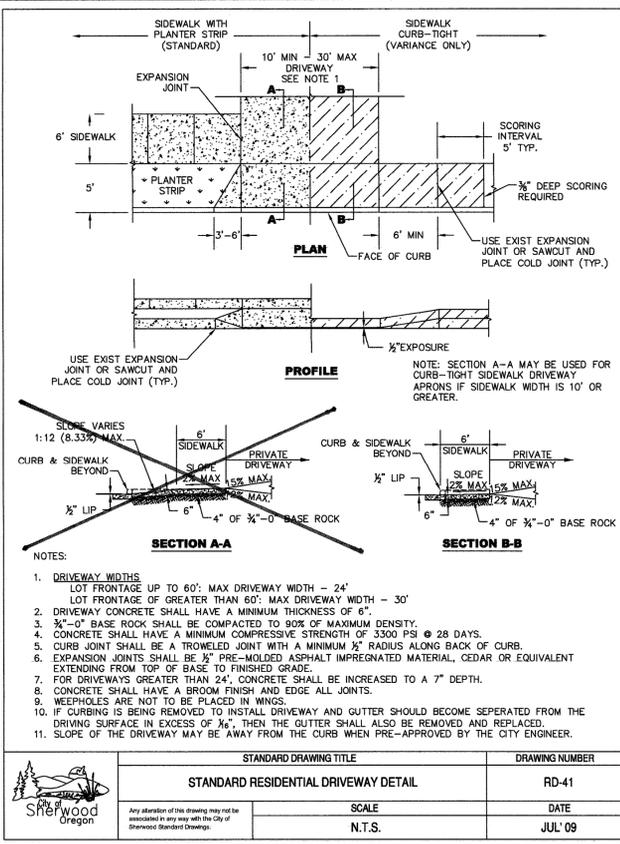
2 STANDARD RESIDENTIAL PAVEMENT SECTION (RD-21)



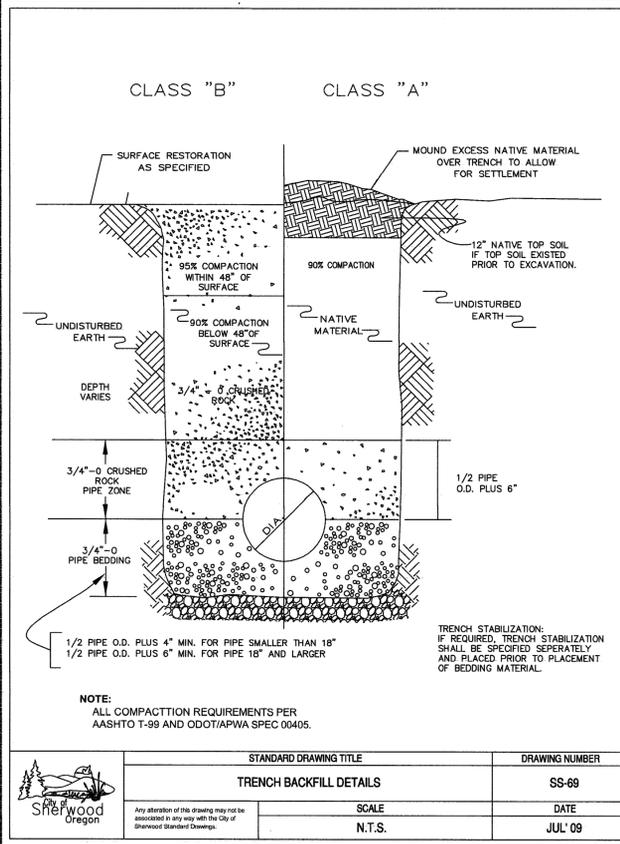
3 STANDARD SIDEWALK DETAIL (RD-26)



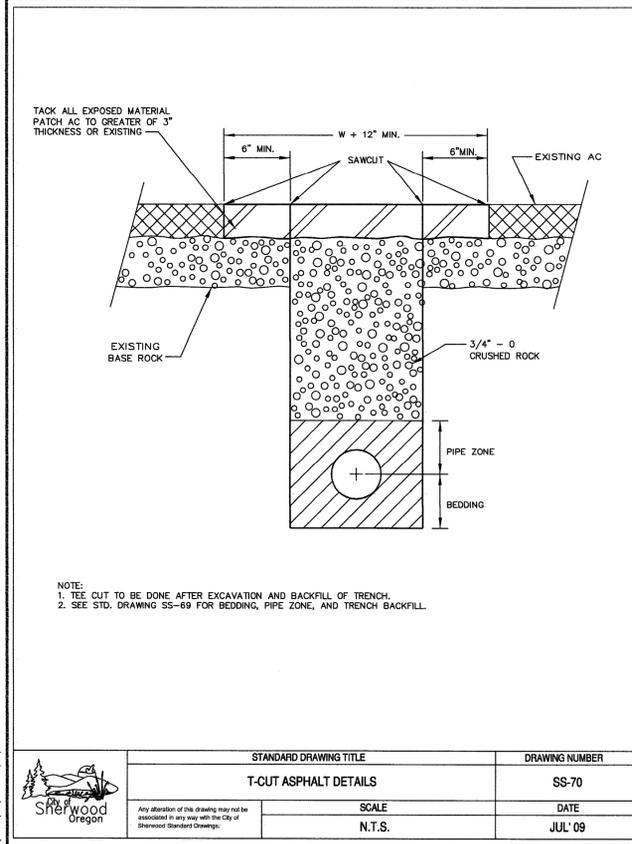
8 PRIVATE ACCESS ROAD DETAIL (RD-56B)



5 STANDARD RESIDENTIAL DRIVEWAY DETAIL (RD-41)



6 TRENCH BACKFILL DETAILS (SS-69)



7 T-CUT ASPHALT DETAIL (SS-70)

NUMBER	REVISION/SUBMISSIONS	DATE

SHEET NOTES:
 OWNERS: BRAD & ANN BRUCKER
 22545 SW PARK ST.
 SHERWOOD, OREGON
 APPLICANT: BRAD & ANN BRUCKER
 22545 SW PARK ST.
 SHERWOOD, OREGON

BRUCKER MINOR LAND PARTITION
 22545 SW PARK ST.
 SHERWOOD, OREGON

MINOR LAND PARTITION
 SITE & UTILITY STANDARD DETAILS

SHEET NUMBER:
SPI.4

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NOTES:

- WHEN RAINFALL AND RUNOFF OCCURS DAILY INSPECTIONS OF THE EROSION AND SEDIMENT CONTROLS AND DISCHARGE OUTFALLS MUST BE PROVIDED BY SOME ONE KNOWLEDGEABLE AND EXPERIENCED IN THE PRINCIPLES, PRACTICES, INSTALLATION, AND MAINTENANCE OF EROSION AND SEDIMENT CONTROLS WHO WORKS FOR THE PERMITTEE.
- CONSTRUCTION ACTIVITIES MUST AVOID OR MINIMIZE EXCAVATION AND CREATION OF BARE GROUND FROM OCTOBER 1 THROUGH MAY 31 EACH YEAR.
- DURING WET WEATHER PERIOD, TEMPORARY STABILIZATION OF THE SITE MUST OCCUR AT THE END OF EACH WORK DAY.
- SEDIMENT CONTROLS MUST BE INSTALLED AND MAINTAINED ON ALL DOWN GRADIENT SIDES OF THE CONSTRUCTION SITE AT ALL TIMES DURING CONSTRUCTION. THEY MUST REMAIN IN PLACE UNTIL PERMANENT VEGETATION OR OTHER PERMANENT COVERING OF EXPOSED SOIL IS ESTABLISHED.
- ALL ACTIVE INLETS MUST HAVE SEDIMENT CONTROLS INSTALLED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. UNLESS OTHERWISE APPROVED, A SURFACE MOUNTED AND ATTACHABLE, U-SHAPED FILTER BAG IS REQUIRED FOR ALL CURB INLET CATCH BASINS.
- SIGNIFICANT AMOUNTS OF SEDIMENT WHICH LEAVES THE SITE MUST BE CLEANED UP WITHIN 24 HOURS AND PLACED BACK ON THE SITE AND STABILIZED OR PROPERLY DISPOSED. THE CAUSE OF THE SEDIMENT RELEASE MUST BE FOUND AND PREVENTED FROM CAUSING A REURRENCE OF THE DISCHARGE WITHIN THE SAME 24 HOURS. ANY IN-STREAM CLEAN UP OF SEDIMENT SHALL BE PERFORMED ACCORDING TO THE OREGON DEPARTMENT OF STATE LANDS REQUIRED TIME FRAME.
- SEDIMENT MUST NOT BE INTENTIONALLY WASHED INTO STORM SEWERS, DRAINAGEWAYS, OR WATER BODIES.
- SEDIMENT MUST BE REMOVED FROM BEHIND ALL SEDIMENT CONTROL MEASURES WHEN IT HAS REACHED A HEIGHT OF 1/2RD THE BARRIER HEIGHT, AND PRIOR TO THE CONTROL MEASURES REMOVAL.
- CLEANING OF ALL STRUCTURES WITH SLUMPS MUST OCCUR WHEN THE SEDIMENT RETENTION CAPACITY HAS BEEN REDUCED BY 50% AND AT COMPLETION OF PROJECT.
- ANY USE OF TOXIC OR OTHER HAZARDOUS MATERIALS MUST INCLUDE PROPER STORAGE, APPLICATION, AND DISPOSAL.
- THE PERMITTEE MUST PROPERLY MANAGE HAZARDOUS WASTES, USED OILS, CONTAMINATED SOILS, CONCRETE WASTE, SANITARY WASTE, LIQUID WASTE, OR OTHER TOXIC SUBSTANCES DISCOVERED OR GENERATED DURING CONSTRUCTION.
- THE APPLICATION RATE OF FERTILIZERS USED TO REESTABLISH VEGETATION MUST FOLLOW MANUFACTURER'S RECOMMENDATIONS. NUTRIENT RELEASES FROM FERTILIZERS TO SURFACE WATERS MUST BE MINIMIZED. TIME RELEASE FERTILIZERS SHOULD BE USED AND CARE SHOULD BE MADE IN APPLICATION OF FERTILIZERS WITHIN ANY WATER WAY RIPARIAN ZONE.
- OWNER OR DESIGNATED PERSON SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURES, IN ACCORDANCE WITH CURRENT CLEAN WATER SERVICES STANDARDS AND STATE AND FEDERAL REGULATIONS.
- PRIOR TO ANY LAND DISTURBING ACTIVITIES, THE BOUNDARIES OF THE CLEARING LIMITS, VEGETATED BUFFERS, AND ANY SENSITIVE AREAS SHOWN ON THIS PLAN SHALL BE CLEARLY DELINEATED IN THE FIELD. UNLESS OTHERWISE APPROVED, NO DISTURBANCE IS PERMITTED BEYOND THE CLEARING LIMITS. THE OWNER/PERMITTEE MUST MAINTAIN THE DELINEATION FOR THE DURATION OF THE PROJECT.
NOTE: VEGETATED CORRIDORS TO BE DELINEATED WITH ORANGE CONSTRUCTION FENCE OR APPROVED EQUAL.
- PRIOR TO ANY LAND DISTURBING ACTIVITIES, THE BMPs THAT MUST BE INSTALLED ARE GRAVEL CONSTRUCTION ENTRANCE, PERIMETER SEDIMENT CONTROL, AND INLET PROTECTION. THESE BMPs MUST BE MAINTAINED FOR THE DURATION OF THE PROJECT.
- IF VEGETATIVE SEED MIXES ARE SPECIFIED, SEEDING MUST TAKE PLACE NO LATER THAN SEPTEMBER 1ST. THE TYPE AND PERCENTAGES OF SEED IN THE MIX ARE AS IDENTIFIED ON THE PLANS OR AS SPECIFIED BY THE DESIGN ENGINEER.
- WATER-TIGHT TRUCKS MUST BE USED TO TRANSPORT SATURATED SOILS FROM THE CONSTRUCTION SITE. AN APPROVED EQUIVALENT IS TO DRAIN THE SOIL ON SITE AT A DESIGNATED LOCATION USING APPROPRIATE BARRIERS. SOIL MUST BE DRAINED SUFFICIENTLY FOR MINIMAL SPLASH.
- ALL PUMPING OF SEDIMENT LADEN WATER MUST BE DISCHARGED OVER AN UNDISTURBED, PREFERABLY VEGETATED AREA, AND THROUGH A SEDIMENT CONTROL BMP (I.E. FILTER BAG).
- THE ESC PLAN MUST BE KEPT ON SITE. ALL MEASURES SHOWN ON THE PLAN MUST BE INSTALLED PROPERLY TO ENSURE THAT SEDIMENT LADEN WATER DOES NOT ENTER A SURFACE WATER SYSTEM, ROADWAY, OR OTHER PROPERTIES.
- THE ESC MEASURES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE MEASURES SHALL BE UPGRADED AS NEEDED TO MAINTAIN COMPLIANCE WITH ALL REGULATIONS.
- WRITTEN ESC LOGS ARE SUGGESTED TO BE MAINTAINED ON SITE AND AVAILABLE TO DISTRICT INSPECTORS UPON REQUEST.
- IN AREAS SUBJECT TO WIND EROSION, APPROPRIATE BMPs MUST BE USED WHICH MAY INCLUDE THE APPLICATION OF FINE WATER SPRAYING, PLASTIC SHEETING, MULCHING, OR OTHER APPROVED MEASURES.
- ALL EXPOSED SOILS MUST BE COVERED DURING WET WEATHER PERIOD.

STANDARD DRAWING TITLE	DRAWING NUMBER
STANDARD EROSION CONTROL NOTES FOR SITES LESS THAN 1 ACRE	ESC-30
SCALE	DATE
N.T.S.	JUL'09

1 STANDARD EROSION CONTROL - LESS THAN 1 ACRE (ESC-30)

NOTES:

- A 6 FT OFFSET LATH ON PROPERTY LINE, 8 FT PUBLIC UTILITY EASEMENT

STANDARD DRAWING TITLE	DRAWING NUMBER
SINGLE WATER SERVICE TYPICAL INSTALLATION	W-7
SCALE	DATE
N.T.S.	JUL'09

4 SINGLE WATER SERVICE TYP. INSTALLATION (W-7)

NOTES:

- ADDITIONAL MEASURES MUST BE CONSIDERED DEPENDING ON SOIL TYPES.
- BIO-FILTER BAGS SHOULD BE STAKED WHERE APPLICABLE USING (2) 1"x2" WOODEN STAKES OR APPROVED EQUAL PER BAG.
- WHEN USING 30" BIO-BAGS TO PROTECT A CATCH BASIN YOU MUST HAVE 4 BAGS AND THEY SHALL BE OVERLAPPED BY 6".

FOR FURTHER INFORMATION ON DESIGN CRITERIA SEE CHAPTER 4 OF CLEAN WATER SERVICES EROSION PREVENTION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL.

STANDARD DRAWING TITLE	DRAWING NUMBER
INLET PROTECTION - TYPE 4	ESC-24
SCALE	DATE
N.T.S.	JUL'09

2 INLET PROTECTION - TYPE 4 (ESC-24)

NOTES:

- INDEXED PVC GASKETED SADDLE SHALL CONFORM TO ASTM 3034 SDR35.
- PVC COMPOUNDS SHALL CONFORM TO ASTM D1784 WITH CELL CLASS OF 12454-B/C OR 12354-C.
- ALL ELASTOMERIC SEALS (RUBBER GASKETS) SHALL CONFORM TO ASTM F477.
- INDEXED PVC GASKETED SADDLE SHALL BE INSTALLED WITH RUBBER GASKETS APPROVED FOR THE SEWER MAIN WALL CONFIGURATION (PROFILE OR SMOOTH WALL).
- STAINLESS STEEL BANDS SHALL BE 300 SERIES, 1/8" BAND WIDTH, CADMIUM PLATED, CARBON STEEL, AND ATTACHED WITH HEX HEAD, SLOTTED SCREWS.
- INSERTION HOLE SHALL BE CORE DRILLED.
- INDEXED SADDLE SHALL BE INSERTED A MINIMUM OF 1/4" FROM OUTSIDE WALL OF HOST PIPE AND SHALL NOT PROTRUDE BEYOND THE INSIDE WALL OF THE HOST PIPE.

STANDARD DRAWING TITLE	DRAWING NUMBER
INDEXED PVC GASKETED SADDLE	SS-64
SCALE	DATE
N.T.S.	JUL'09

5 INDEXED PVC PIPE GASKETED SADDLE (SS-64)

NOTES:

- BURY BOTTOM OF FILTER FABRIC 6" VERTICALLY BELOW FINISHED GRADE.
- 2"x2" FIR, PINE OR STEEL FENCE POSTS.
- POSTS TO BE INSTALLED ON UPHILL SIDE OF SLOPE.
- COMPACT BOTH SIDES OF FILTER FABRIC TRENCH.
- PANELS MUST BE PLACED ACCORDING TO SPACING ON DETAIL NO.940.

FOR FURTHER INFORMATION ON DESIGN CRITERIA SEE CHAPTER 4 OF CLEAN WATER SERVICES EROSION PREVENTION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL.

STANDARD DRAWING TITLE	DRAWING NUMBER
SEDIMENT FENCE	ESC-16
SCALE	DATE
N.T.S.	JUL'09

3 SEDIMENT FENCE DETAILS (ESC-16)

SITE CONSTRUCTION SHALL BE LIMITED TO 7:00 AM TO 6:00 PM ON WEEKDAYS, AND 8:00 AM TO 5:00 PM ON SATURDAYS AND SUNDAYS. HOWEVER, SITE CLEARING, EARTH MOVING, INSTALLATION OR CONSTRUCTION OF UNDERGROUND UTILITIES, PAVING OR STREETS AND SIDEWALKS, FOUNDATION FRAMING AND POURING, AND STRUCTURAL FRAMING SHALL BE ENTIRELY PROHIBITED ON SUNDAYS. TO REPORT VIOLATIONS CALL 503-760-3325.

NOTES:

- THE CONSTRUCTION HOUR NOTICE SIGN SHALL BE POSTED CONSPICUOUSLY AT THE JOB SITE ENTRANCE PRIOR TO SITE CONSTRUCTION, AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- FAILURE TO COMPLY WITH THESE HOURS MAY RESULT IN FINES OR A STOP WORK ORDER.
- THE CITY MANAGER SHALL HAVE THE AUTHORITY TO WAIVE THESE REQUIREMENTS IN THE EVENT OF AN EMERGENCY OR IN THE CITY MANAGER'S OPINION, JUSTIFIABLE CAUSE.

STANDARD DRAWING TITLE	DRAWING NUMBER
RESIDENTIAL SINGLE LOT CONSTRUCTION HOUR NOTICE - SIGN	S-6
SCALE	DATE
N.T.S.	JUL'09

6 RESIDENTIAL SINGLE LOT CONST. SIGN (S-6)

FRITZIE ARCHITECTS
1118 Lafayette Avenue
Oregon City, OR 97045
503-459-8215 • lfaa@comcast.net

DESIGNED BY: LFF
DRAWN BY:
CHECKED BY:
REVIEWED BY:
DATE: 12-8-14
SCALE: 1" = 10'-0"

NUMBER	REVISION/SUBMISSIONS	DATE

SHEET NOTES:
OWNERS: BRAD 4 ANN BRUCKER
22545 SW PARK ST.
SHERWOOD, OREGON
APPLICANT: BRAD 4 ANN BRUCKER
22545 SW PARK ST.
SHERWOOD, OREGON

BRUCKER MINOR LAND PARTITION

22545 SW PARK ST.
SHERWOOD, OREGON

MINOR LAND PARTITION

SITE, UTILITY & EROSION CONTROL DETAILS

SHEET NUMBER:

SP1.5