



NOTICE OF PUBLIC HEARING

Denali Meadows Planned Unit Development Final Development Plan PUD 19-02 February 25, 2020 at 7PM

Public Notice is hereby given that the **City of Sherwood Planning Commission** will conduct a public hearing on **Tuesday, February 25, 2020 at 7:00 PM** at Sherwood City Hall, Community Room, 22560 SW Pine St, Sherwood, Oregon, on the following land use matter:

Proposal: The City Council approved the Denali Meadows Planned Unit Development (PUD), AKA Murdock Road PUD, on November 19, 2019. The applicant now proposes a Final Development Plan and Final Subdivision Plat for the PUD. Like the approved project, the Final Development/Subdivision Plat proposes 13-lot Planned Unit Development Subdivision with areas of open space. Single-family detached residential housing units are proposed. The site is zoned Very Low Density Residential (VLDR). The Planned Unit Development designation allows the site to be developed with minimum lot size of 10,000 square feet.

Case File No:	PUD 19-02 Final Development Plan	Tax Map/Lots: 2S1 33CB / TL 300 and a portion of TL 100
Applicant/Owner:	Tim Roth, JT Roth Construction 12600 SW 72 nd #200 Portland, OR 97223	Location: 23000 SW Murdock Road, in southeast Sherwood, off SW Murdock Road and north of SW Ironwood Lane
Contact:	Steve Miller, Emerio Design 541-318-7487	

Staff Contact: Joy Chang, Senior Planner, 503-625-4214, changji@sherwoodoregon.gov

Find out about the project on the City's web site:

<https://www.sherwoodoregon.gov/planning/project/denali-meadows-aka-murdock-road-pud>

Application materials are also available for review at the city offices or copied for a reasonable cost at City Hall, 22560 SW Pine Street. If you have questions, please contact **Joy Chang (503) 625-4214**.

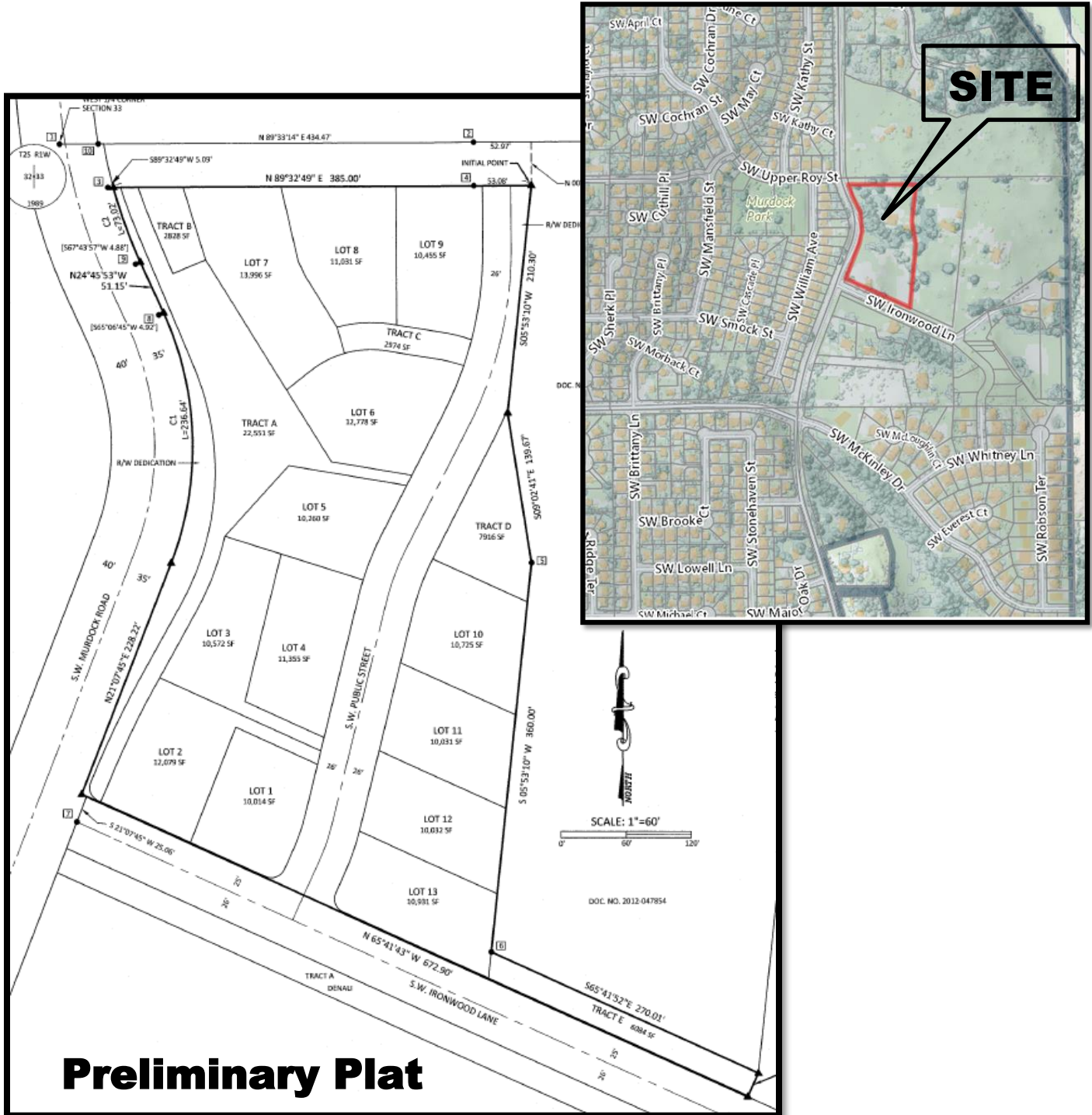
The following chapters of the Sherwood Zoning and Community Development Code, and the corresponding approval criteria are applicable to this proposal: §16.40 Planned Unit Development and §16.120 Subdivisions

Hearing Process: This is a quasi-judicial land use action; therefore, the decision will be made by the Planning Commission after a public hearing. This Planning Commission hearing is your opportunity to provide official comments on the proposed plan.

Provide your comments in writing or at the hearing: Anyone may testify at the hearing or in writing. Oral and written public testimony regarding this matter will be accepted at the hearing. Written statements are encouraged and may be submitted to the Planning Department, City Hall, 22560 SW Pine Street, Sherwood, OR 97140.

Public testimony should be limited to the applicable code criteria or other applicable City or State land use standards. **Only those persons who submit written comments or appear in person before the Hearing Authority may appeal the decision.** Failure to raise an issue accompanied by statements or evidence sufficient to afford the decision-maker and the parties an opportunity to respond to the issue will preclude appeal on said issue to the Appeal Authority or State Land Use Board of Appeals. (LUBA).

Notice to mortgagee, lien holder, vendor or seller: The City of Sherwood requests that you promptly forward this notice to the purchaser if this notice is received.



Preliminary Plat

NOTE: For comments to be addressed in the staff report please, submit comments no later than February 17, 2020 to **Joy Chang, Senior Planner**, Planning Department, Sherwood City Hall, 22560 SW Pine Street, Sherwood, OR 97140.